

# ENVIRONMENTAL IMPACT ASSESSMENT PROCESS FOR THE PROPOSED ENYATHI HOUSING DEVELOPMENT

## BACKGROUND INFORMATION DOCUMENT

OCTOBER 2020



### PURPOSE OF THIS DOCUMENT

The purpose of this Background Information Document (BID) is to provide a brief description of the proposed development and the EIA Process that will be followed. The aim is to inform Interested and Affected Parties (IAPs) on how to participate in the EIA Process and to obtain comments from IAPs on the issues pertaining to the proposed development. Findings of the EIA Process, including concerns raised by IAPs will be submitted to the Kwazulu Natal Department of Economic Development, Tourism and Environmental Affairs.

### INTRODUCTION

The Abaqulusi Municipality has, through its IDP process, and extensive consultation with respective communities residing within the local municipality, identified the need to provide a housing development within its area of jurisdiction. This process was initiated as a means to address the municipality's housing need due to the growth of the population.

The proposed project is an in-situ upgrade and infill development and is aimed at providing suitable housing to beneficiaries within the Abaqulusi Local Municipality.

### PROJECT DESCRIPTION

#### LOCATION AND DIRECTION TO THE SITE

The proposed development area is located within the Enyathi Mining Village, Ward 5 of the Abaqulusi Local Municipality. The total extent of the proposed site is approximately 263.9 hectares with a development footprint of approximately 19.5 ha.

From Vryheid CBD head south onto Hoog Street towards Utrecht Street. Turn left onto Suid Street. Travel for approximately 4.3km and continue on the R69. After approximately 17.5km, turn right. Travel for a further 6.4km and turn right again. After approximately 9 km, the site will be entered

#### PROJECT CO-ORDINATES

Latitudinal Extent: 27° 49' 37.11" S

Longitudinal Extent: 31° 3' 0.77" E

### CURRENT LAND USE

There are existing residential structures as well as other municipal and community facilities situated within the project area. CBAs are located within the northern and southern portions of the project area and several non-perennial drainage lines that traverse the site from northern to south.

Figure 1: Proposed Project Area



### DESCRIPTION OF PROPOSED ACTIVITY

The proposed development area is located within the Enyathi Mining Village, Ward 5 of the Abaqulusi Local Municipality. The total extent of the proposed site is approximately 263.9 hectares with a development footprint of approximately 19.5 ha. The proposed project is an in-situ upgrade and infill development and is aimed at providing suitable housing to beneficiaries within the Abaqulusi Local Municipality.

The proposed development will entail:

- in situ upgrade and infill development on vacant pockets of land within the project area.
- construction of internal pipelines for the transportation of water and wastewater
- construction of internal roads and stormwater infrastructure
- Formalisation of the existing cemetery
- It should be noted that even will be set aside for commercial facilities and active and passive open space.

## LEGAL REQUIREMENTS

The EIA process for this proposed development will be conducted in accordance with the 2014 Environmental Impact Assessment Regulations (as amended in 2017), published in terms of sections 24(2) and 24D of the National Environmental Management Act (Act No. 107 of 1998).

The National Environmental Management Act (NEMA) 2014 EIA Regulations lists activities that may have a significant impact on the environment, and which consequently require environmental authorization from the competent authority. The regulations also specify the environmental assessment process, and information that is required to enable DEDTEA to make a decision regarding the proposed activity.

The Basic Assessment Process is required to be followed with accordance to the 2014 EIA Regulations (as amended in 2017), as the following activities have the potential to be triggered by the proposed development:

### LISTING NOTICE 1

**Activity 12:** *The development of -*  
*(ii) infrastructure or structures with a physical footprint of 100 square metres or more; where such development occurs -*  
*where such development occurs -*  
*a) within a watercourse;*  
*c) if no development setback exists, within 32 metres of a watercourse, measured from the edge of a watercourse;*  
*excluding -*

*(aa) the development of infrastructure or structures within existing ports or harbours that will not increase the development footprint of the port or harbour;*  
*(bb) where such development activities are related to the development of a port or harbour, in which case activity 26 in Listing Notice 2 of 2014 applies;*  
*(cc) activities listed in activity 14 in Listing Notice 2 of 2014 or activity 14 in Listing Notice 3 of 2014, in which case that applies;*  
*(dd) where such development occurs within an urban area; or*  
*(ee) where such development occurs within existing roads, road reserves or railway line reserves; or*  
*(ff) the development of temporary infrastructure or structures where such infrastructure or structures will be removed within 6 weeks of the commencement of development and where indigenous vegetation will not be cleared.*

#### Background:

The proposed development may entail the construction of infrastructure or structures with a physical footprint of 100m<sup>2</sup> within 32m of a watercourse.

**Activity 19:** *The infilling or depositing of any material of more than 10 cubic metres into, or the dredging, excavation, removal or moving of soil, sand, shells, shell grit, pebbles or rock of more than 10 cubic metres from a watercourse;*  
*but excluding where such infilling, depositing, dredging, excavation, removal or moving -*  
*(a) will occur behind a development setback;*  
*(b) is for maintenance purposes undertaken in accordance with a maintenance management plan; or*  
*(c) falls within the ambit of activity 21 in this Notice, in which case that activity applies.*  
*(d) occurs within existing ports or harbours that will not increase the development footprint of the port or harbour; or*

*(e) where such development is related to the development of a port or harbour, in which case activity 26 in Listing Notice 2 of 2014 applies.*

#### Background:

The proposed development may entail the infilling and depositing of material as well as the removal and excavation of sand from watercourses. This will be confirmed during the EIA Process.

**Activity 27:** *The clearance of an area of 1 hectare or more, but less than 20 hectares of indigenous vegetation, except where such clearance if indigenous vegetation is required for-*  
*(i) the undertaking of a linear activity; or*  
*(ii) maintenance purposes undertaken in accordance with a maintenance management plan*

#### Background:

The proposed development may entail the clearance of 1 hectare or more of indigenous vegetation.

**Activity 28:** *Residential, mixed, retail, commercial, industrial or institutional developments where such land was used for agriculture, game farming, equestrian purposes or afforestation on or after 01 April 1998 and where such development:*  
*(i) will occur inside an urban area, where the total land to be developed is bigger than 5 hectares; or*  
*(ii) will occur outside an urban area, where the total land to be developed is bigger than 1 hectare;*

*excluding where such land has already been developed for residential, mixed, retail, commercial, industrial or institutional purposes.*

#### Background:

A portion of the site is currently being used for agricultural plantations. However, this activity will be confirmed during the EIA process

### LISTING NOTICE 3

**Activity 4:** *The development of a road wider than 4m with a reserve less than 13.5m.*

#### (d) Kwazulu-Natal

*viii. Critical biodiversity areas as identified in systematic biodiversity plans adopted by the competent authority or in bioregional plans;*

#### Background:

The proposed development may entail the construction of roads that are wider than 4m within an area classified as a CBA.

**Activity 12:** *The clearance of an area of 300 square metres or more of indigenous vegetation except where such clearance of indigenous vegetation is required for maintenance purposes undertaken in accordance with a maintenance management plan.*

#### (d) Kwazulu-Natal

*v. critical biodiversity areas as identified in systematic biodiversity plans adopted by the competent authority or in bioregional plans.*

#### Background:

The proposed development will entail the clearance of more than 300 square metres of indigenous vegetation within CBAs.

**Activity 14:** *The development of-*  
*(ii) infrastructure or structures with a physical footprint of 10 square metres or more;*  
*where such development occurs—*  
*(a) within a watercourse;*  
*(c) if no development setback has been adopted, within 32 metres of a watercourse, measured from the edge of a watercourse;*

excluding the development of infrastructure or structures within existing ports or harbours that will not increase the development footprint of the port or harbour.

**(d) Kwazulu-Natal**

vii. Critical biodiversity areas or ecological support areas as identified in systematic biodiversity plans adopted by the competent authority or in bioregional plans;

**Background:**

The proposed development entails the construction of housing units within 32m of a watercourse within CBAs. Water and sewerage pipelines may be constructed within the watercourse. However, this will be confirmed during the EIA Process.

**ENVIRONMENTAL IMPACT ASSESSMENT PROCESS**

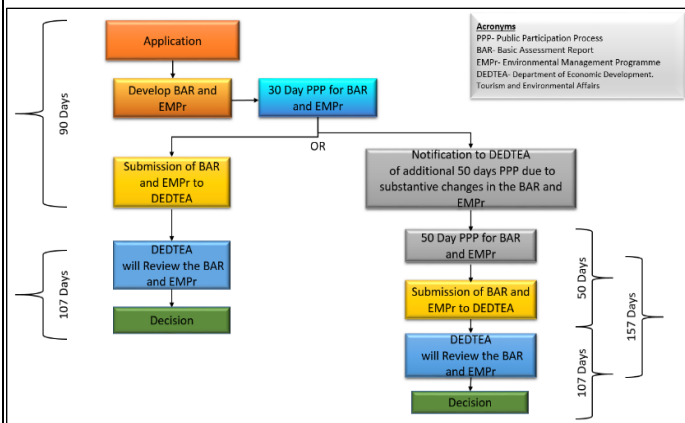
**ENVIRONMENTAL ASSESSMENT PRACTITIONER**

K2M Environmental (Pty) Ltd has been appointed by the applicant as the independent Environmental Assessment Practitioner (EAP) responsible for undertaking the Environmental Impact Assessment.

**THE BASIC ASSESSMENT PROCESS**

The project methodology involved with the required Environmental Authorization Process is illustrated in Figure 2.

**Figure 2: Illustration of the Basic Assessment Process**



**POTENTIAL ENVIRONMENTAL ISSUES**

**GEOPHYSICAL AND BIOPHYSICAL:**

- Removal of indigenous vegetation.
- Soil pollution and soil erosion.
- Displacement of fauna within the site.
- Potential for illegal dumping within the open space system.
- An Environmental Management Programme will be developed with which to monitor and mitigate any environmental impacts before they occur, during the construction and operational phase of the proposed development.

**SOCIO-ECONOMIC ISSUES:**

- Increase in traffic volumes (both pedestrian and vehicular) along the existing the road network during the construction and operational phase of the proposed development.

- The construction phase of development will result in a number of temporary employment opportunities for unemployed members of the surrounding community.

**CULTURAL-HISTORIC ISSUES:**

- Documentation will be submitted to KZN Amafa for their comment.

**PUBLIC PARTICIPATION PROCESS**

Public participation is the foundation of the Environmental Impact Assessment process. The principles of the National Environmental Management Act (NEMA) guide various aspects of the EIA process, including public participation which involves provision of sufficient information, in a transparent manner, to IAPs. During the Public Participation Process input from the proponent, specialists, government, and non-government organizations as well as all other potential IAPs are gathered to enable more informed decision-making.

Public Participation during the Basic Assessment Process will entail the EAP notifying all IAPs about the draft Basic Assessment Report. IAPs will then be given the opportunity of at least 30 days to comment and raise issues and/or concerns of the draft BAR. Once the 30-day commenting period is over, the EAP will then compile the Final BAR which will be inclusive of comments and responses and submit to DEDTEA for assessment. IAPs will then be notified in writing of the decision taken by DEDTEA pertaining to the project.

Further information pertaining to this project can be obtained

from:

Contact Person: Mr Gert Watson

Tel: 031 7646 743

Fax: 031 7642 354

Email: [gert@k2m.co.za](mailto:gert@k2m.co.za) or [prisantha@k2m.co.za](mailto:prisantha@k2m.co.za)



**K2M Environmental (Pty) Ltd.**

Company Registration Number: 2008/016461/07

**DIRECTOR** Gert Watson | Pr. Pln (A/1818/2014)  
 B.Art. et. Scient. (Planning) (North West University)  
 VAT Registration Number: 4740252582

33 Mnini Road | Kloof | 3610  
 PostNet Suite 509 | Private Bag X4 | Kloof | 3610

Tel: +27 (0) 31 764 6743 | Fax: +27 (0) 31 764 2354  
 Fax2email: +27 (0) 86 622 7276 | Email: admin@k2m.co.za

www.k2m.co.za

## REGISTRATION AND COMMENT SHEET

### ENVIRONMENTAL IMPACT ASSESSMENT PROCESS FOR THE PROPOSED ENYATHI HOUSING DEVELOPMENT

I wish to register as an Interested and Affected Party (IAP) and/or bring to the attention of K2M Environmental the following comments.

|                 |             |              |           |
|-----------------|-------------|--------------|-----------|
| Title:          | First Name: | Surname:     | Initials: |
| Organization:   |             | Designation: |           |
| Postal Address: |             |              |           |
| Tel no:         |             | Cell no:     |           |
| Fax no:         |             | Email:       |           |

**Comment:**

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