

**WALLS:**  
 WALLS TO COMPLY WITH PART K OF SANS-10400  
 D.P.C. TO BE PLACED UNDER ALL WINDOW SILLS ACCORDING TO SABS STANDARDS INTERNAL SKIN OF BRICKS TO BE SEALED WITH BITUMEN BEFORE EXTERNAL SKIN ARE TO BE BUILT DOUBLE LITELS TO BE PLACED ACROSS THE TOP OF ALL OPENINGS IN EXTERNAL WALLS AND A SINGLE LITELE ACROSS THE TOP OF ALL HALF BRICK WALLS IN INTERNAL WALLS WALL FINISH TO OWNER OR ARCHITECTS SPECIFICATIONS ALL EXTERNAL WALLS TO BE 220mm WALL FINISH TO MATCH EXISTING RESIDENCE OR TO OWNERS SPECIFICATIONS. INTERNAL WALLS TO BE BUILT WITH 70mm BRICK/FOURCE BUILT IN EVERY THIRD COURSE DAMPROOF COURSE TO BE BUILT IN UNDER ALL WALLS.

**FOUNDATIONS:**  
 FOUNDATION TRENCHES TO BE STRICTLY IN ACCORDANCE WITH ENGINEER'S SPECS. LOCAL AUTHORITY TO INSPECT TRENCHES PRIOR TO POURING OF FOUNDATION FOOTINGS. TOP OF CONCRETE FOUNDATION FOOTING TO BE FINISH TO 50mm BELOW FINISHED GROUND LEVEL. OVERLAP AT STED TO BE NO LESS THAN 150mm PER STEP. CONCRETE FOOTING TO BE NO LESS THAN 200mm THICK, BUT SEE ENGINEERS DRAWINGS FOR DETAILS AND DIMENSIONS. ALL FOUNDATIONS TO ENGINEERS DETAIL 2 PLY DAMP PROOF COURSE UNDER ALL WALLS, CILLS AND TO VERTICAL WALLS BELOW G.L.

**DRAINAGE NOTES:**  
 I.E.'S TO BE PROVIDED AT ALL BENDS AND JUNCTIONS.  
 R.E.'S AT CHANGE OF DIRECTION AND MARKED COVERS AT GROUND LEVEL.  
 PIPES IN FLOOR TO BE WITHOUT BENDS & CONNECTIONS.  
 WHERE DRAINAGE OCCURS UNDER FOUNDATIONS AND CONCRETE FLOOR SLAB, PIPES TO BE ENCASED IN 100mm THICK CONCRETE AND NOT DEVIATE FROM STRAIGHT WITH I.E'S EITHER SIDE.  
 MINIMUM INVERT LEVEL OF DRAIN - 460mm  
 MINIMUM FALL OF DRAIN 1:40  
 ALL PLUMBING & DRAINAGE WORK TO BE CARRIED OUT BY A REGISTERED PLUMBING CONTRACTOR.

**ROOF:**  
 5° PITCH ROOF  
 IBR CORRUGATED ROOF SHEETING ON 38 x 38 BATTENS ON TIMBER 38 x 114 TRUSSES AT 760MM CRS. NEW ROOF DESIGN BY REGISTERED PERSON WITH COMPLETION CERTIFICATE.  
 ROOF TO COMPLY WITH SANS10400 PART L

ZONING : SPECIAL RESIDENTIAL 900

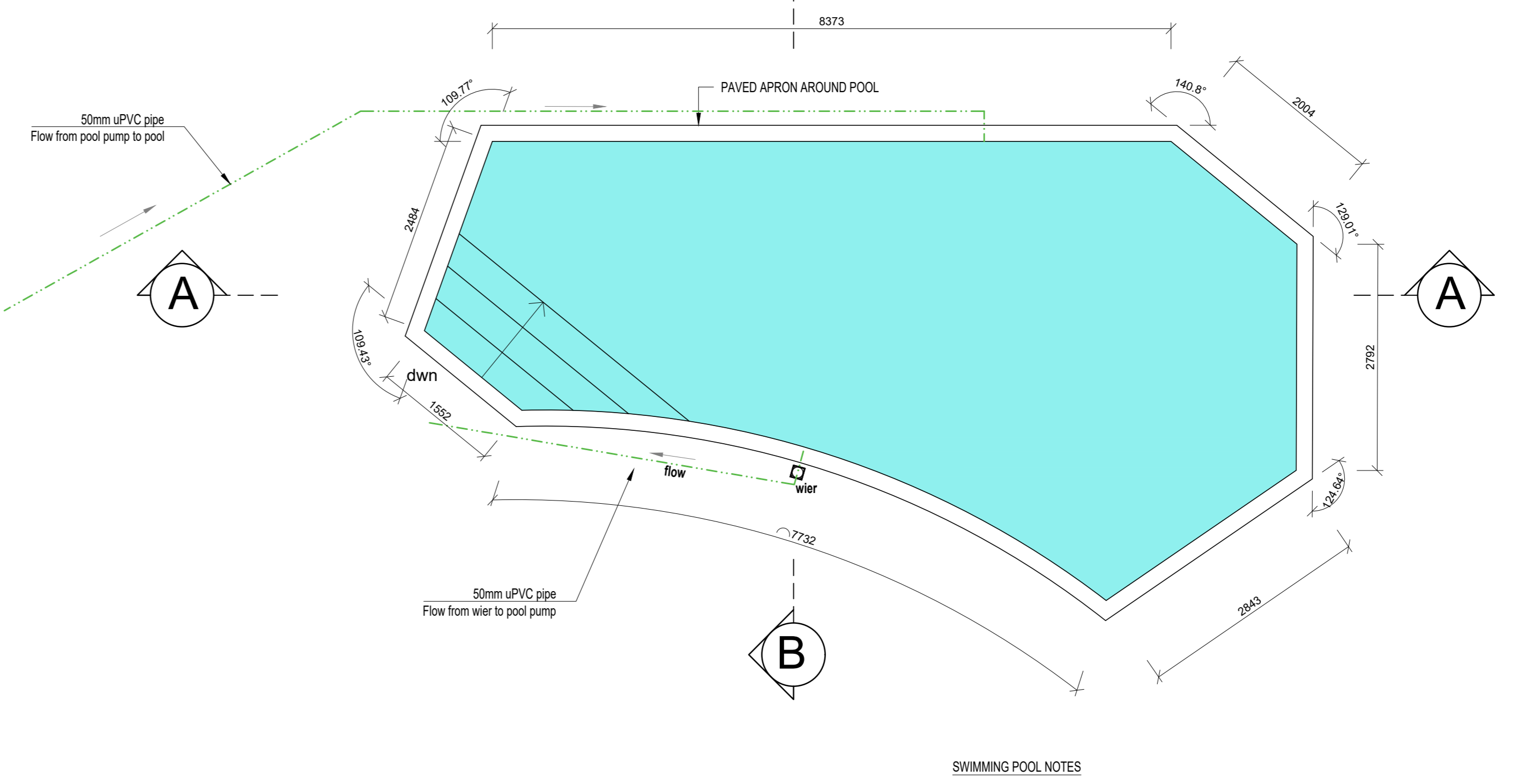
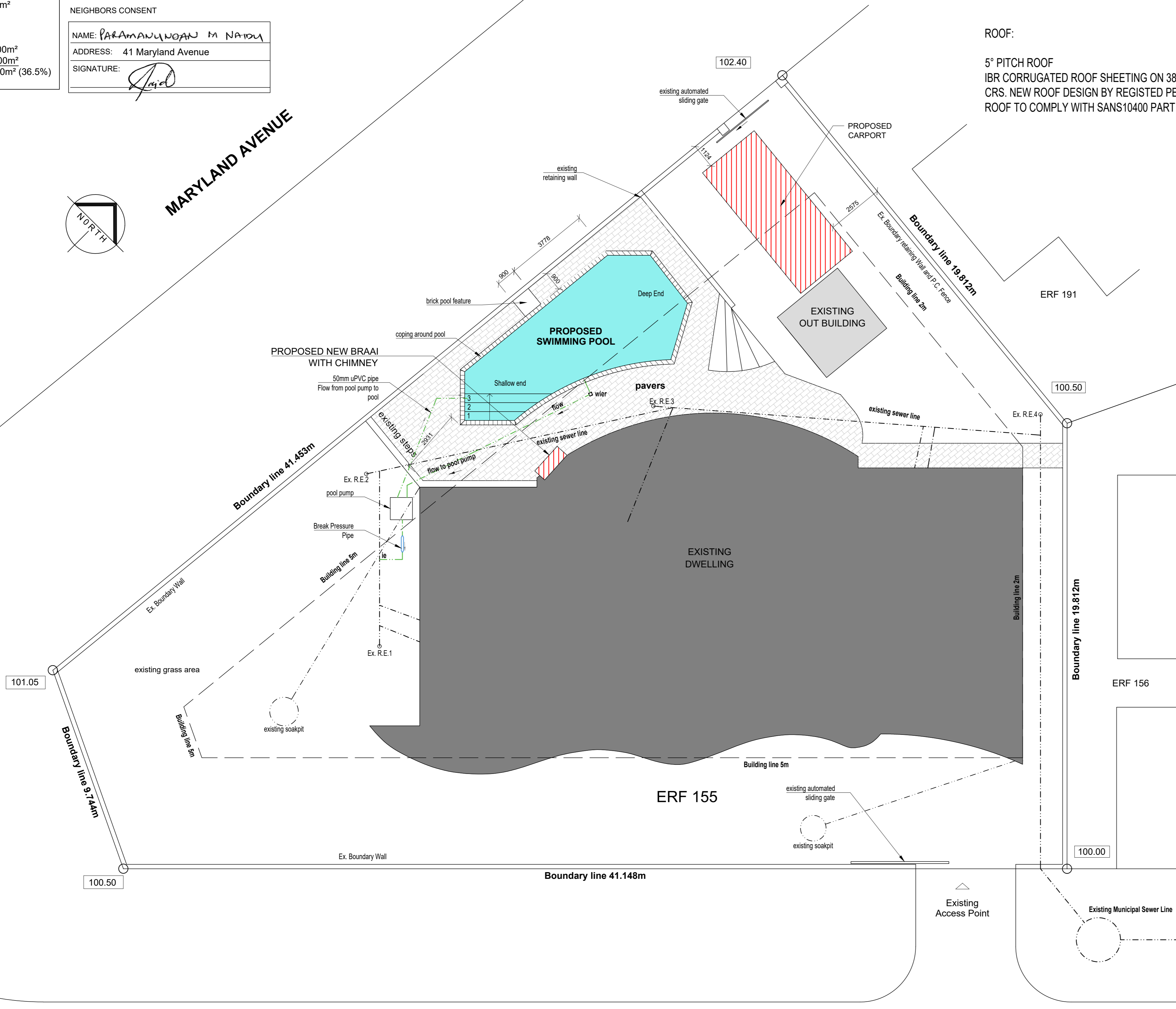
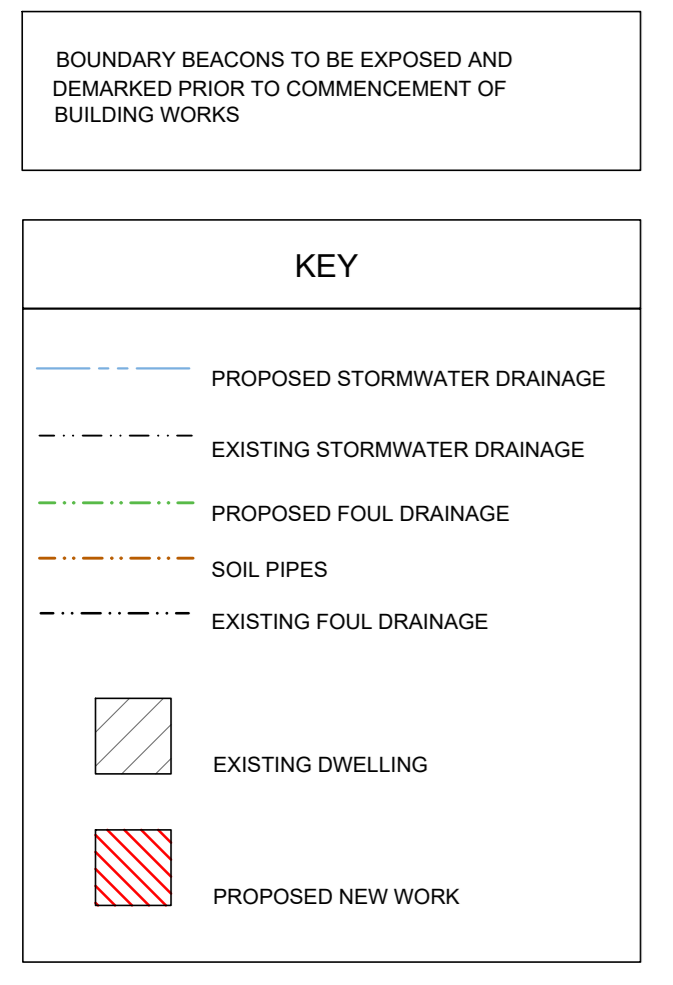
TOWN PLANNING REQUIREMENTS:	
AREA OF SITE	1012 m <sup>2</sup>
PERMITTED COVERAGE	50% (506.0m <sup>2</sup> )
EX. SITE COVERAGE -	348.00m <sup>2</sup>
PERMITTED F.A.R	N/A
EXISTING SITE COVERAGE	348.00m <sup>2</sup>
PROP NEW CARPORT	21.00m <sup>2</sup>
TOTAL PROPOSED COVERAGE	369.00m <sup>2</sup> (36.5%)

NEIGHBORS CONSENT

NAME: *Bonifacio Trust*  
 ADDRESS: 48 Maryland Avenue  
 SIGNATURE: *[Signature]*

NEIGHBORS CONSENT

NAME: *PARAMANUWOGAN M NAYOU*  
 ADDRESS: 41 Maryland Avenue  
 SIGNATURE: *[Signature]*



**PROP. POOL FLOOR PLAN**  
 SCALE 1 : 50

**SECTION B-B**  
 SCALE 1 : 100

**SECTION A-A**  
 SCALE 1 : 100

**SWIMMING POOL NOTES**  
 EARTH LEAKAGE PROTECTION TO BE FITTED TO ALL ELECTRICAL SUPPLY.  
 PRECAUTION TO BE TAKEN AGAINST:  
 1) FLOODING, SEEPAGE AND RAIN WATER IN SUNKEN PUMP CHAMBERS AND FILTER UNITS. OCCURRENCE.  
 PUMP CHAMBERS TO BE ADEQUATELY DRAINED  
 PLANT ARRANGEMENT TO SUPPLIERS REQUIREMENTS.  
 EXCAVATED SOIL TO BE REMOVED FROM SITE BY OWNER  
 PLAN TO COMPLY WITH SECTION A5(2) AND PART D4 (1)(2)(3) OF THE NATIONAL BUILDING REGULATION  
 WASTE WATER FROM POOL TO DISCHARGE INTO EXISTING R.E VIA BREAK PRESSURE PIPE  
 PROPERTY TO BE FULLY FENCED WITH SELF LOCKING GATE  
 NOTE:  
 ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION

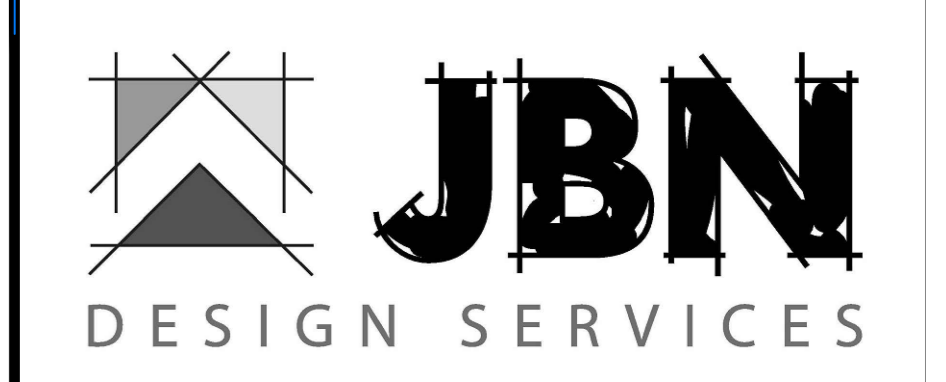
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 All dimensions to be checked on site by the Contractor  
 Where discrepancy occur the Contract Administrator must be notified immediately

OWNER'S SIGNATURE: *[Signature]*

SIGNATURE: *[Signature]*

JORGE NICOLAU  
 Pr. Arch. Draught.  
 SACAP No: PAD 43018738

**SITE & FLOOR PLANS**



16 Sedgewick Circle - Mount Edgecombe - Phone: 083 226644  
 Email: jorge@jbn-designs.co.za

Project Title:  
**PROP ADDITIONS & ALTERATIONS**  
 New Pool Carport and Braai with Chimney  
 ERF 155 GLENASHLEY  
 For: MERILEN FAMILY TRUST  
 1A ADRIENNE AVENUE, GLENASHLEY  
 Drawing Title:  
**SUBMISSION DRAWINGS**

Scale: 1 : 100 Date: 30/09/2022 Drawn: J NICOLAU Checked: G.C.

**22-397/01** Revision