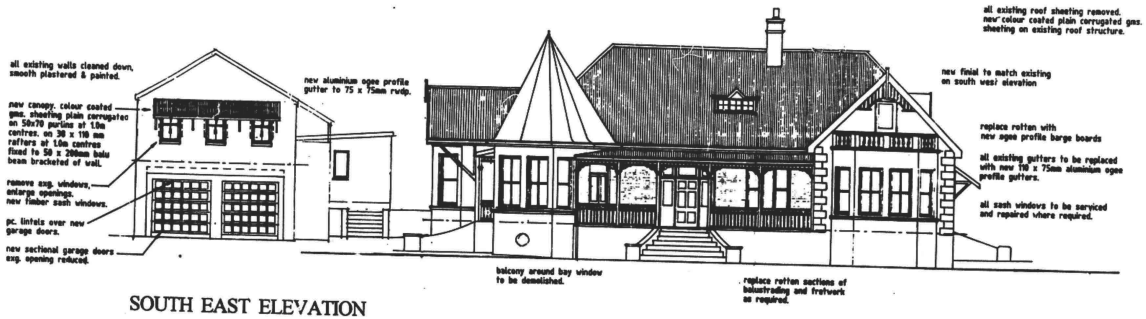


PLAN SUBSTITUTED 625 030678
 SHEET SUBSTITUTED
 SHEET ADDED

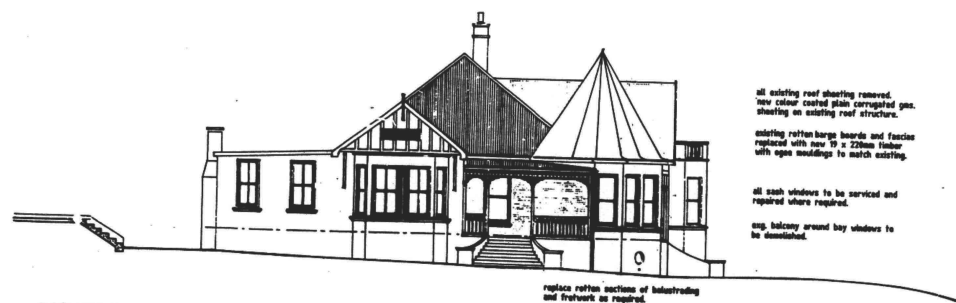
2/4 COPY 2
CITY OF DURBAN
 PLAN NUMBER
 0219-03-98-4
 APPROVED: M. LISBERAN
 EXECUTIVE DIRECTOR DEVELOPMENT
 PLANNING UNIT
 DATE: 2.2.99 PER: [Signature]

GENERAL NOTES :
 ALL BUILDINGS TO BE MECHANICALLY VENTILATED,
 FRESH AIR TO BE SUPPLIED AT A RATE OF 7.5 l/s
 PER PERSON TO ALL HABITABLE AREAS.
 AIR VELOCITY IS NOT TO EXCEED 0.5m/s.

LAND USE MANAGEMENT
 CONSENT USE AUTHORITY
GRANTED
 28 JAN 1999
 Signature: [Signature]
 Checked: [Signature]



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

OWNER'S SIGNATURE: [Signature]

543 MUSGRAVE ROAD

RESTORATION OF PROVISIONALLY
 DECLARED NATIONAL MONUMENT
 FOR SHEERPROPS 1134 cc

SCALE 1 : 100

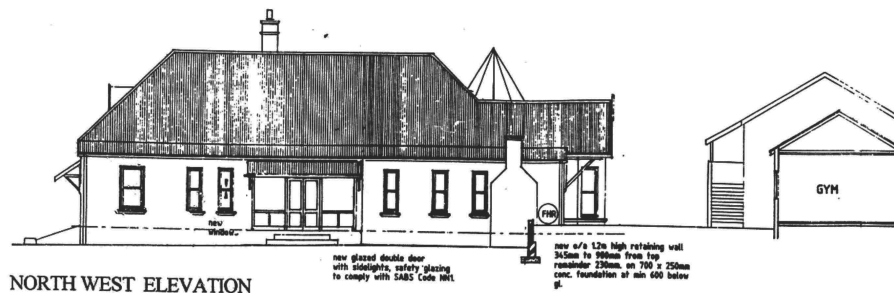
DATE FEBRUARY 1998

DWG. No. 640/201

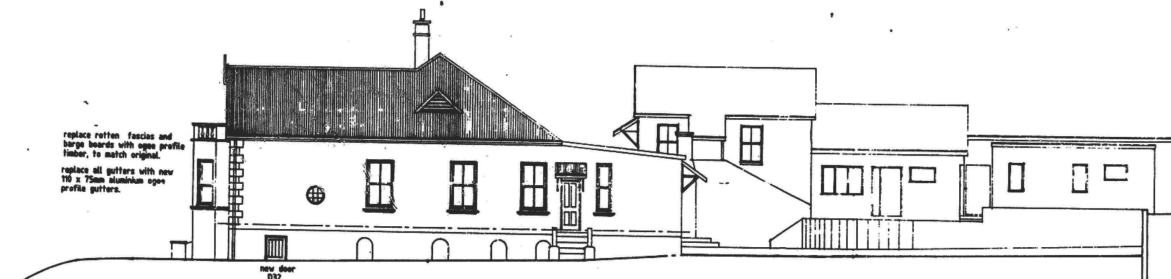
EMMETT : EMMETT ARCHITECTS CC.
 521 MUSGRAVE RD, DURBAN 4001 TEL. 299901 FAX. 299845

SHEET 314 COPY 2
CITY OF DURBAN
 PLAN NUMBER
 0219-03-98-1
 APPROVED: Mrs. J. SUBBAN
 EXECUTIVE DIRECTOR DEVELOPMENT
 & PLANNING UNIT
 DATE: 2-2-99

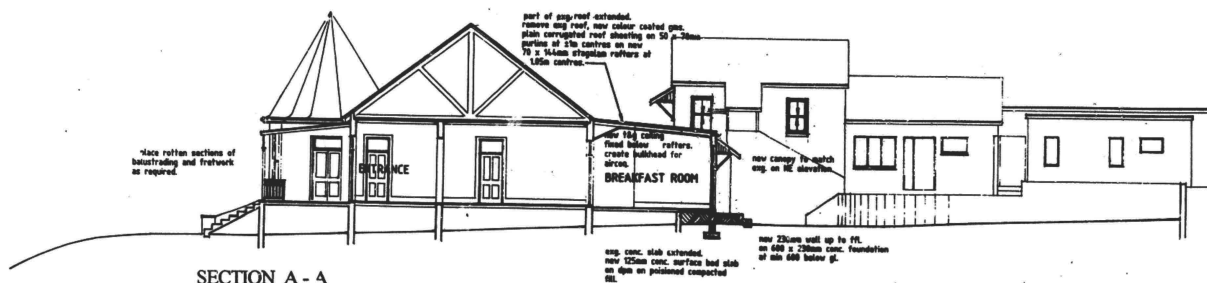
LAND USE AUTHORITY
 CONSENT USE AUTHORITY
GRANTED
 28 JAN 1999
 Signature: [Signature]
 Checked: [Signature]



NORTH WEST ELEVATION



NORTH EAST ELEVATION



SECTION A - A

OWNERS SIGNATURE: [Signature]

543 MUSGRAVE ROAD

RESTORATION OF PROVISIONALLY
 DECLARED NATIONAL MONUMENT
 FOR SHEERPROPS 1134 cc

SCALE 1 : 100

DATE FEBRUARY 1998

DWG. No. 640/202

EMMETT : EMMETT ARCHITECTS cc.
 551 MUSGRAVE RD, DURBAN 4001, TEL 299007, FAX 299045

NOT TO BE USED UNLESS NOT HAVE
 DOMINATED THIS APPEAL
 WILL EXPIRE ON ITS FIRST
 ANNIVERSARY DATE.

403 04 02

APPROVED: Ms. J SUBBAN
 EXECUTIVE DIRECTOR DEVELOPMENT
 & PLANNING UNIT
 DATE: 16-10-2002 PER: *[Signature]*

ELECTRICITY SERVICES
 Any person undertaking erection of a structure in accordance with this plan is to ensure that:
 1) The location of any electrical services and accessories in the vicinity of the proposed works.
 2) DPE (Development Engineer) shall refer to the relevant drawings and specifications.

ELECTRICITY SERVICES
 Any person undertaking erection of a structure in accordance with this plan is to ensure that:
 1) The location of any electrical services and accessories in the vicinity of the proposed works.
 2) DPE (Development Engineer) shall refer to the relevant drawings and specifications.

LAND USE AND ZONING
 CITY OF DURBAN
 GRANTED
 2002-05-07
 SIGNATURE: *[Signature]*
 CHECKED: *[Signature]*

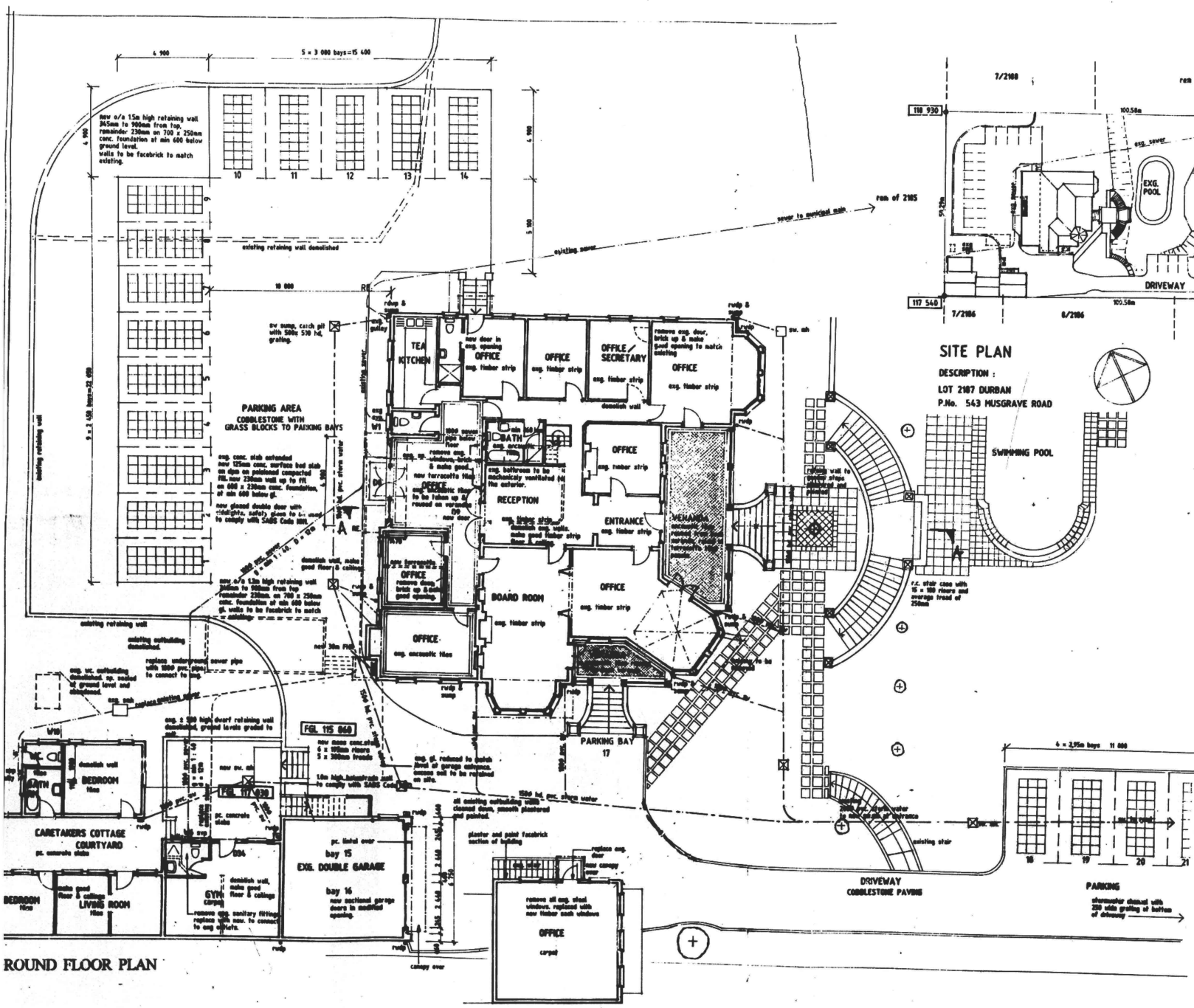
"It should be noted that this plan has been approved on the basis of information furnished."

ENGINEER'S DETAILS REQUIRED



REGISTERED ARCHITECT
 DURBAN
 2002-05-07
 MEMPHIS: *[Signature]*

A. FRONTAGE LEVELS ARE:
 (1) TO CONFORM TO THE BACK OF THE CONSTRUCTED SIDEWALK, OR
 (2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA: $F = 0.015 \times D$
 (Where F = Change level, E = level of edge of kerb, and D = Distance in metres between edge of kerb and road reserve boundary)
B. A CONCRETE DECK AT THE CORRECT FRONTAGE LEVEL IS TO BE PROVIDED AT EACH UTILITY EXCAVATION AT THE TOP OF THE FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0.300 METRES BELOW FRONTAGE LEVEL.



SITE PLAN

DESCRIPTION:
 LOT 2107 DURBAN
 P.No. 563 MUSGRAVE ROAD

SCHEDULE OF AREAS

Site Area:	5 950m ²
Zoning:	Muisonette, min. size 950m ²
Permissible PAR:	4 047m ²
Existing PAR:	375m ²
Main House:	45m ²
Verandas:	19m ²
Outbuilding:	19m ²
Existing Area:	572m ²
Additional Area:	7m ²
Total Floor Area:	579m ²
Permissible Coverage (40%):	2 324m ²
Existing Coverage:	517m ²
Proposed Coverage:	534m ²
Parking required:	16 bays
Main Office 236/25:	2 bays
Office above garage 47/25:	1 bay
Caretaker:	17 bays
Parking provided:	21 bays

SITE PLAN CHECKED
 702-21-24

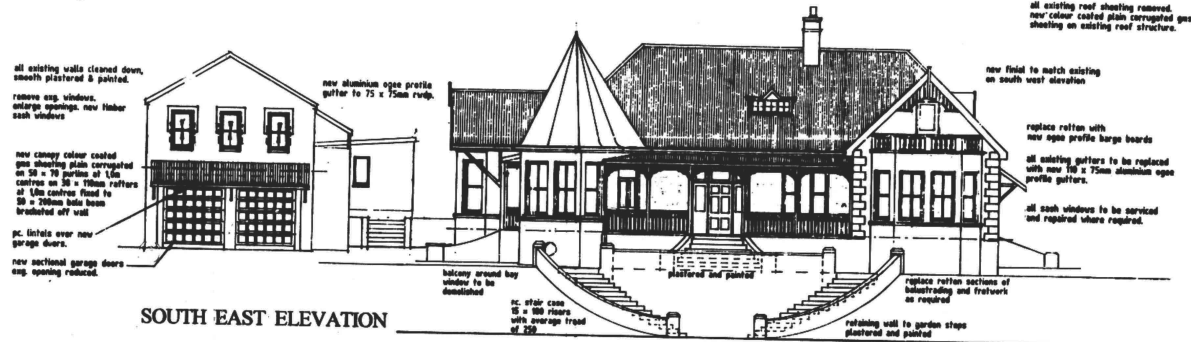
Owner's signature: *[Signature]*
 Telephone: 031 207 5561
 Ref. No. 202/040/2076/00
543 MUSGRAVE ROAD
RESTORATION & CONVERSION
TO OFFICES FOR
SHEERPROPS 1134 cc.
 SCALE: 1:100, 1:500
 DATE: APRIL 2002
 DWG. No. 640 / 200 B

Emmett: Emmett
ARCHITECTS
 551 MUSGRAVE ROAD, DURBAN 4001.
 TEL: 2099087, FAX: 2099045, E-MAIL: emmett@emmett.co.za

ROUND FLOOR PLAN

UPPER LEVEL PLAN

APPROVED: Ms. J. SUBBAN
EXECUTIVE DIRECTOR, DEVELOPMENT
& PLANNING UNIT
DATE: 16/10/02 PER: [Signature]



SOUTH EAST ELEVATION

all existing walls cleaned down, smooth plastered & painted.
restore esp. windows, enlarge openings, new Heber sash windows
new canopy colour coated galv sheeting plain corrugated on 50 x 75 poles at 1.5m centres on 30 x 100mm rafters at 1.5m centres fixed to 50 x 100mm hole beams brushed off wall
pc. lintels over new garage doors
new sectional garage doors esp. opening reduced.

new aluminium eave profile gutter to 75 x 75mm ruyg.

all existing roof sheeting removed, new colour coated plain corrugated galv. sheeting on existing roof structure.

new finish to match existing on south west elevation

replace rafters with new eave profile barge boards
all existing gutters to be replaced with new 75 x 75mm aluminium eave profile gutters.
all sash windows to be serviced and repaired where required.

balcony around bay window to be demolished

nc. stair case 15 x 100 floors with average tread of 250

plastered and painted

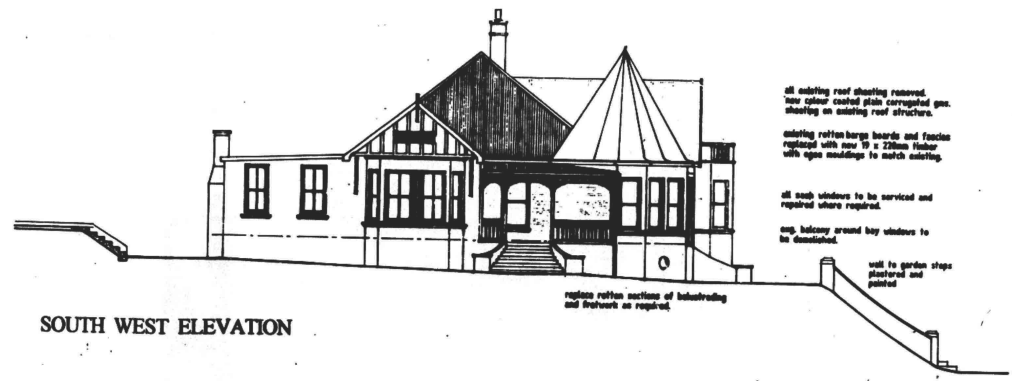
replace rafters sections of substructure and framework as required

retaining wall to garden steps plastered and painted

GENERAL NOTES
Building to be mechanically ventilated.
Fresh air to be supplied at a rate of 7.5 l/s per person to all habitable areas (includes toilets & tea kitchens)
Air velocity is not to exceed 0.5 m/s. to Engineers details and to comply with regulation 4 of the NBC
Lighting to offices to be min 500 lux. rest of building min 100 lux.
All parapet facilities to comply with part 5 of National Building Regulations.

FIRE NOTES
Stability of structural elements to comply with SABS code T77.
Fire stopping in ceiling and roof space to comply with SABS code TT31.3
Fire alarm system to be provided in accordance with SABS code TT31.3.
Provision of fire fighting equipment to comply with SABS code TT32.
Water reticulation to fire fighting equipment to comply with SABS code TT33.
Provision of fire hose reels to comply with SABS code TT34.
Provision of portable fire extinguishers to comply with TT37.
Provision of air-conditioning to offices to comply with TT43.1.
Building utilised as - G1 (offices).

LAND USE ZONING
CONSENT STATUS
GRANTED
2002-05-15
Signature: [Signature]
Checked: [Signature]



SOUTH WEST ELEVATION

all existing roof sheeting removed, new colour coated plain corrugated galv. sheeting on existing roof structure.

existing rafter barge boards and fascias replaced with new 75 x 220mm Heber with eave mouldings to match existing.

all sash windows to be serviced and repaired where required.

esp. balcony around bay window to be demolished.

wall to garden steps plastered and painted

replace rafters sections of substructure and framework as required

Owner's signature: [Signature]

Telephone: 031 207 5581
Ref. No. 202/0570/2076/00

543 MUSGRAVE ROAD
RESTORATION & CONVERSION
TO OFFICES FOR
SHEERPROPS 1134 cc.

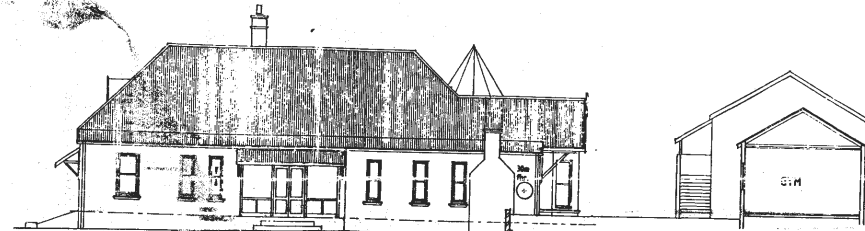
SCALE: 1:100
DATE: APRIL 2002
DWG. No 640/201 B

Emmett: Emmett
ARCHITECTS
551 MUSGRAVE ROAD, DURBAN 4001.
TEL: 209907, FAX: 209945, E-MAIL: emmett@emmett.co.za

2002-05-03
APPROVED

WORTHINGTON CONSULTING
ENVIRONMENTAL & STRUCTURAL
HEALTH DEPARTMENT
DURBAN
2002-05-07
NICE: [Signature]
RETURNED: [Signature]

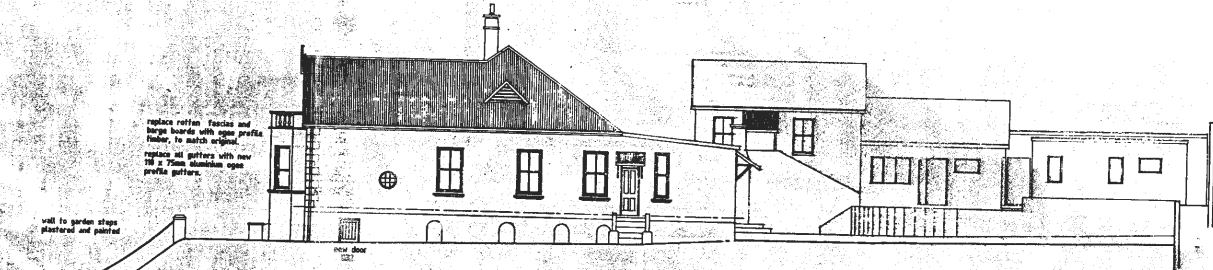
APPROVED: Mrs. J. SUBBAN
EXECUTIVE DIRECTOR OF DEVELOPMENT
& PLANNING UNIT
DATE: 11/10/02



NORTH WEST ELEVATION

new glazed double door with sidelight, safety glazing to comply with SABS Code 1001.
new 1/2 x 1.2m high retaining wall 3450mm to 500mm from top remainder 230mm on 700 x 250mm conc. foundation at min 600 below g.

LAPTOP PLAN UNIT
CONSENT FOR AUTHORITY
GRANTED
2002-05-15
Signature: [Signature]
Checked: [Signature]

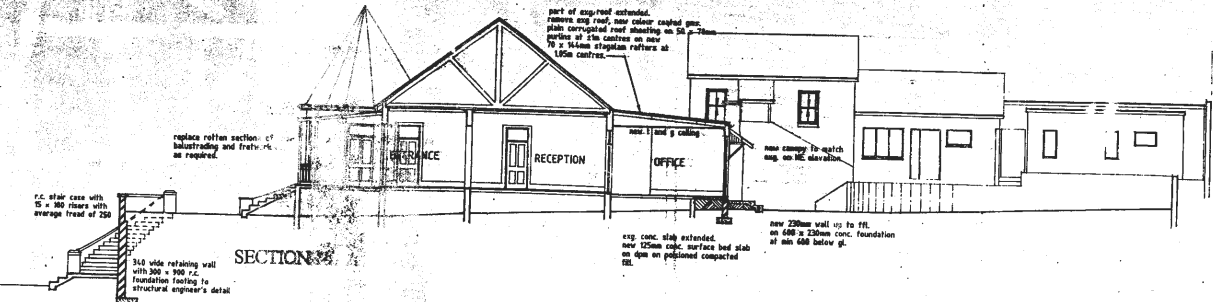


NORTH EAST ELEVATION

replace rotten fascias and barge boards with eaves profile timber to match existing.
replace all gutters with new 100 x 75mm aluminium eaves profile gutters.

wall to garden steps plastered and painted

DURBAN
2002-05-03
APPROVED
[Signature]



SECTION

part of exp. roof extended, remove exp. roof, new colour coated galv. plate corrugated roof sheeting on 50 x 70mm rafters at 1500mm centres on max. 70 x 140mm stoppan rafters at 1500mm centres.

replace rotten section of balustrading and fretwork as required.

r.c. slab case with 15 x 100 risers with average tread of 250

340 wide retaining wall with 300 x 300 r.c. foundation footing to structural engineer's detail

exp. conc. slab extended, new 100mm conc. surface bed slab on dips on prepared compacted fill.
new 230mm wall up to fill on 400 x 230mm conc. foundation at min 600 below g.

Owner's signature: [Signature]

Telephone: 031 207 5561
Ref. No. 282/0870/2074/00

543 MUSGRAVE ROAD
RESTORATION & CONVERSION
TO OFFICES FOR
SHEERPROPS 1134 cc.

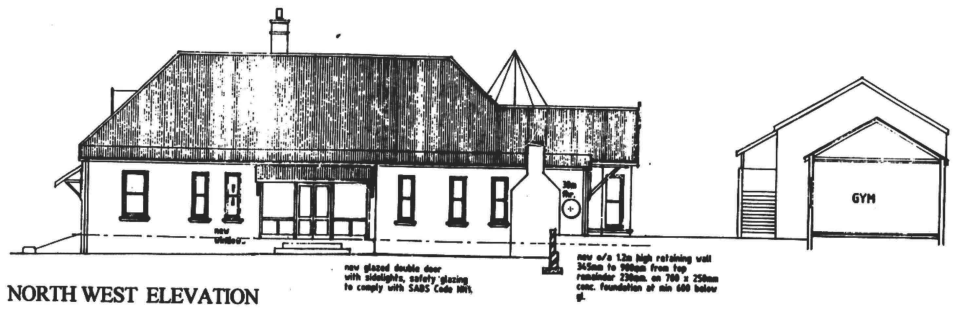
SCALE: 1:100
DATE: APRIL 2002
DWG. No. 640 / 202 B

Emmett: Emmett

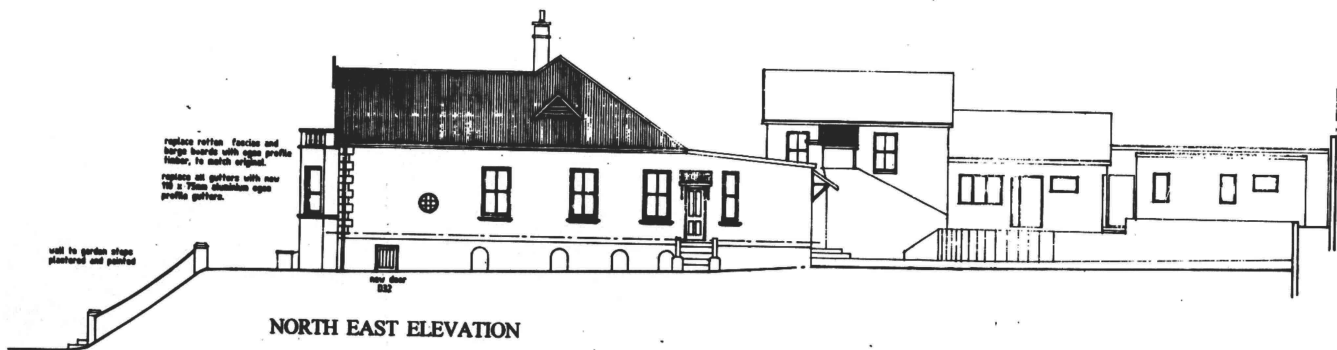
ARCHITECTS
551 MUSGRAVE ROAD, DURBAN 4001.
TEL: 2099081, FAX 2099045, E-MAIL: emmettarch@iinet.com.co.za

NORTHSOUTH CENTRAL
SUB-STRUCTURES
HEALTH DEPARTMENT
DURBAN
2002-05-07
RECEIVED
REPORT NO. [Blank]
DATE: [Blank]

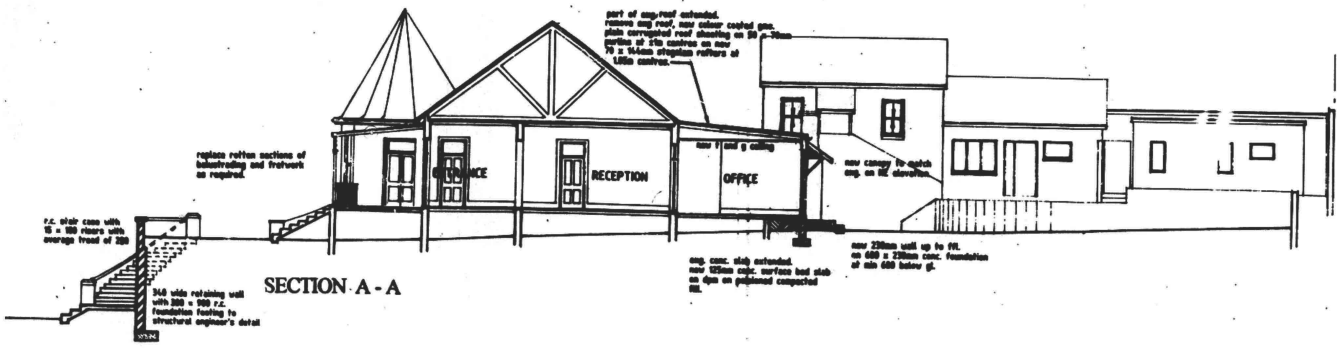
APPROVED: Ms. J SUBBAN
EXECUTIVE DIRECTOR DEVELOPMENT
& PLANNING UNIT
DATE: 16.10.02 P.C. [Signature]



NORTH WEST ELEVATION



NORTH EAST ELEVATION



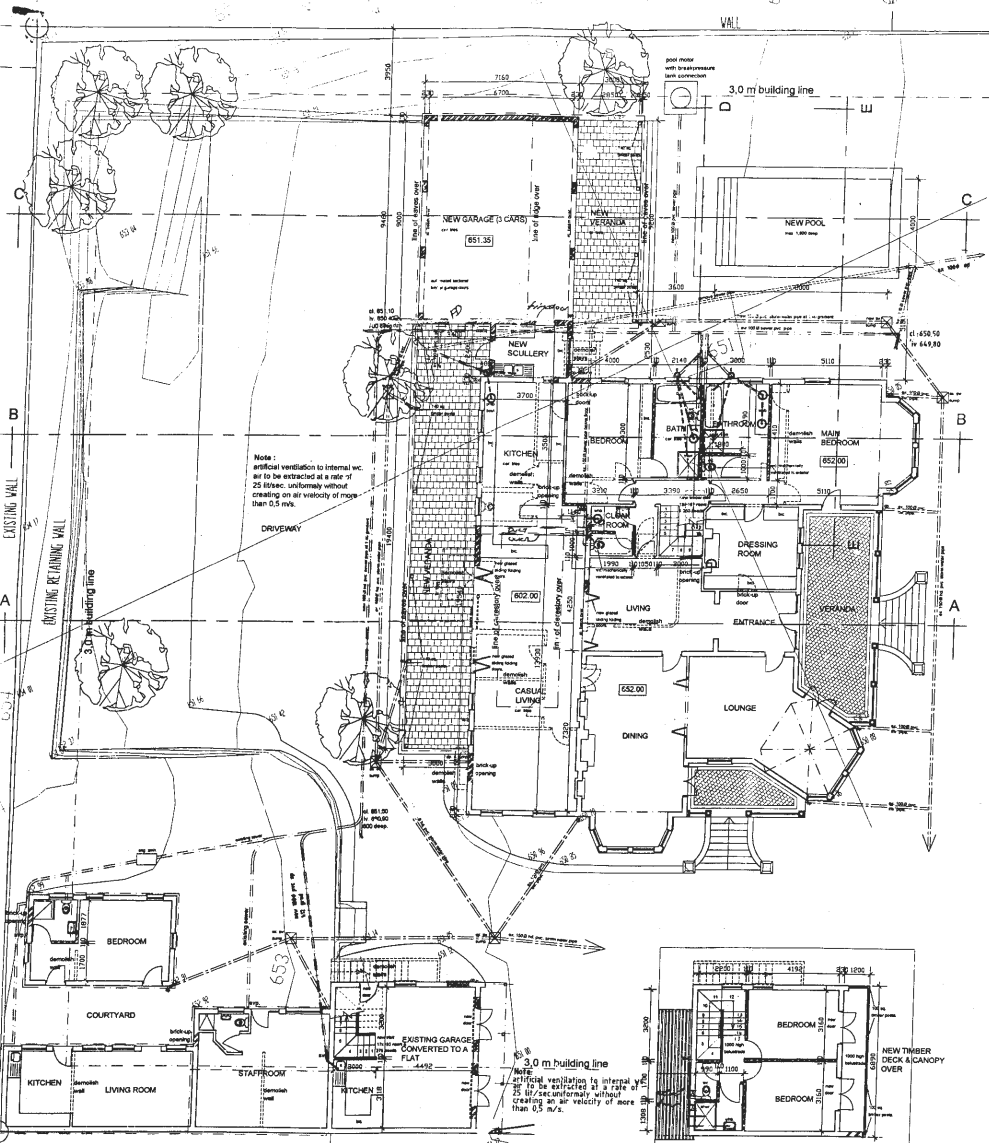
SECTION A - A

LATEST PLAN OF THE
CURRENT ZONE AUTHORITY
GRANTED
2002-05-11
Signature: [Signature]
Checked: [Signature]

2002-05-03
APPROVED
[Signature]

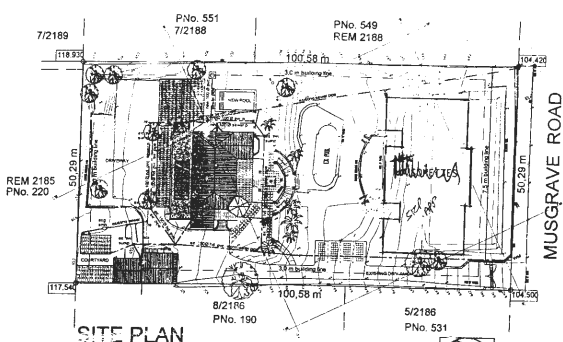
NORTHSOUTH CENTRAL
GMB - STRUCTURED
HEALTH DEVELOPMENT
COUNCIL
2002-05-07
RECEIVED

Owner's signature: [Signature]
Telephone: 031 207 5581
Ref. No. 282/0610/207/00.
**543 MUSGRAVE ROAD
RESTORATION & CONVERSION
TO OFFICES FOR
SHEERPROPS 1134 cc.**
SCALE: 1:100
DATE: APRIL 2002
DWG. No. 640/202 B
Emmett: Emmett
ARCHITECTS
551 MUSGRAVE ROAD, DURBAN 4001.
TEL: 2099087, FAX: 2099045, E-MAIL: emmett@emmett.co.za

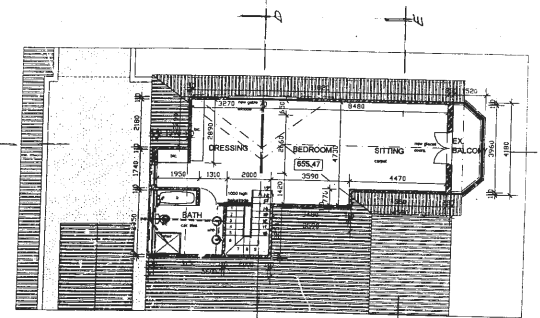


GROUND FLOOR PLAN

FIRST FLOOR PLAN



SITE PLAN
Site Description LOT 2187 DURBAN
P.No. 543 MUSGRAVE ROAD



FIRST FLOOR PLAN

SCHEDULE OF AREAS
Site Description: Erf. 2187 of Durban

Zoning:	Maisonette, min.	900,0 m ²
SP / Area:		5 059,0 m ²
Permissible P.A.R.		4 047,0 m ²
Existing PAR:		
Main House	328,0 m ²	
Veranda	45,0 m ²	
Garage (Flat)	46,0 m ²	
Outbuilding	97,0 m ²	
Outbuilding, 5th floor (Flat)	45,0 m ²	
		576,0 m ²
Additional PAR:		
Ground Floor	9,0 m ²	
House	59,0 m ²	
Garage	68,0 m ²	
Garage Veranda	27,0 m ²	
		163,0 m ²
First Floor	69,0 m ²	
		232,0 m ²
Total PAR:		808,0 m ²
New Maisonette		
Ground Floor	528,0 m ²	
First Floor	518,0 m ²	
		1046,0 m ²
Total Including Maisonette:		1854,0 m ²
Existing Coverage	528,0 m ²	
Proposed Coverage	881,0 m ²	
Maisonette Coverage	960,0 m ²	
Total Coverage	1359,0 m ²	

Approved Maisonette to be by separate application.

OWNER'S SIGNATURE: _____
PHONE NO.: 031 976 9700

543 MUSGRAVE ROAD.
P.O. NO. 0670 2070
**CONVERSION TO RESIDENTIAL
FOR YUNUS AKOOB KHAMISSA,
NIZAM AKOOB & HASSAN AKOOB.**
PLANS & SITE PLAN.

SCALE: 1:100 & 1:500
DATE: JANUARY 2005
DWG. No.: 0444/01
REV. No.: rev. C(2012/04)

Emmett: Emmett
ARCHITECTS
551 MUSGRAVE ROAD, DURBAN 4001.
TEL: 206687 FAX: 2061646 E-MAIL: emmettarch@emmett.co.za

543 Musgrave Rd

1/2

2

EMMETT ARCHITECTS

APPROVED BY THE DURBAN LOCAL GOVERNMENT
Population and Planning Services Unit
15th Floor, 1501 Main Road, Durban 4001
21 JUN 2005

THE PUBLIC ENGINEER'S REGISTRATION BOARD
15th Floor, 1501 Main Road, Durban 4001

1/2

3 B 1

ANTHWARD D.P.C. VERTICAL D.P.C.
SOIL FUSIONING REQUIRED

ROOF STRUCTURE TO BE TO
"EMPIRICAL RULES" OR TO NATIONAL
DESIGN COMPLYING WITH
"DEEMED TO SATISFY RULE B4"

ENGINEERS DEALS REQUIRED

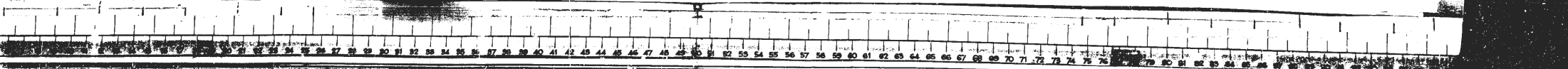
ALL GLAZING TO COMPLY
WITH PART W12 AND W13
OF SABS 0400

BOUNDARY BEACONS
FAILURE TO EXPOSE THE BOUNDARY
BEACONS BEFORE STARTING THIS
WORK IS AN OFFENCE

THE POOL TO BE FINISHED AS REQUIRED IN
TERMS OF 04 (B.3.3) OF THE NATIONAL
BUILDING REGULATIONS PRIOR TO THE POOL
BEING FILLED WITH WATER.

SHOULD WORK NOT HAVE
COMMENCED THIS APPROVAL
WILL EXPIRE ON ITS FIRST
ANNIVERSARY DATE.

SUBMISSION:
SITE PLAN CHECKED
No. 127



colourbond corrugated lean-to canopy
roof on 45x110 rafters at 1,000 centers
& 50x120 bali eave beam.

new 1.0 high gsm. batttrade to new
timber deck.

140x140 veranda posts & 50x210 bali beam
to timber deck.



EAST ELEVATION

3/4" x 4" x 4" colorbond corrugated roof sheeting
& eave profile aluminum gutters
on on 210 ogee moulded fascias.

140x140 timber veranda posts with
50x200 eave beam.

automated sectional timber garage doors.

2/2 2
ET. 406/18/054
APPROVED in terms of the National Building Regs (Code of Practice) for
RESIDENTIAL BUILDINGS
21 JUN 2005
THE HOME APPLICATION OFFICER'S NAME
C. J. ...

INSPECTION IN ORDER
B. I. ...
DATE 03/2/05

ANTHROPOMETRIC VERTICAL D.P.C.
SOIL POISONING REQUIRED

ROOF STRUCTURE TO BE TO
"EMPIRICAL RULES" OR TO NATIONAL
DESIGN COMPLYING WITH
"DEEMED TO SATISFY RULE BB.4"

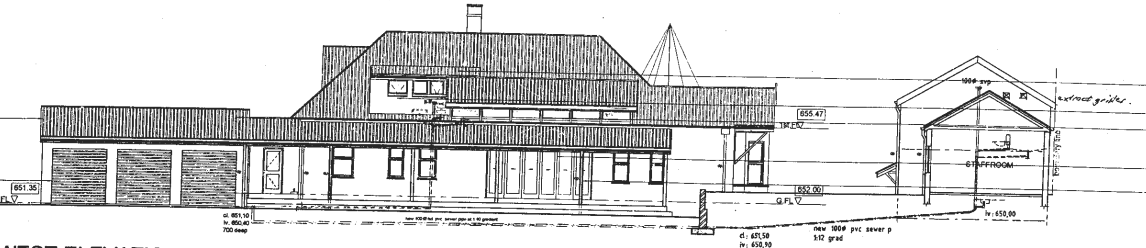
ENGINEERS DETAILS REQUIRED

ALL GLAZING TO COMPLY
WITH PART N12 AND N13
OF SABS OAD

BOUNDARY BEACONS
FAILURE TO EXPOSE THE BOUNDARY
BEACONS BEFORE STARTING THE
WORK IS AN OFFENCE

colour coated corrugated roof sheeting
& eave profile aluminum gutters
on on 210 ogee moulded fascias.

automated sectional timber garage doors.



WEST ELEVATION

3/4" x 4" x 4" color coated corrugated roof sheeting
& eave profile aluminum gutters
on on 210 ogee moulded fascias.

bathroom dormer plaster & painted walls.
lattice roof with clerestory fixed lights.

timber sliding folding doors with safety glazing.

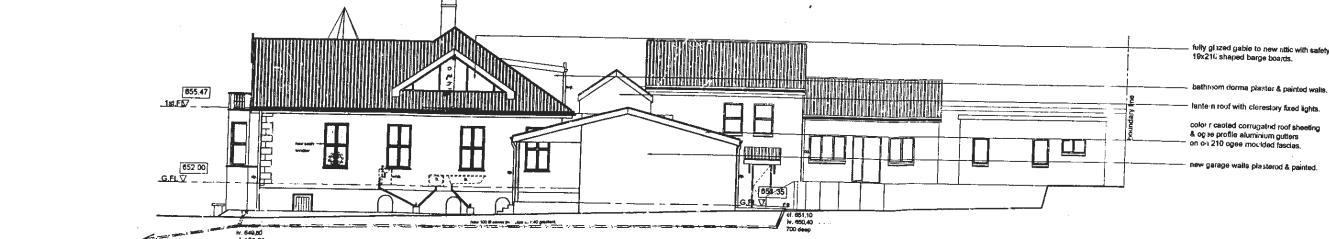
140x140 timber veranda posts with
50x200 eave beam.



SOUTH ELEVATION

bathroom dormer plaster & painted walls.
lattice roof with clerestory fixed lights.

140x140 timber veranda posts with
50x200 eave beam.



NORTH ELEVATION

fully glazed gable to new attic with safety glass.
10x210 shaped barge boards.

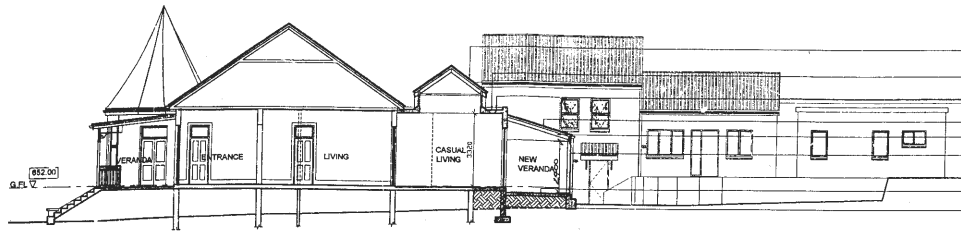
bathroom dormer plaster & painted walls.
lattice roof with clerestory fixed lights.

color coated corrugated roof sheeting
& eave profile aluminum gutters
on on 210 ogee moulded fascias.

new garage walls plastered & painted.

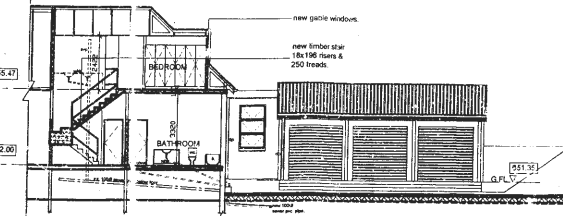
OWNERS SIGNATURE
PHONE NO.: 051 2162100
543 MUSGRAVE ROAD.
DURBAN 4001
CONVERSION TO RESIDENTIAL
FOR YUNUS AKOOB KHAMISSA,
NIZAM AKOOB & HASSAN AKOOB.
ELEVATIONS.
SCALE 1:100
DATE JANUARY 2005
DWG. No. 0444/02
REV. No. rev. C(2012/04)

Emmett Farrell
ARCHITECTS
551 MUSGRAVE RD. (1) DURBAN 4001.
TEL: 209067. FAX: 209065. E-MAIL: emmett@emmett.co.za



SECTION A-A

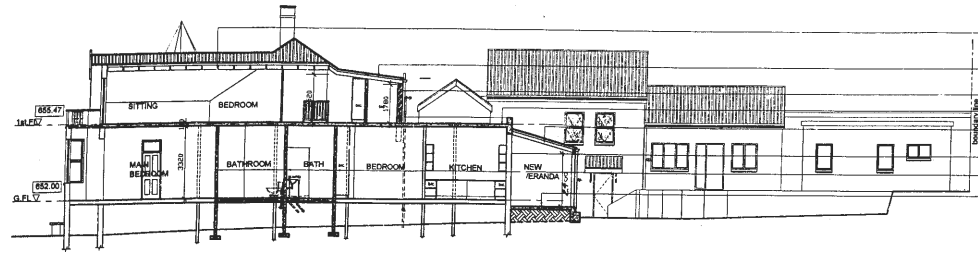
Laminated, bolted timber trusses at 35° pitch at 1,000 centers with 50x70 purlins & 0.8 colour coated corrugated sheeting leading to clerestory lights.
 170 rc suspended slab with upstand beam to opening.
 screed to fall & with top-on waterproofing.
 new veranda, 140 rafters at 15° pitch at 1,000 centers & 50x70 purlins with 0.8mm colourcoated corrugated sheeting.
 140x140 balu veranda posts & 50x210 balu beams.
 50x140 rafters with 19x210 fascias & ogee profile aluminium gutters, at 1,000 centers at 15° pitch.
 125 surface bed on compacted & polished fill with screed to fall.
 230 external walls & 115 internal walls on 230x700 strip foundation.



SECTION D-D

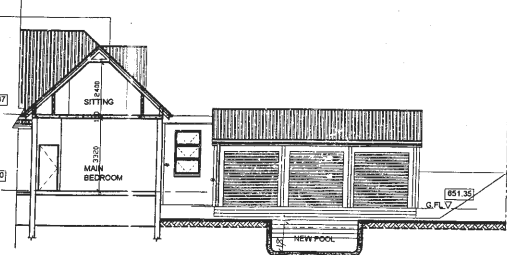
ANTHUS 2000 VERTICAL D.P.C.
 SOIL POISONING REQUIRED
 ENGINEERS DETAILS REQUIRED

2
 10-05
 APPROVED IN TERMS OF THE LOCAL BUILDING REGULATIONS AND THE NATIONAL ACT
 1. JUN 2005
 SITE INSPECTOR
 D.B. [Signature]
 S.B. [Signature]
 DATE 07/10/05
 ROOF STRUCTURE TO BE TO TECHNICAL RULE 51 ON TO NATIONAL DESIGN COMPLYING WITH DEEMED TO SATISFY RULE 8B.4
 ALL GLAZING TO COMPLY WITH PART W42 AND W43 OF SABS 0400
 BOUNDARY BEACONS FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

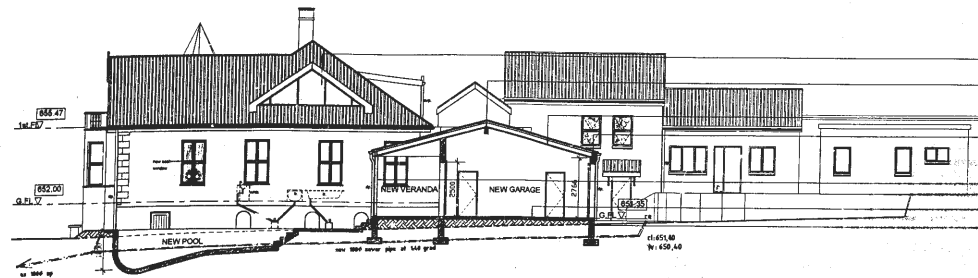


SECTION B-B

Attic room, roof trusses modified & rafters fixed with 18g nailing with 50mm thermoguard internal insulation.
 new dorma with 140 rafters at 5° pitch with 50x70 purlins at 1,000 centers & color coated corrugated sheeting.
 new 230 external walls plastered & painted.
 170 rc suspended slab including 230 upstand beam.
 new veranda, 50x140 rafters at 15° pitch at 1,000 centers & 50x70 purlins with 0.8mm colourcoated corrugated sheeting.
 140x140 balu veranda posts & 50x210 balu beams.
 19x210 fascias & ogee profile aluminium gutters.
 new 110 internal walls.
 125 surface bed on compacted & polished fill with screed to fall.

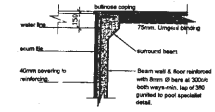


SECTION E-E



SECTION C-C

fully glazed gable to new attic with safety glass, 19x210 shaped barge boards.
 new garage, 150x450 laminated timber ridge beam & 50x210 rafters, 15° pitch, at 1,000 centers, 50x70 purlins & 0.8 colourcoated corrugated sheeting.
 6.0 plasterboard ceiling on battens at rafe below rafters.
 230x340 rc beam to door openings.
 timber sectional automated garage doors.
 140x140 balu veranda posts & 50x210 balu beams, 19x210 fascias & ogee profile aluminium gutters.
 125 surface bed on compacted & polished fill with screed to fall.
 230 external veranda 230x700 strip foundation.



POOL DETAIL

POOL NOTES:
 pool pump to be connected to electricity supply via air cut leakage
 pool pump to be properly housed
 all surplus pump water to connect to sewer via 40mm open channel drainhole
 all construction & waterproofing to comply with
 1: A.B.S. scale of practice
 certificate of liability issued on completion
 pool fence to comply with DDA of the NBR,
 pool door hinge to be trapped on site.

OWNERS SIGNATURE [Signature]
 PHONE NO. : 031 216 2100
 543 MUSGRAVE ROAD,
 DURBAN 4006
 CONVERSION TO RESIDENTIAL
 FOR YUNUS AKOOB KHAMISSA,
 NIZAM AKOOB & HASSAN AKOOB.
 SECTIONS.
 SCALE 1:100 & 1:20
 DATE JANUARY 2005
 DWG. No. 0444/03
 REV. No rev. C(20/12/04)

Emmett : Emmett
 ARCHITECTS
 531 MUSGRAVE ROAD, DURBAN 4001.
 TEL 030061 FAX 090648 E.MAIL emmett@emmett.co.za

DATE SERVICES
 [Illegible text]