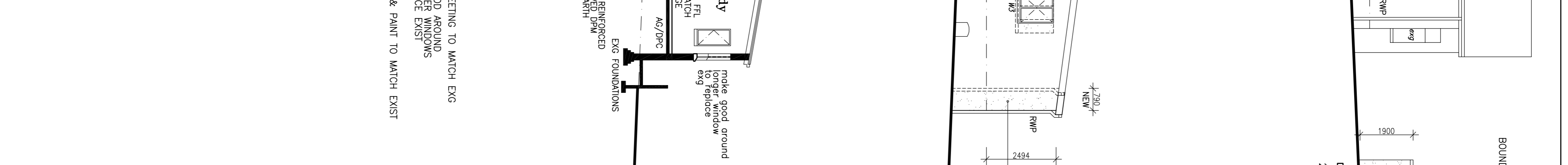
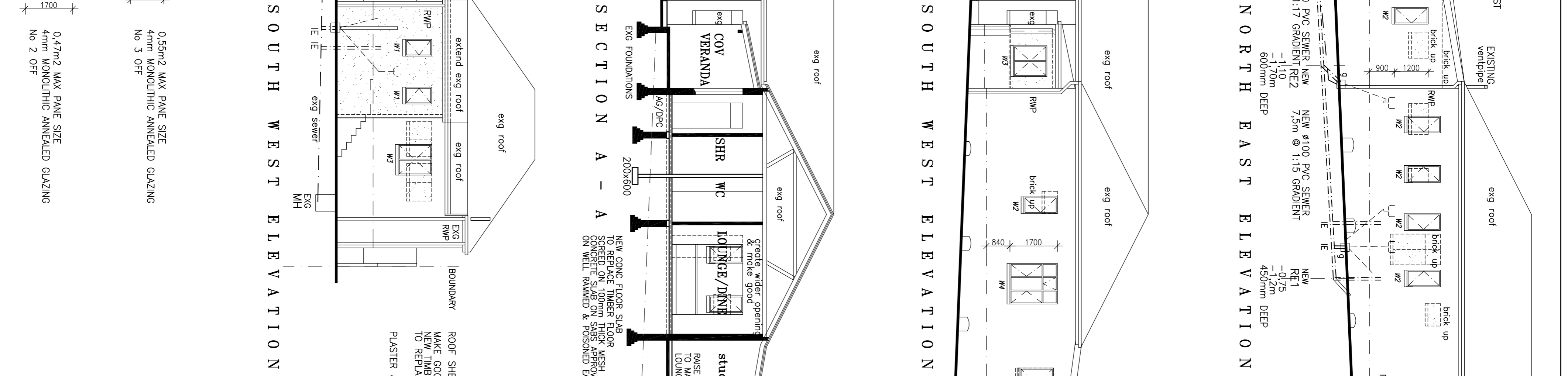
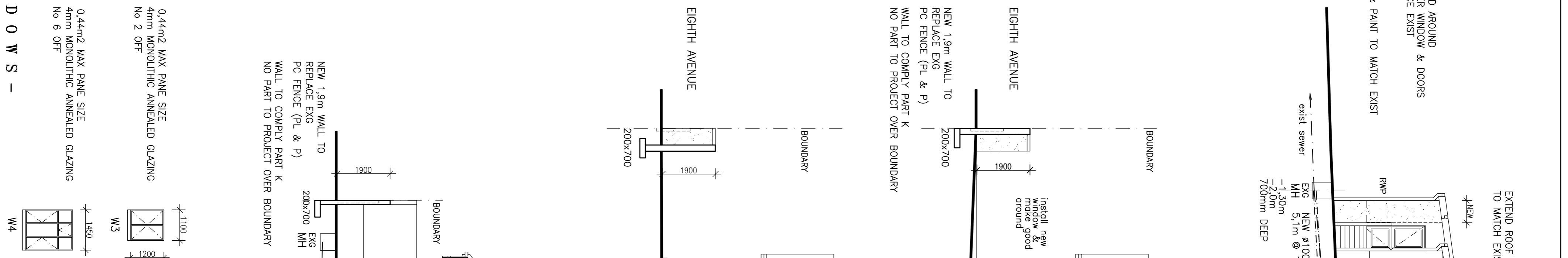


**1 OF 996**

**BUILDERS NOTES -**

1. NEW CONG FLOOR SLAB TO REPLACE EXG THROUGHOUT
2. ALL NEW FLUSH PLASTERED 9mm RHINOBOARD CEILING
3. NEW NMC POLYSTYRENE CODE AT CORNICES
4. NEW 140mm ISOTHERM ABOVE ALL CEILING
5. ALL INTERNAL WALLS TO BE 50MM WOOD FRODOUR WHERE NECESSARY
6. NEW 140mm MERRANT SKIRTING BOARDS (CORE) WITH 100mm ARCHITRAVES & LINTELS WHERE NECESSARY
7. REPAIR & REPAINT ALL DOORS & RELAZE WITH CLEAR GLAZING
8. SCREEDING TO BE DONE BY SPECIALISTS
9. ENTIRE PROPERTY TO BE PAINTED INCLUDING ROOF
10. NEW INTERNAL DOORS TO MATCH EXISTING
11. CLIENT TO SUPPLY ARCHITRAVES, LINTELS & SWAGGER GRANITE TOPS
12. CONTRACTOR TO SUPPLY S/S HINGES & LOCKS TO ALL DOORS
13. CLIENT TO SUPPLY DOOR HANDLES - PC ITEM R310 each
14. SEE ELECT LAYOUT
15. CLIENT TO SUPPLY CARPET



**NOTES -**

- All reinforced concrete footings/slabs/columns/beams & retaining walls to be to Structural Engineers details & specifications & to be done under his supervision.
- All levels & dimensions to be checked on site by contractor before commencing work.
- No dimensions to be scaled.
- On site dimensions to be measured & checked before fabrication of any fitted item.
- The construction of this building is to comply in all respects with SANS 10400.
- All work to be done in accordance with the National Building Regulations & local authority by-laws.
- This drawing is copyright.
- The approval of this drawing is at the discretion of the local municipality.
- All foundation excavations to be checked by a competent person.
- All piping to comply SANS10400 Part N & to be stumped in accordance with SANS.
- All sewer pipes to be ø100 pvc & waste pipes to be ø90 pvc pipes.
- Inspection eyes to be provided at all bends & junctions.

**AREAS -**

SITE AREA	499,00 m <sup>2</sup>
EXIST HOUSE	120,63 m <sup>2</sup>
EXIST GARAGE	41,73 m <sup>2</sup>
ENCL VERANDAH	10,98 m <sup>2</sup>
	173,34 m <sup>2</sup>
NEW ADDITION	5,27 m <sup>2</sup>
NEW COV VERANDAH	8,37 m <sup>2</sup>
MAX F A R	499,00 m <sup>2</sup>
EXG F A R	120,63 m <sup>2</sup>
NEW F A R	16,25 m <sup>2</sup>
TOTAL F A R	136,88 m <sup>2</sup>
MAX COV 40%	199,60 m <sup>2</sup>
EXG COV	173,34 m <sup>2</sup>
NEW COV	13,64 m <sup>2</sup>
TOTAL COV	186,98 m <sup>2</sup>

ZONED - GENERAL RESIDENTIAL 2  
ORIGINAL HOUSE BUILT 1915

**OWNERS SIGNATURES :**

**SUBMISSION PLAN**

**ALTERATIONS & ADDITIONS TO EXISTING HOUSE**

**OWNER :**  
MRS G D LAKE

**ID No. -** 606315003688  
**TEL No. -** 031 2019750

**SITE DESCRIPTION :**  
6 EIGHTH AVENUE  
MORNINGSIDDE  
ERP 997 DURBAN

**DRAWN BY -** E C ROBINSON  
25 BEREA HEIGHTS DURBAN 4001  
Tel : 031 3121 774 FAX : 031 - 312 0413

**DATE :** FEB 2013  
**SCALE :** 1 : 100

**JOB No. 2013/02/25**  
**DRG.No. 01**