



DU TOIT FARMSTEAD

Portion 7 of the farm Steenkoolspruit 18-IS, Mpumalanga Province.

Architectural Historical Assessment

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Client: Xstrata Coal (Pty) Ltd

DECLARATION OF INDEPENDENCE

The report has been compiled by PGS Heritage & Grave Relocation Consultants, an appointed Heritage Specialist for Xstrata Coal (Pty) Ltd. The views stipulated in this report are purely objective and no other interests are displayed during the decision making processes discussed in the assessment.

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ACKNOWLEDGEMENT OF RECEIPT

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EXECUTIVE SUMMARY

PGS Heritage & Grave Relocation Consultants was appointed by Xstrata Coal to undertake an Architectural Historical Assessment in terms of a farmstead located on the farm Steenkoolspruit 18-IS, near Ogies, Mpumalanga. The farmstead was owned by the Du Toit family and as such it will be referred to in this report as the Du Toit Farmstead.

An archival and historical desktop study was undertaken which was used to compile the known history of the farmstead. While not a significant amount of information was located by this means, some information with regard to the farm ownership and relevant age of the structures forming part of the farmstead were obtained.

The second component of this study was to try to identify the descendants of the family who used to stay here. The author was fortunate enough to be able to identify the daughter of the original owner of the farmstead who resides in Emalahleni. During informal discussions with Ms. Isak Johannes du Toit some oral history with regard to the farmstead could be recorded.

The third component of the study was to undertake a site visit to identify the structures forming part of the farmstead, and to conduct an architectural historical assessment of the buildings located there. Four individual structures were identified, the mitigation measures proposed. The findings of this study are summarised in the table below.

Buildings	Description	Significance	Mitigation
Building 1	Farmhouse	Medium	<p>On the condition that the following recommendations are adhered to, no heritage reasons can be given for the building not to be demolished. The conditions to this recommendation are:</p> <ul style="list-style-type: none">• The building must be recorded prior to any demolition or alterations• Recording must consist of the following procedures and products: (a) photographic recording of all buildings, (b) measured drawings of all buildings (floor plan and elevations) with (c) descriptions of the materials and features in standard architectural terminology and (d) compiled into a single report (e) permit application for the building to be destroyed.

Building 2	Garage	Low	No mitigation measures are required.
Building 3	Rondavel	Low	No mitigation measures are required.
Building 4	Kraal	High	<p>The following mitigation measures are required:</p> <ul style="list-style-type: none"> • The building must be retained. • Although it must be retained, the building will have to be recorded as well. • Recording must consist of the following procedures and products: (a) photographic recording of all buildings,(b) measured drawings of all buildings (floor plan and elevations) with (c) descriptions of the materials and features in standard architectural terminology and (d) compiled into a single report.

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1 INTRODUCTION

PGS Heritage & Grave Relocation Consultants was appointed by Xstrata Coal to undertake an Architectural Historical Assessment in terms of a farmstead located on the farm Steenkoolspruit 18-IS, near Ogies, Mpumalanga. The farmstead was owned by the Du Toit family and as such it will be referred to in this report as the Du Toit Farmstead.

1.1 Scope of the Study

The aim of the study is to assess the architectural and historical significance of the Du Toit Farmstead and provide recommendations on whether the structures comprising the site can be demolished or not, and what mitigation measures would be required to allow that to happen.

1.2 Specialist Qualifications

This assessment was compiled by PGS Heritage & Grave Relocation Consultants (PGS). The staff at PGS has a combined experience of nearly 40 years in the heritage consulting industry and have extensive experience in managing heritage management processes. Mr. Polke Birkholtz, project manager and heritage specialist, is registered with the Association of Southern African Professional Archaeologists (ASAPA) as a professional archaeologist. He is furthermore also a registered member of the CRM Section of ASAPA. The architectural assessment was undertaken by architectural historian Mr. Mauritz Naudé.

1.3 Assumptions and Limitations

The following assumptions and limitations exist with regard to the study:

- It is not known whether any development is currently planned or in the pipeline which would have an impact on the farmstead.
- This report is an architectural and historical assessment of the farmstead. As such it is not an archaeological impact assessment or heritage impact assessment nor can it be equated to any such study.

1.4 Legislative Context

The identification, evaluation and assessment of any cultural heritage site, artefact or find in the South African context is required and governed by the following legislation:

- i. National Environmental Management Act (NEMA) Act 107 of 1998
- ii. National Heritage Resources Act (NHRA) Act 25 of 1999
- iii. Minerals and Petroleum Resources Development Act (MPRDA) Act 28 of 2002
- iv. Development Facilitation Act (DFA) Act 67 of 1995

The following sections in each Act refer directly to the identification, evaluation and assessment of cultural heritage resources.

- i. National Environmental Management Act (NEMA) Act 107 of 1998
 - a. Basic Environmental Assessment (BEA) – Section (23)(2)(d)
 - b. Environmental Scoping Report (ESR) – Section (29)(1)(d)
 - c. Environmental Impacts Assessment (EIA) – Section (32)(2)(d)
 - d. EMP (EMP) – Section (34)(b)
- ii. National Heritage Resources Act (NHRA) Act 25 of 1999
 - a. Protection of Heritage Resources – Sections 34 to 36; and
 - b. Heritage Resources Management – Section 38
- iii. Minerals and Petroleum Resources Development Act (MPRDA) Act 28 of 2002
 - a. Section 39(3)
- iv. Development Facilitation Act (DFA) Act 67 of 1995
 - a. The GNR.1 of 7 January 2000: Regulations and rules in terms of the Development Facilitation Act, 1995. Section 31.

The NHRA stipulates that cultural heritage resources may not be disturbed without authorization from the relevant heritage authority. Section 34(1) of the NHRA states that “no person may alter or demolish any structure or part of a structure which is older than 60 years without a permit issued by the relevant provincial heritage resources authority...”. The NEMA (No 107 of 1998) states that an integrated EMP should (23:2 (b)) “...identify, predict and evaluate the actual and potential impact on the environment, socio-economic conditions and cultural heritage”. In accordance with legislative requirements and EIA rating criteria, the

regulations of SAHRA and ASAPA have also been incorporated to ensure that a comprehensive and legally compatible HIA report is compiled.

1.5 Terminology and Abbreviations

Archaeological resources

- i. material remains resulting from human activity which are in a state of disuse and are in or on land and which are older than 100 years including artefacts, human and hominid remains and artificial features and structures;
- ii. rock art, being any form of painting, engraving or other graphic representation on a fixed rock surface or loose rock or stone, which was executed by human agency and which is older than 100 years, including any area within 10m of such representation;
- iii. wrecks, being any vessel or aircraft, or any part thereof which was wrecked in South Africa, whether on land, in the internal waters, the territorial waters or in the maritime culture zone of the republic as defined in the Maritimes Zones Act, and any cargo, debris or artefacts found or associated therewith, which is older than 60 years or which SAHRA considers to be worthy of conservation;
- iv. features, structures and artefacts associated with military history which are older than 75 years and the site on which they are found.

Burra Charter

The Burra Charter defines the basic principles and procedures to be followed in the conservation of Australian heritage places. In 1979, the Australia ICOMOS *Charter for the Conservation of Places of Cultural Significance* was adopted at a meeting of Australia ICOMOS at the historic mining town of Burra, South Australia. It was given the short title of The Burra Charter (http://en.wikipedia.org/wiki/Burra_Charter).

Cultural significance

This means aesthetic, architectural, historical, scientific, social, spiritual, linguistic or technological value or significance

Development

This means any physical intervention, excavation, or action, other than those caused by natural forces, which may in the opinion of the heritage authority in any way result in a change to the nature, appearance or physical nature of a place or influence its stability and future well-being, including:

- i. construction, alteration, demolition, removal or change in use of a place or a structure at a place;
- ii. carrying out any works on or over or under a place;
- iii. subdivision or consolidation of land comprising a place, including the structures or airspace of a place;
- iv. constructing or putting up for display signs or boards;
- v. any change to the natural or existing condition or topography of land; and
- vi. any removal or destruction of trees, or removal of vegetation or topsoil

Early Stone Age

The archaeology of the Stone Age, dating to between roughly 700000 and 2500 000 years ago.

Fossil

Mineralised bones of animals, shellfish, plants and marine animals. A trace fossil is the track or footprint of a fossil animal that is preserved in stone or consolidated sediment.

Heritage

That which is inherited and forms part of the National Estate (historical places, objects, fossils as defined by the National Heritage Resources Act 25 of 1999).

Heritage resources

This means any place or object of cultural significance

Holocene

The most recent geological time period, which commenced 10 000 years ago.

Later Stone Age

The archaeology of the last 20 000 years, associated with fully modern people.

Late Iron Age (Early Farming Communities)

The archaeology of the last 1000 years up to the 1800's associated with ironworking and farming activities such as herding and agriculture.

Middle Stone Age

The archaeology of the Stone Age, dating to between 20 000-300 000 years ago, associated with early modern humans.

Palaeontology

Any fossilised remains or fossil trace of animals or plants which lived in the geological past, other than fossil fuels or fossiliferous rock intended for industrial use, and any site which contains such fossilised remains or trace.

<i>Abbreviations</i>	<i>Description</i>
AIA	Archaeological Impact Assessment
ASAPA	Association of South African Professional Archaeologists
CRM	Cultural Resource Management
EIA	Environmental Impact Assessment
ESA	Early Stone Age
GPS	Global Positioning System
HIA	Heritage Impact Assessment
LSA	Later Stone Age
MSA	Middle Stone Age
NEMA	National Environmental Management Act
NHRA	National Heritage Resources Act
PGS	PGS Heritage and Grave Relocation Consultants
PHRA	Provincial Heritage Resources Authority
ROD	Record of Decision
SAHRA	South African Heritage Resources Agency
SAHRIS	South African Heritage Resources Information System

2 TECHNICAL DETAILS OF THE PROJECT

2.1 Site Location and Description

Coordinates	Dwelling: S 26.080273 E 29.232267 Garage: S 26.080118 E 29.232296 Rondavel: S 26.080193 E 29.232003 Kraal: S 26.079552 E 29.233497
Property Description	Section of portion 7 of the farm Steenkoolspruit 18-IS, Emalahleni Local Municipality, Mpumalanga Province.
Location	The study area is located on the western bank of the Steenkoolspruit and forms part of the property owned by Xstrata Coal. The study area is located 18.9 km south-east of Ogies, 22.5km south of Emalahleni and 19.2 km north of Kriel. The study area is in the Mpumalanga Province.
Land Description	The study area can be described as flat and reasonably open and is located on the western bank of the Steenkoolspruit.

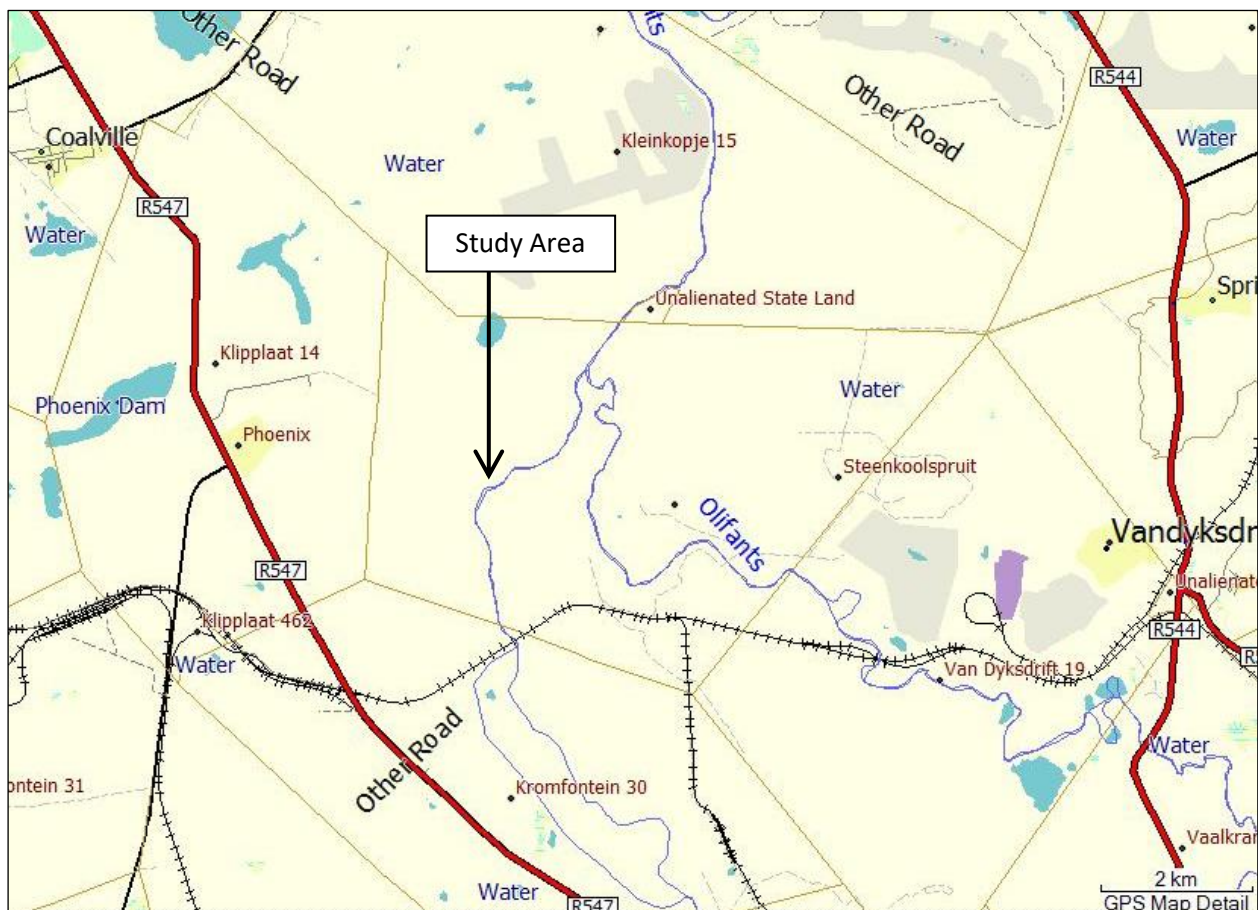


Figure 1–The study area within its regional context.

2.2 Technical Project Description

Not applicable.

3 METHODOLOGY

The methodological approach used in this study comprised four main components, namely:

Step I – Desktop Study: An archival and historical study was undertaken to compile the history of the farmstead as well as to assist with the dating of the buildings from the site.

Step II – Oral History: The daughter of the person who built and occupied the farmstead was identified. Ms. Isak Johannes du Toit lives in Emalahleni, and an informal meeting with her took place on Thursday, 6 October 2011.

Step III – Fieldwork: The farmstead was visited on Wednesday, 29 August 2012. The fieldwork was conducted by the heritage specialist Mr. Polke Birkholtz as well as the architectural historian Mr. Mauritz Naudé. Photographs and descriptions were taken of all the structures from the farmstead.

Step IV – The fourth step comprises an architectural assessment made of the structures identified during the fieldwork. This assessment was compiled by the architectural historian Mr. Mauritz Naudé. Refer Annexure B for a copy of this report.

Step V – The final step involved the compilation of the overall report which comprises the findings from all four previous components.

4 ARCHIVAL AND HISTORIC FINDINGS

4.1 Archival and Historic Maps of the Study Area and Surrounding Landscape

4.1.1. Bethal Sheet of the Major Jackson Map

This map forms part of the series of British Military maps produced under supervision of Major Jackson by the Mapping Section of the Field Intelligence Department, Army Headquarters. The sheet depicted here is the Bethal (No. 5) Sheet of the said map series, and although its original production date was June 1900, the sheet depicted here represents the second revised edition which is dated to April 1901.

It is apparent from the image below that the farmstead is not depicted on this map. The red stippled area defines the area where the farmstead would have been located on this map. Only one building is depicted within the entire farm, and it is located some distance north of the farmstead under discussion here. This building is marked as Feature 1.

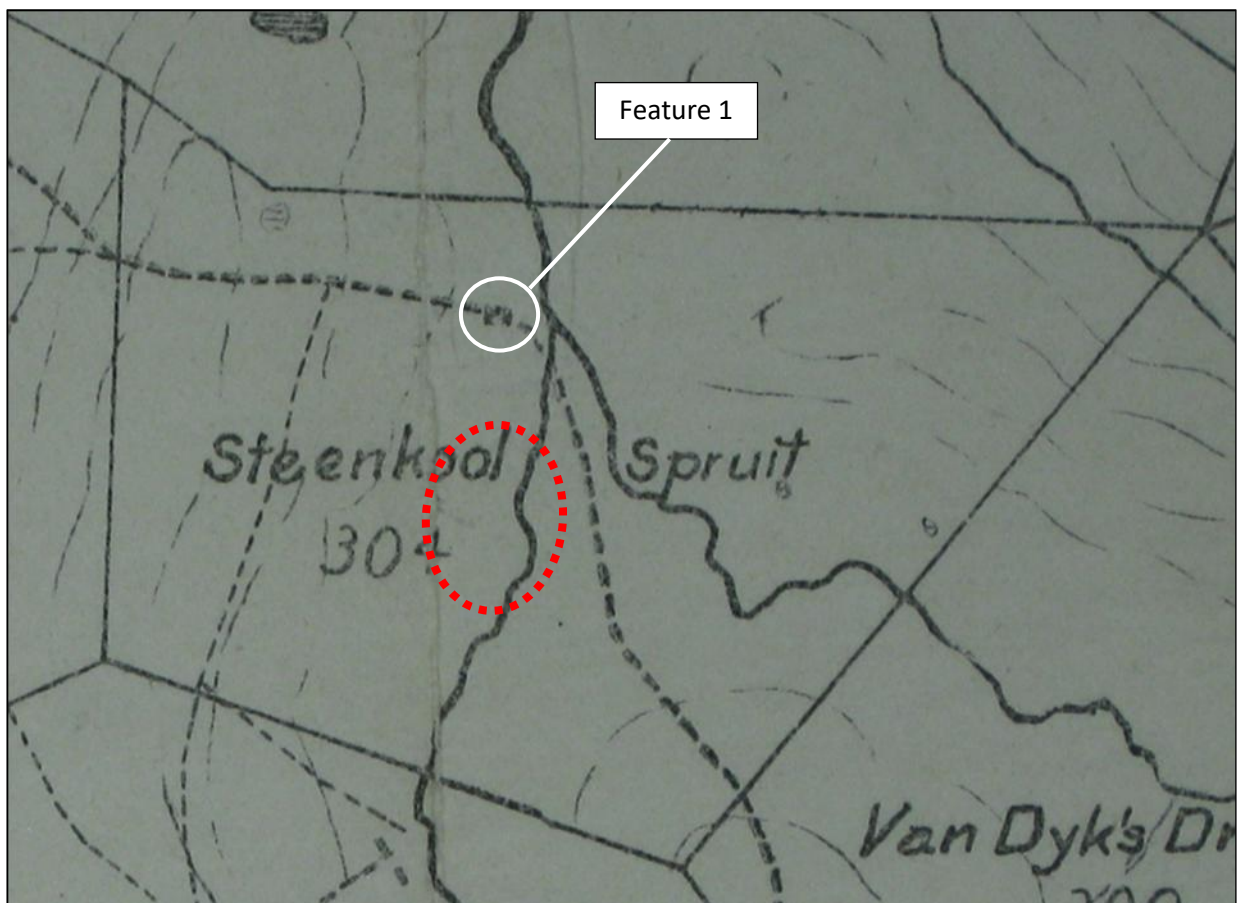


Figure 2 – Bethal Sheet of the Major Jackson Series which is dated to June 1902.

4.1.2. First Edition of the 2629AA Topographical Sheet

Figure 6 below depicts a section of the First Edition of the 2629AA Topographical Sheet. The map was based on aerial photography undertaken in 1954 and was surveyed in 1965 and drawn by the Trigonometrical Survey Office in 1967.

The following observations can be made from the map:

- The dwelling of the Du Toit farmstead is depicted on the map.
- The dwelling has a number of huts in both close proximity to it, as well as in the general surroundings.
- A fountain is depicted a short distance north-east of the dwelling.



Figure 3 – Section of the First Edition of the 2629AA Topographical Sheet that was surveyed in 1965. The dwelling from the Du Toit farmstead is marked.

4.2 History of the Farmstead

The author of this report was fortunate enough to have been able to speak to the daughter of the person who actually built the farm dwelling in the first place. Ms. Bessie du Toit was met at her home in Emalahleni. She indicated that although she did not know the exact date on which the dwelling was completed, it was built by her father some time before her birth in 1934. When asked to provide a more specific date, Ms. Du Toit suggested that the house may have been built around c. 1910.

As indicated, the person who built the house was the father of Ms. Bessie du Toit namely Mr. Henri du Toit. After completion, he and his wife (Ms. Bessie du Toit's mother) Ms. Susanna Jacoba Du Toit (born Meyer) resided in the house. Mr. Henri du Toit owned the Vaalkrans Garage near Van Dyksdrif.

After the death of her parents, Ms Du Toit's sister Ms. Izzie du Toit resided in the home.

It is therefore apparent that from construction to the present day the farm dwelling was resided in by only members of the Du Toit family. However, in more recent years sections of the house appears to have been used as shelter by squatters. The remains of old mattresses and informal fireplaces inside some of the rooms could be observed during the site visit.



Figure 4 – Mr. Henri and Mrs. Susanna Jacoba du Toit (born Meyer) who were the builders and first residents of the farm dwelling. The photograph was made available to the author by Ms. Bessie du Toit.

4.3 Early Ownership History of the Farmstead and Farm

The farm Steenkoolspruit 46 (originally farm number 304 of the district of Middelburg) was first inspected by S.J. Fourie on 20 February 1868. On 24 February 1870 the farm was transferred to its first owner, Cornelis Gouws. It is interesting however that the ownership record for the farm indicates that it was transferred from Gouws to Johannes Philippus Dreyer as early as 3 August 1866. On 11 July 1870 the farm was transferred from J.P. Dreyer to Izaak Johannes Meyer. Although very little information is known about him, Izaak Johannes Meyer was a member of the Second Volksraad, presumably of the Zuid-Afrikaansche Republiek. I.J. Meyer held on to the farm for the remainder of his life, and in terms of his estate (after his death) the farm was divided into three sections and transferred to three individual owners on 30 March 1906. These three portions were transferred to Daniel Pieter Jacobus Grobler, Gerrit Frederik Meyer and Johannes Marthinus Meyer (RAK, 3081).

The ownership record of the farm between 1866 and 1950 was obtained from the National Archives. During this period no person with the surname Du Toit ever became an owner of the farm, or a portion of it. According to the estate papers of Henry du Toit (MHG, 6007/73), Portion 5 of the farm was transferred to him on 7 January 1957. This transaction is registered as Deed Number 324/1957. After the death of Henry du Toit, the same property (now referred to as Portion 7 of the farm Steenkoolspruit 18IS) was transferred from his estate to his wife Susanna Jacoba du Toit on 5 February 1974 (MHG, 6007/73). As it is known that the Du Toit family had been living on the farm for some time before 1957, it means that they were residing on land not owned by them. One explanation for this could be the fact that Henry du Toit's wife's maiden name was Meyer, and that she might have been the daughter of Izaak Johannes Meyer who owned the farm between 1870 and 1906, after which it was transferred to at least two family members. With this in mind it is therefore possible that the Du Toit family was staying on land owned by Mrs. Du Toit's father, and as a result was actually staying on family land. Two aspects support this suggestion. The first of these is the fact that the Du Toit and Meyer graves used to be buried in a combined family cemetery that was relocated in 2001. It is unlikely for these families to have shared a single cemetery if they were not related. The second aspect pointing toward a family link between the Du Toits and Meyers is the fact that one of Henri and Susanna Jacoba du Toit's daughters was named Izak Johannes du Toit (MHG, 6007/73), which are the same names as Izaak Johannes Meyer. At the time it was custom for Afrikaans children to be named after their grandparents, a custom still practiced to a degree today.

5 BUILDINGS IDENTIFIED DURING THE FIELD SURVEY OF THE FARMSTEAD

BUILDING 1			
DESCRIPTION			
<p>Building 1 is a sandstone farm dwelling with several additions to the core of the building. The original core was constructed with sandstone and the interior walls were done in plastered brick. The walls were plastered with clay and were covered with wall paper that was later stripped and the clay exposed. Some effort was made to do the later additions in sympathy with the original dwelling and the walling was executed in sandstone – but of lesser quality craftsmanship than the original. A unique aspect of the dwelling is the gable that was added to the front façade which is completely out of style with the rest of the structure. The original verandah was built with timber posts that later disintegrated and were replaced with plastered brick columns and low stoep walling.</p>			
HISTORICAL INFORMATION AND AGE			
<p>As mentioned elsewhere, oral history has revealed that the building was likely constructed before 1934. In the estate papers of Henri du Toit it is mentioned that at the time of an inspection of the farm buildings in 1973 the house was believed to be 39 years old. This suggests that the house was built in 1934. The available desktop information support such a date in that the building is not depicted on the Major Jackson Series that dates to April 1901, but is depicted on the First Edition of the 2629AA Topographical Sheet that was surveyed in 1965. Based on this information the building is certainly older than 60 years. The building was built by Henri du Toit for him and his wife Susanna Jacoba du Toit. It was subsequently resided in by their daughter Izzie du Toit.</p>			
100 YEARS AND OLDER	60 YEARS AND OLDER	YOUNGER THAN 60 YEARS	
SIGNIFICANCE			
The building is of Medium Significance.			
HIGH SIGNIFICANCE	MEDIUM SIGNIFICANCE	LOW SIGNIFICANCE	NO SIGNIFICANCE
RECOMMENDATIONS			
<p>On the condition that the following recommendations are adhered to, no heritage reasons can be given for the building not to be demolished. The conditions to this recommendation are:</p> <ul style="list-style-type: none"> • The building must be recorded prior to any demolition or alterations • Recording must consist of the following procedures and products: (a) photographic recording of all buildings,(b) measured drawings of all buildings (floor plan and elevations) with (c) descriptions of the materials and features in standard architectural terminology and (d) compiled into a single report (e) permit application for the building to be destroyed. 			

BUILDING 1 – PHOTOGRAPHS



Figure 5 – General view of eastern facade of the dwelling. Note the porch on the right and gabled wing on the left.




Figure 6 – Western facade of Building A. The annex in the front includes a bathroom.




Figure 7 – The remains of a fireplace located in the dwelling’s sitting or living room. It is evident that the fireplace was removed at an unknown time.



Figure 8 – General view from within one of the dwelling’s four bedrooms.

BUILDING 2			
DESCRIPTION			
Building 2 is a garage that was constructed with cement bricks and would have had a corrugated iron roof. At the time of the site visit the roof was missing.			
HISTORICAL INFORMATION AND AGE			
Although the building is not indicated on any of the available maps, it is mentioned in the inspection report undertaken in 1973 shortly after Henri du Toit's death and which forms part of his estate papers (MHG 6007/73). In this document the size of the building is given as 180 square feet. The building is certainly not older than 60 years.			
100 YEARS AND OLDER	60 YEARS AND OLDER	YOUNGER THAN 60 YEARS	
SIGNIFICANCE			
The building is of Low Significance.			
HIGH SIGNIFICANCE	MEDIUM SIGNIFICANCE	LOW SIGNIFICANCE	NO SIGNIFICANCE
RECOMMENDATIONS			
No mitigation measures are required for this building.			
BUILDING 2 – PHOTOGRAPHS			
			
<i>Figure 9 – General view of the garage.</i>			

BUILDING 3			
DESCRIPTION			
Building 3 comprises the ruins of a brick rondavel near the dwelling's back door. No indication of the roof type has been left in situ.			
HISTORICAL INFORMATION AND AGE			
The building is not indicated on any of the available maps and is also not mentioned in the inspection report undertaken in 1973 shortly after Henri du Toit's death and which forms part of his estate papers (MHG 6007/73). This latter observation is interesting in that it suggests that the building was only constructed after 1973. As such the building is not older than 60 years.			
100 YEARS AND OLDER	60 YEARS AND OLDER	YOUNGER THAN 60 YEARS	
SIGNIFICANCE			
HIGH SIGNIFICANCE	MEDIUM SIGNIFICANCE	LOW SIGNIFICANCE	NO SIGNIFICANCE
RECOMMENDATIONS			
No mitigation measures are required for this building.			
BUILDING 3 – PHOTOGRAPHS			
			
<i>Figure 10 – General view of the garage.</i>			

BUILDING 4			
DESCRIPTION			
<p>Building 4 comprises the remains of a sandstone cattle kraal located roughly 140 m north-east of the dwelling. This structure was constructed with special craftsmanship and great effort was made to ensure that the walls are stable and solid. One of the special features of the kraal is the way it was located and the choice of setting where it was built. One elevation of the kraal is set directly along a cut in the sandstone outcrop of the river bank. This allowed the builder to save on building four walls but allowed the kraal to be set slightly below the terraced natural landscape serving as some protection against cold winter winds at night.</p> <p>Another interesting aspect of the structure is the presence of openings at the base of the eastern wall of the structure. As this end is located on the down-slope end of the site, it is believed that these openings were left during the building of the kraal for drainage purposes.</p>			
HISTORICAL INFORMATION AND AGE			
<p>The building is not depicted on any of the available maps. However, the characteristics of the building (i.e. the use of large sandstone blocks to construct thick double-row walls as well as the presence of draining holes along one wall) as well as the lack of metal components in the structure (i.e. as a gate) suggest an earlier date for the building. As such it appears to be the oldest structure from the entire farmstead and while it is certainly older than 60 years, may also be older than 100 years as well.</p>			
100 YEARS AND OLDER	60 YEARS AND OLDER	YOUNGER THAN 60 YEARS	
SIGNIFICANCE			
The building is of Medium/High Significance.			
HIGH SIGNIFICANCE	MEDIUM SIGNIFICANCE	LOW SIGNIFICANCE	NO SIGNIFICANCE
RECOMMENDATIONS			
<p>The following mitigation measures are required:</p> <ul style="list-style-type: none"> • The building must be retained. • Although it must be retained, the building will have to be recorded as well. • Recording must consist of the following procedures and products: (a) photographic recording of all buildings,(b) measured drawings of all buildings (floor plan and elevations) with (c) descriptions of the materials and features in standard architectural terminology and (d) compiled into a single report 			

BUILDING 4 – PHOTOGRAPHS



Figure 11 – General view of the kraal as seen from the south.



Figure 12 – Another view of the structure, in this instance from the north.



Figure 13 – General view of a section of the eastern wall with one of the drainage openings visible.

6 SIGNIFICANCE OF THE BUILDINGS AND STUDY AREA

This section was obtained from the report by Mauritz Naudé. The full specialist report can be found in Annexure B.

6.1 Introduction

According to the Burra Charter 'cultural significance' means 'aesthetic, historic, scientific or social value for past, present or future generations'. Cultural significance is a concept which helps in estimating the value of places. These terms and their meaning are not mutually exclusive, for example, architectural style has both historical and aesthetic aspects (Burra Charter, 1999).

The categorization into aesthetic, historic, scientific and social values is one approach to understanding the concept of cultural significance (Burra Charter, 1999). However, more precise categories may be used as understanding of a particular place may increase.

For the purposes of this report such categories are used in tandem with the criteria set out by the National Heritage Resources Act.

6.2 Significance Criteria in terms of Section 3(3) of the National Heritage Resources Act

	<i>Criteria</i>	<i>Significance</i>
1.	<p><i>The importance of the cultural heritage in the community or pattern of South Africa's history (Historic and political significance)</i></p> <p><u>Building 1:</u> Sandstone and other stone masonry dwellings are quite common in the region but every dwelling is unique in terms of its floor plan, size scale and application of stone. The original core section of the dwelling was much smaller than the existing floor plan suggests.</p> <p><u>Building 2:</u> The building was constructed in the period 1975 to 1990 and is of little architectural significance.</p> <p><u>Building 3:</u> Rondavels are considered as minor outbuildings and on this structure only ruins have remained of the original building.</p>	<p><i>Rating</i></p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p>

	<p><u>Building 4:</u> Cattle kraals are usually considered minor structures on farmsteads and this is even reflected in the architectural history of vernacular farm buildings and structures. On this site, the kraal is quite substantial in scale and is a well-constructed structure of dressed sandstone which is still solid and stable.</p>	<i>medium</i>
2.	<p><i>Possession of uncommon, rare or endangered aspects of South Africa's natural or cultural heritage (Scientific significance).</i></p> <p><u>Building 1:</u> Sandstone and other stone masonry dwellings are quite common in the region but every this dwelling is unique in terms of its floor plan, size scale and application of stone.</p> <p><u>Building 2:</u> The building is not unique or 'rare'. On most contemporary farmsteads garages for the landowners are constructed in this fashion due to the fact that it is quick and easy to erect.</p> <p><u>Building 3:</u> The construction of rondavels on farmsteads is an old tradition but is not practiced anymore.</p> <p><u>Building 4:</u> Cattle kraals are usually constructed by dry stacking of stone and not by using dressed stone. On this site it was constructed with attention to detail and the stone was prepared and dressed to fit the purpose. This cattle kraal is rare as kraals are no longer constructed in this manner.</p>	<p>Rating</p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>high</i></p>
3.	<p><i>Potential to yield information that will contribute to an understanding of South Africa's natural or cultural heritage (Research/scientific significance)</i></p> <p><u>Building 1:</u> Sandstone dwellings are quite common in the region but every dwelling is unique in terms of its floor plan, size scale and application of stone. In this case the original building has remained and the original cay plaster has remained intact. The scale of the original core building may indicate that this was one of the first buildings erected after the Anglo Boer War.</p> <p><u>Building 2:</u> The building has no unique aspects that would expand the general knowledge regarding vernacular architecture.</p> <p><u>Building 3:</u> The ruin of this building contains no exceptional evidence that would add to the pool of knowledge regarding vernacular architecture.</p>	<p>Rating</p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p>

	<p><u>Building 4:</u> The location and construction of the cattle kraal reflects a particular mindset in terms of erecting a simple structure such as kraal in such a way that it became an exceptional structure.</p>	<i>medium</i>
4.	<p><i>Importance in demonstrating the principal characteristics of a particular class of South Africa's natural or cultural places or objects (Scientific significance)</i></p> <p><u>Building 1:</u> The location of the farmstead along the terraced river banks of the Steenkoolspruit is quite unique. The dwelling and the largest part of the farmstead are located well above the 100m flood line and the sandstone used in the construction of the dwelling and some of the later additions come directly from the surrounding landscape.</p> <p><u>Building 2:</u> The building contains no outstanding characteristics that would make it special in terms of elevating it to a particular 'class of cultural places'.</p> <p><u>Building 3:</u> The occurrence of rondavels on farmsteads is quite common.</p> <p><u>Building 4:</u> The kraal is an exceptional structure within the architectural typology for the region and makes a contribution to the history of vernacular sandstone architecture north of the Vaal River and the architecture of kraals in particular.</p>	<p><i>Rating</i></p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>high</i></p>
5.	<p><i>Importance in exhibiting particular aesthetic characteristics valued by a community or cultural group (Aesthetic significance)</i></p> <p><u>Building 1:</u> The vernacular architecture of the dwelling reflects a small scale sandstone farm dwelling that can only be described as a cottage or bungalow. It is not a large 'villa-type' dwelling and does not reflect the lavishness of some other farm dwellings of a larger scale and size. The application of sandstone and the addition of the gable and verandah columns and stoep walling add some folk character to the dwelling. Most of the detailing in the interior has been removed and all woodwork has been partially or completely destroyed by termites.</p> <p><u>Building 2:</u> The building contains no exceptional aesthetic characteristics.</p> <p><u>Building 3:</u> The building contains no outstanding aesthetic characteristics.</p> <p><u>Building 4:</u> The kraal reflects good craftsmanship and solid stone masonry.</p>	<p><i>Rating</i></p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>high</i></p>

	Stone was prepared into neat blocks and laid with care. Quoining was not incidental and the water drains along the lower elevation were properly constructed with stone lintels.	
6.	<p><i>Importance in demonstrating a high degree of creative or technical achievement at a particular period (Scientific significance)</i></p> <p><u>Building 1:</u> Sandstone and other stone masonry dwellings are quite common in the region but every dwelling is unique in terms of its floor plan, size scale and application of stone.</p> <p><u>Building 2:</u> The building does not demonstrate any degree of creativity or technical achievement.</p> <p><u>Building 3:</u> The only exceptional aspect of the rondavel is that the walls were constructed with a single row of bricks and the building retained its stability until 2012.</p> <p><u>Building 4:</u> The kraal is evaluated within the kraal-typology and the structure is not compared to more lavish architectural works such as dwellings and stables. The location of the kraal and the quality of the stone masonry of the kraal indicates the level of effort that went into the decision making regarding this structure.</p>	<p>Rating</p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>high</i></p>
7.	<p><i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons (Social significance)</i></p> <p>Neither the site nor the buildings have any special association with a particular community or cultural group. The only association it may have would relate to the Afrikaner cultural group and its association with vernacular farm architecture of the early 20th century.</p>	<p>Rating</p> <p><i>low</i></p>
8.	<p><i>Strong or special association with the life and work of a person, group or organization of importance in the history of South Africa (Historic significance)</i></p> <p>Neither the site nor any of the buildings are associated with a person or group of importance in the history of South Africa.</p>	<p>Rating</p> <p><i>low</i></p>
9.	<p><i>The significance of the site in relation to the history of slavery in South Africa.</i></p> <p>Neither the site nor any of the buildings have any relationship to the history of slavery in South Africa.</p>	<p>Rating</p> <p><i>low</i></p>

6.3 Significance Criteria in Terms of Historical, Artefactual and Spatial Significance

As the criteria set out in the National Heritage Resources Act tend to approach heritage from the level of ‘national’ significance and few heritage sites and features fall within this category, a second set of criteria are used to determine the regional and local significance of heritage sites. Three sub-categories are used to determine this significance:

- (a) Historical significance – this category determines the social context in which a heritage site and resource need to be assessed. These criteria focus on the history of the ‘place’ in terms of its significance in time and the role they played in a particular community (human context).
- (b) Architectural significance – The objective of this set of criteria is to assess the artefactual significance of the heritage resource, its physical condition and meaning as an ‘object’.
- (c) Spatial significance – focuses on the physical context in which the object and place exists and how it contributed to the landscape, region, precinct and neighbourhood.

6.3.1 Historical significance

	<i>Criteria</i>	<i>Significance</i>
1.	<i>Is the site or building associated with a historical person or group?</i> Neither the site nor any of the buildings or the institution is associated with a particular person of outstanding historical significance in South Africa’s history.	<i>Rating</i> <i>low</i>
2.	<i>Is the site or building associated with a historical event?</i> No outstanding event is associated with the site or the institution.	<i>Rating</i> <i>low</i>
3.	<i>Is the site or building associated with a religious, economic social or political or educational activity?</i> The farm is only associated with farming – as economic activity.	<i>Rating</i> <i>low</i>
4.	<i>Is the site or building of archaeological significance?</i> While the dwelling and associated outbuildings are younger than 100 years, it is possible for the kraal to be older than 100 years.	<i>Rating</i> <i>low</i> <i>medium</i>

5.	<p><i>Are any of the buildings or structures on the site older than 60 years?</i></p> <p><u>Building 1</u>: Older than 60 years <u>Building 2</u>: Not older than 60 years <u>Building 3</u>: Not older than 60 years <u>Building 4</u>: Older than 60 years</p>	<p>Rating</p> <p><i>high</i> <i>low</i> <i>low</i> <i>high</i></p>
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6.3.2 Architectural (artefactual) significance

	Criteria	Significance
1.	<p><i>Are any of the buildings or structures an important example of a building type?</i></p> <p><u>Building 1</u>: This sandstone dwelling represents the smaller cottage type farm dwellings but has been added onto over time into a larger dwelling with the additions adding interior spaces but not qualitative architectural character. The additions altered the original floor plan and resulted in a unique floor plan and vernacular character.</p> <p><u>Building 2</u>: This is a minor building and many of these buildings occur on farmsteads in the region</p> <p><u>Building 3</u>: The rondavel typology is common on farmsteads in the region but this is a poor example and is not structurally sound</p> <p><u>Building 4</u>: The cattle kraal is an exceptional structure and example of good craftsmanship which is not often associated with cattle kraals.</p>	<p>Rating</p> <p><i>medium</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>high</i></p>
2.	<p><i>Are any of the buildings outstanding examples of a particular style or period?</i></p> <p>None of the buildings must be and can be compared to formal building styles of the time or to any European or international style. They are all executed in the vernacular building tradition which is regionally localized. It is within this paradigm and building tradition that they should be evaluated and assessed.</p> <p><u>Building 1</u>: This is not one of the outstanding examples of sandstone architecture in the region as the masonry work reflects no exceptional ornamental or decorative work and also does not contain exceptional problem solving examples. Sandstone and other stone masonry dwellings are quite common in the region but this dwelling is unique in terms of its floor plan, size scale and application of stone.</p>	<p>Rating</p> <p><i>medium</i></p>


	<p><u>Building 2:</u> The building represents no style or period.</p> <p><u>Building 3:</u> The building represents no style or period.</p> <p><u>Building 4:</u> The building represents a period when sandstone masonry was still practiced as a proper craft. This craft is no longer practiced for the construction of fine stone built cattle kraals and has become an extinct aspect of the farming engineering in the region.</p>	<p><i>low</i></p> <p><i>low</i></p> <p><i>high</i></p>
3.	<p><i>Do any of the buildings contain fine architectural details and reflect exceptional craftsmanship?</i></p> <p><u>Building 1:</u> This is the building with the most architectural detailing on the site. However, these details are crude and many of the fixtures and fittings in the building have been removed. Only one or two original windows have remained intact while the others have been replaced with steel frame products.</p> <p>The building contains details but they tend to be unrefined such as the handling of the sandstone stairs in front of the main entrance, the lack of attention to quoining at the corners, around windows and doors and the manner in which the front gable has been executed.</p>  <p><i>Figure 14. The facade of the dwelling is the most exceptional feature of the building with its folk gable addition and later additions of plastered brick verandah columns.</i></p>	<p>Rating</p> <p><i>medium</i></p>



Figure 15. Of exceptional significance is the crude sandstone staircase in front of the principal entrance and towards the stoep



Figure 16. No exceptional stone work appears around the windows whereas the sills were dealt with in a direct and unrefined way.



Figure 17. One of the few sash windows that have remained intact on the front verandah.



Figure 18. Remains of clay plastering in the principal lounge. The mantelpiece has been removed.

Building 2:

The garage is a simple rectangular structure constructed with cement blocks and without a roof (2012).

low

Building 3:

The rondavel is a simple structure without any exceptional detailing.

low


Building 4:

The kraal walls were constructed applying the double-row-method with filling in between. Stone was selected on site and roughly chipped into square cubes prior to construction. Construction commenced directly on the surface without foundations and the walls have retained their stability over time reflecting the quality of the masonry work.

high



Figure 19. Water drain along the lower wall of the kraal with narrow stone lintel.

	 <p data-bbox="327 775 1158 842"><i>Figure 20. Water drain along the lower elevation wall with crude large stone lintel.</i></p>	
<p data-bbox="252 887 277 913">4.</p>	<p data-bbox="327 887 1158 954"><i>Are any of the buildings an example of an industrial, engineering or technological development?</i></p> <p data-bbox="327 994 1158 1097">The kraal is the only structure with some exceptional folk or vernacular engineering work reflected in the construction and the way the stones were prepared and the masonry was executed.</p>	<p data-bbox="1181 887 1270 913">Rating</p> <p data-bbox="1181 994 1286 1021"><i>medium</i></p>
<p data-bbox="252 1140 277 1167">5.</p>	<p data-bbox="327 1140 1158 1207"><i>What is the state of the architectural and structural integrity of the building?</i></p> <p data-bbox="327 1247 1158 1453"><u><i>It must be noted that these assessments are based on visual assessment by an architectural historian only for the purposes of assisting the architectural historian with assessing the significance of the respective buildings. This section cannot be seen or used as the real structural integrity of these buildings. Such a structural integrity assessment can only be undertaken by a structural engineer.</i></u></p> <p data-bbox="327 1494 456 1520"><u>Building 1:</u></p> <p data-bbox="327 1529 1158 1668">The structural integrity of the building has seriously deteriorated and the woodwork has been infested by termites. The building has been altered so many times that the original floor plan of the building is difficult to reconstruct.</p> <p data-bbox="327 1709 456 1736"><u>Building 2:</u></p> <p data-bbox="327 1744 1158 1848">The structural integrity is bad and it seems as if the building was only partially completed when work stopped and the residents left the farm.</p> <p data-bbox="327 1888 456 1915"><u>Building 3:</u></p> <p data-bbox="327 1924 868 1951">The structural integrity of the building is bad.</p>	<p data-bbox="1181 1140 1270 1167">Rating</p> <p data-bbox="1181 1529 1235 1556"><i>low</i></p> <p data-bbox="1181 1744 1235 1771"><i>low</i></p> <p data-bbox="1181 1924 1235 1951"><i>low</i></p>

	<p><u>Building 4:</u> The structural integrity of the kraal is fair as it is a simple structure and it was constructed as an open structure with a roughly rectangular floor plan without any elaborate construction and structural detailing.</p>	<i>medium</i>
6.	<p><i>Is the current and future use of the buildings in sympathy with their original use (for which the building was designed)?</i></p> <p><u>Building 1:</u> The building is empty and has been stripped of most of its essential detailing.</p> <p><u>Building 2:</u> The building has no roof and is not used.</p> <p><u>Building 3:</u> The building is a ruin without roof and door.</p> <p><u>Building 4:</u> The structure is not used anymore</p>	<p><i>Rating</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>low</i></p> <p><i>low</i></p>
7.	<p><i>Were the alterations done in sympathy with the original design?</i></p> <p><u>Building 1:</u> The dwelling has been altered extensively and both sandstone and brick walling were added to the original core structure. Some effort was made to do the alterations in sympathy with the original structure but the difference in style, materials and craftsmanship is obvious and clearly distinguishable.</p> <p><u>Building 2:</u> No alterations were made to the building.</p> <p><u>Building 3:</u> No alterations were made to the building.</p> <p><u>Building 4:</u> The kraal has retained its original form and shape.</p>	<p><i>Rating</i></p> <p><i>not sympathetic</i></p> <p><i>N/A</i></p> <p><i>N/A</i></p> <p><i>still in original form</i></p>
8.	<p><i>Were the additions and extensions done in sympathy with the original design?</i></p> <p><u>Building 1:</u> The dwelling was extended and added-onto several times with different degrees of success.</p>	<p><i>Rating</i></p> <p><i>not sympathetic</i></p>



Figure 21. Original back wall of the dwelling with later additions closing the back stoep that used to be an open space.



Figure 22. Closing of the open stoep at the back of the dwelling. The stoepkamer was closed with plastered brick walling.



Figure 23. Crude addition and closing of the privy that was added on the back stoep of the original dwelling.

	<p><u>Building 2:</u> The building has not been extended.</p> <p><u>Building 3:</u> The building has not been extended</p> <p><u>Building 4:</u> The kraal is still in its original form and shape</p>	<p><i>N/A</i></p> <p><i>N/A</i></p> <p><i>still in original form</i></p>
9.	<p><i>Are any of the buildings or structures the work of a major architect, engineer or builder?</i></p> <p>None of the buildings were designed by an architect or engineer as they were built in the vernacular tradition.</p>	<p><i>Rating</i></p> <p><i>low</i></p>

6.3.3 Spatial significance

Even though each building needs to be evaluated as single artefact the site still needs to be evaluated in terms of its significance in terms of its geographic area, city, town, village, neighbourhood or precinct. This set of criteria determines the spatial significance of the site, the cluster or any individual buildings within their urban setting.

	<i>Criteria</i>	<i>Significance</i>
1.	<p><i>Can any of the buildings or structures be considered a landmark in the town or city?</i></p> <p>As the site is located on a farm and isolated from any urban centre the buildings have no impact on any town or city.</p>	<p><i>Rating</i></p> <p><i>low</i></p>
2.	<p><i>Do any of the buildings contribute to the character of the neighbourhood?</i></p> <p>The farmstead can be considered a 'neighbourhood' in itself. The dwelling and kraal are the most significant buildings on the site. In this case the kraal is in scale and monumentality the most significant structure, though isolated from the core farmstead.</p>	<p><i>Rating</i></p> <p><i>high</i></p>
3.	<p><i>Do any of the buildings contribute to the character of the square or streetscape?</i></p> <p>The site does not relate to any urban square or streetscape.</p>	<p><i>Rating</i></p> <p><i>low</i></p>
4.	<p><i>Do any of the buildings form part of an important building group?</i></p> <p>The dwelling and stone cattle kraal are the most significant structures on the site.</p>	<p><i>Rating</i></p> <p><i>medium</i></p>

7 CONCLUSIONS AND GENERAL RECOMMENDATIONS

PGS Heritage & Grave Relocation Consultants was appointed by Xstrata Coal to undertake an Architectural Historical Assessment in terms of a farmstead located on the farm Steenkoolspruit 18-IS, near Ogies, Mpumalanga. The farmstead was owned by the Du Toit family and as such it will be referred to in this report as the Du Toit Farmstead.

An archival and historical desktop study was undertaken which was used to compile the known history of the farmstead. While not a significant amount of information was located by this means, some information with regard to the farm ownership and relevant age of the structures forming part of the farmstead were obtained.

The second component of this study was to try to identify the descendants of the family who used to stay here. The author was fortunate enough to be able to identify the daughter of the original owner of the farmstead who resides in Emalahleni. During informal discussions with Ms. Isak Johannes du Toit some oral history with regard to the farmstead could be recorded.

The third component of the study was to undertake a site visit to identify the structures forming part of the farmstead, and to conduct an architectural historical assessment of the buildings located there. Four individual structures were identified, the mitigation measures proposed. The findings of this study are summarised in the table below.

Buildings	Description	Significance	Mitigation
Building 1	Farmhouse	Medium	On the condition that the following recommendations are adhered to, no heritage reasons can be given for the building not to be demolished. The conditions to this recommendation are: <ul style="list-style-type: none">• The building must be recorded prior to any demolition or alterations• Recording must consist of the following procedures and products: (a) photographic recording of all buildings,(b) measured drawings of all buildings (floor plan and elevations) with (c) descriptions of the materials and features in standard architectural terminology and (d) compiled into a single report (e) permit application for the building to be destroyed.
Building 2	Garage	Low	No mitigation measures are required.

Building 3	Rondavel	Low	No mitigation measures are required.
Building 4	Kraal	High	<p>The following mitigation measures are required:</p> <ul style="list-style-type: none"> • The building must be retained. • Although it must be retained, the building will have to be recorded as well. • Recording must consist of the following procedures and products: (a) photographic recording of all buildings, (b) measured drawings of all buildings (floor plan and elevations) with (c) descriptions of the materials and features in standard architectural terminology and (d) compiled into a single report.

8 REFERENCES

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Historic Topographic Maps

The historic topographic maps used in this report were obtained from the Directorate: National Geo-spatial Information of the Department of Rural Development & Land Reform, Cape Town.

Google Earth

All the aerial depictions used in this report are from Google Earth.

Internet References

en.wikipedia.org/wiki/Burra_Charter

Appendix A
SITE DISTRIBUTION MAP



Appendix B
MAURITZ NAUDE REPORT