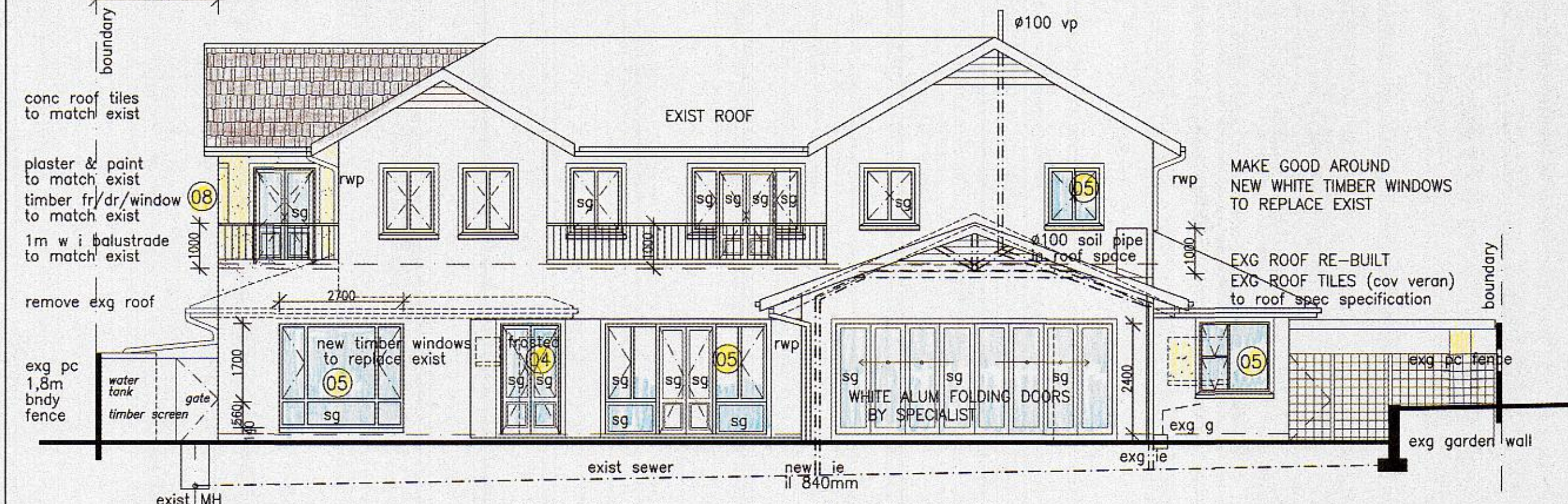
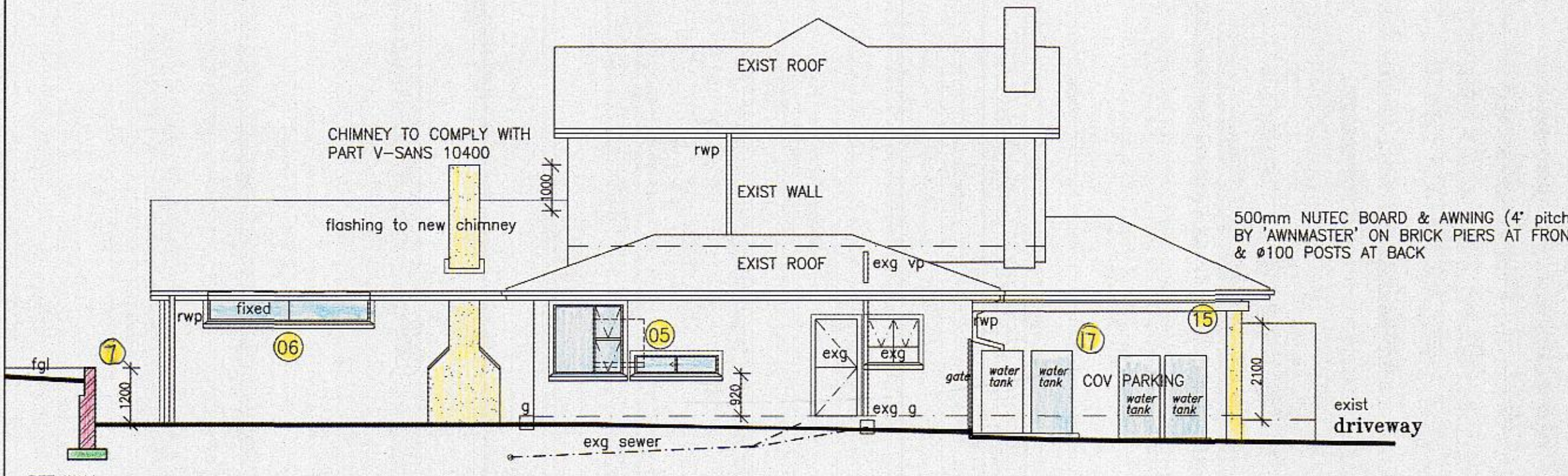


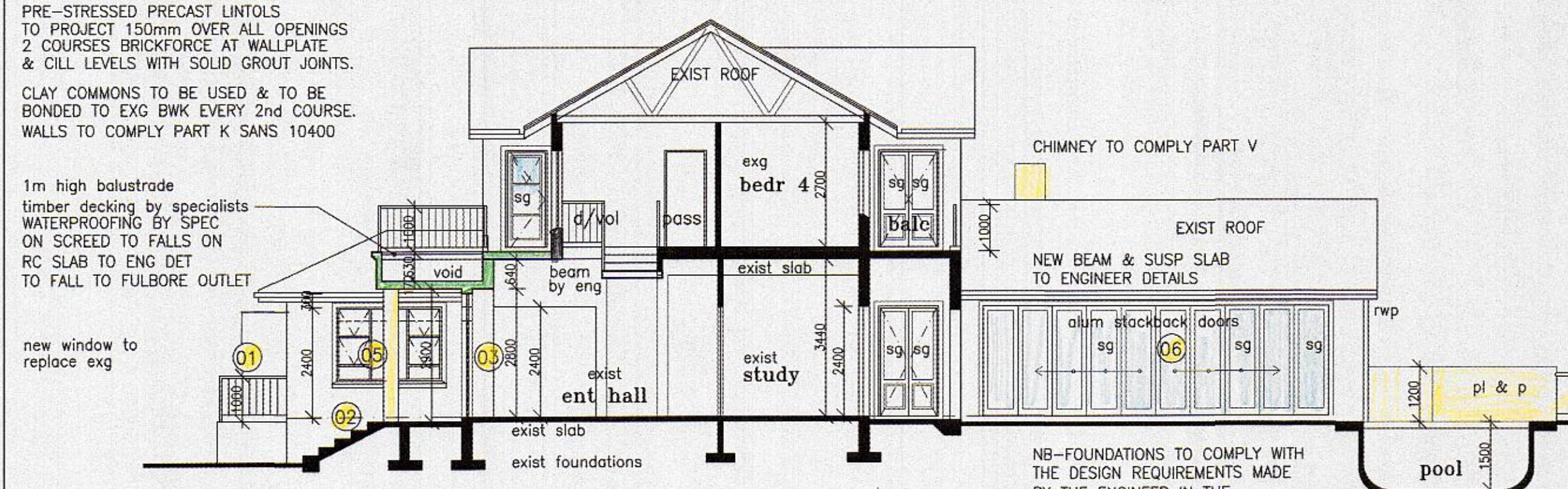
**SOUTH ELEVATION**



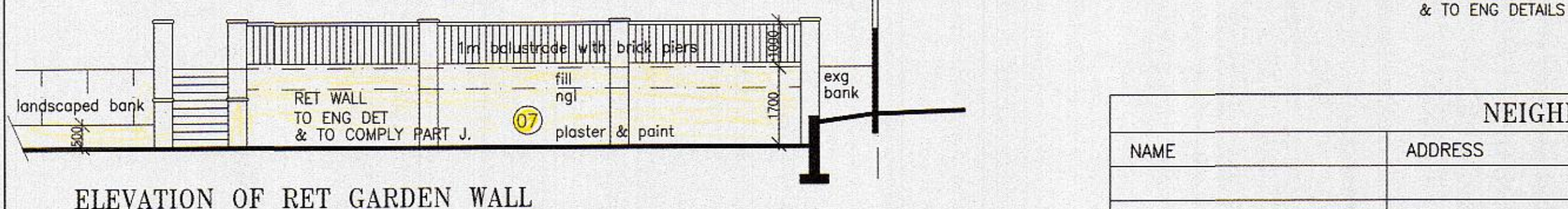
**NORTH ELEVATION**



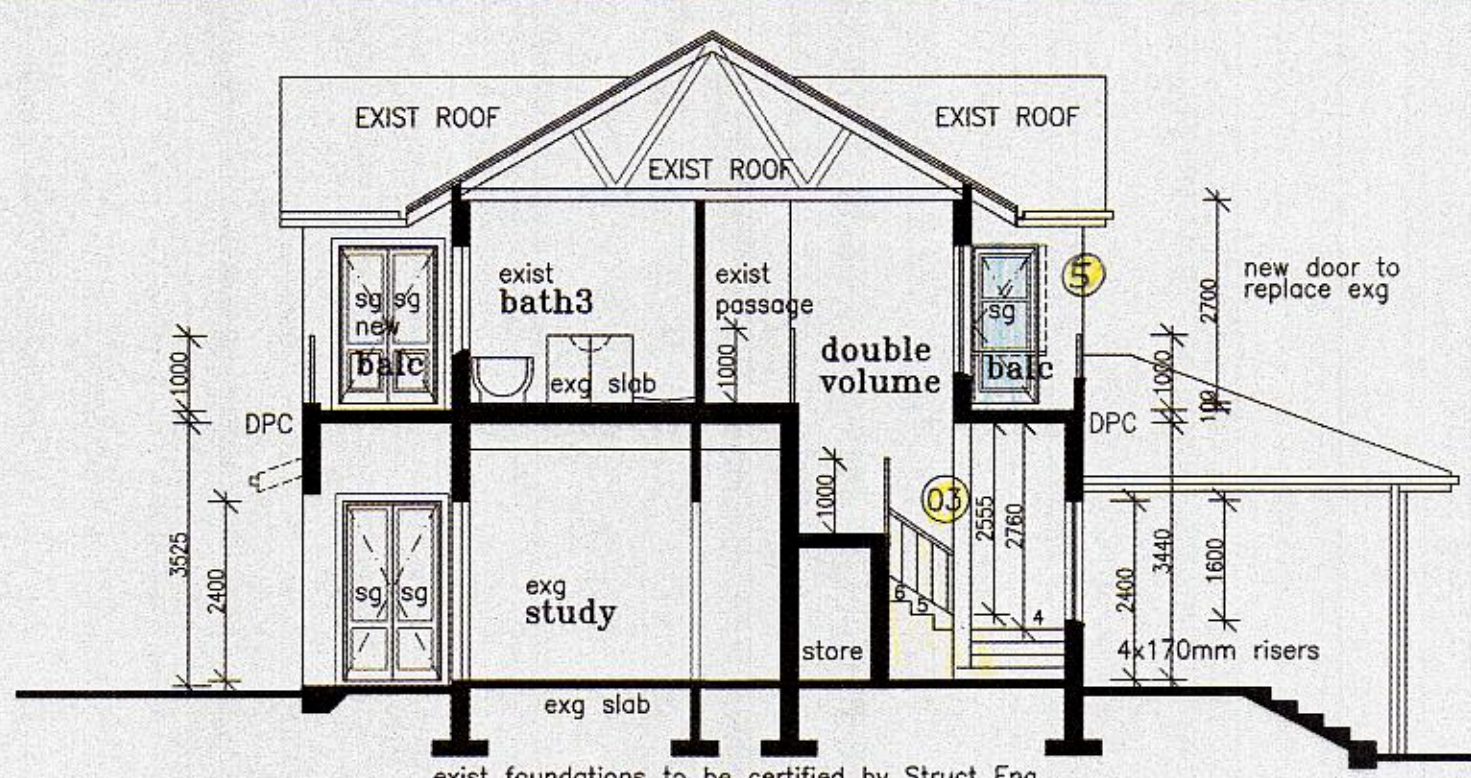
**WEST ELEVATION**



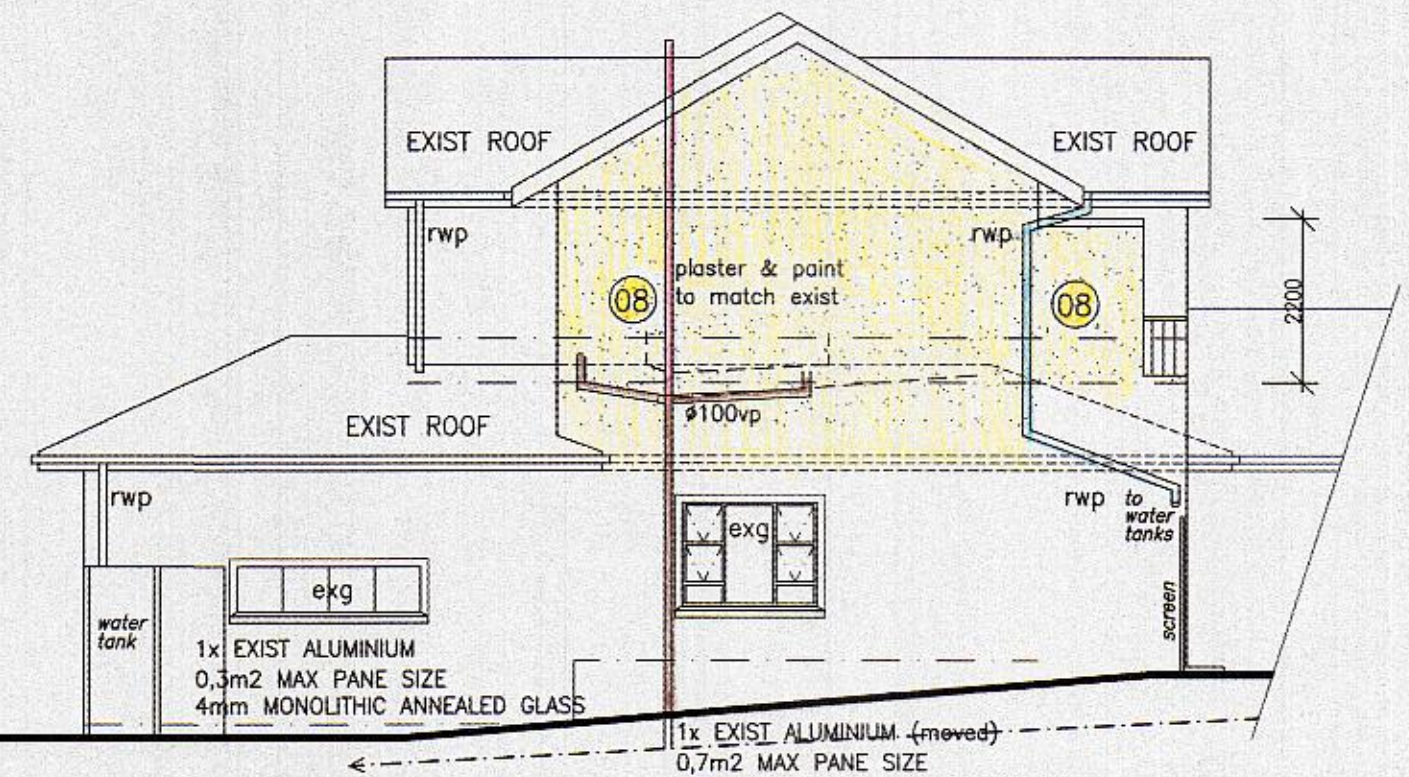
**SECTION B - B**



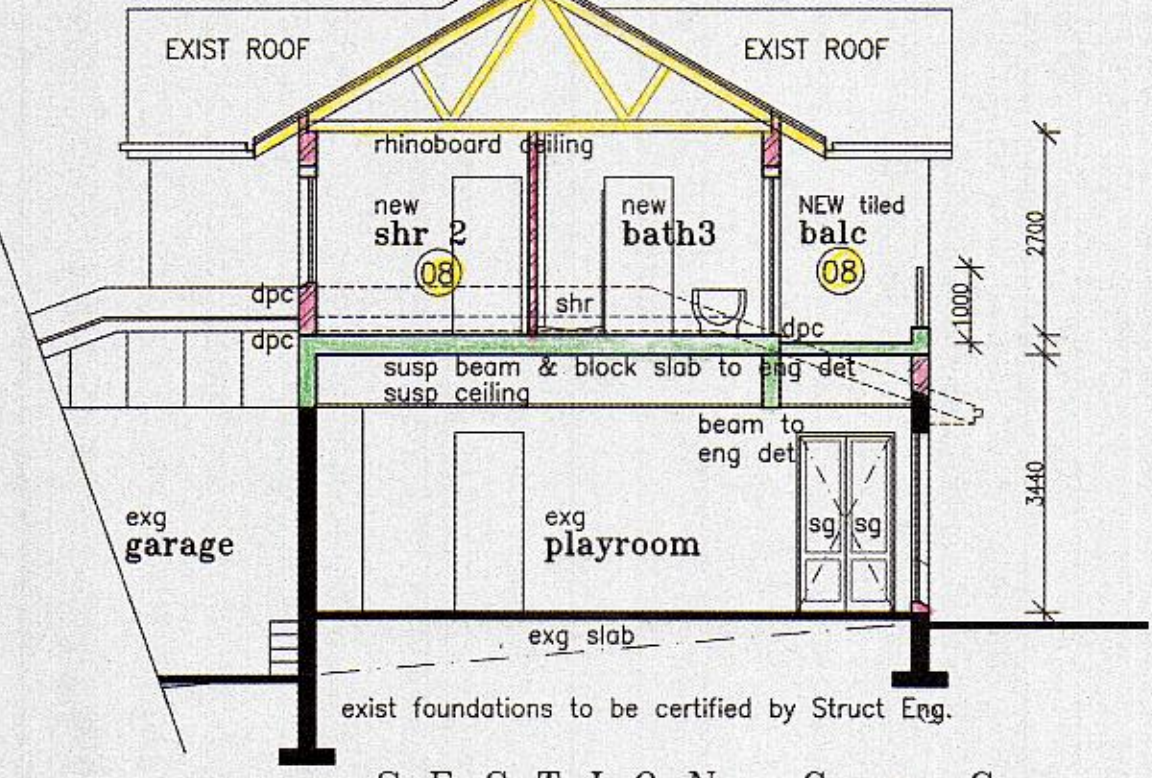
**ELEVATION OF RET GARDEN WALL**



**SECTION A - A**



**EAST ELEVATION**



**SECTION C - C**

PLASTER BAND SURROUNDS & MOULDED CILLS TO ALL WINDOWS AND DOORS  
1m DECORATIVE BALUSTRADE TO COMPLY PART D SANS 10400  
PL & PAINT TO MATCH EXIST

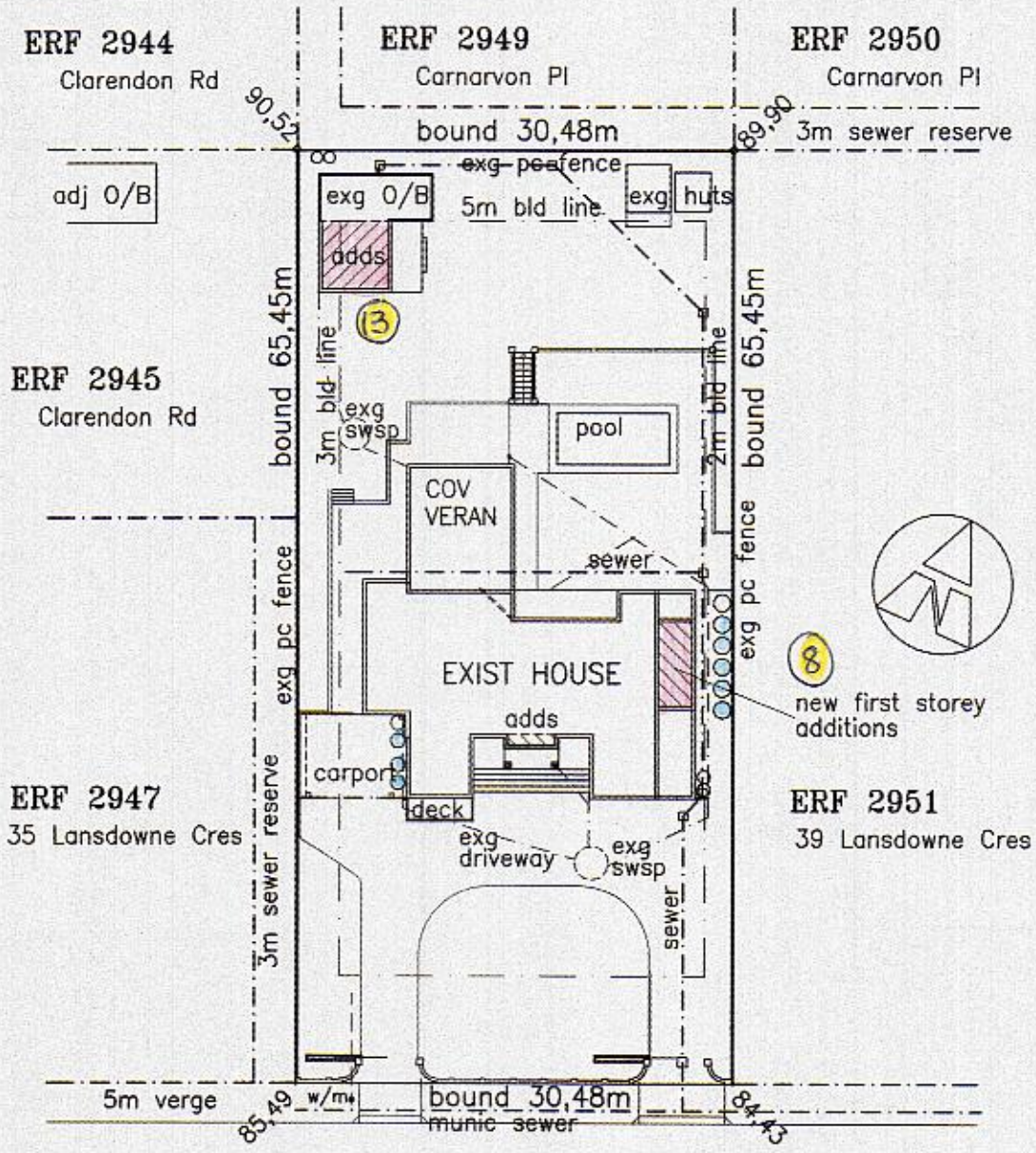
MAKE GOOD AROUND NEW AL/SG DOOR TO REPLACE EXG WINDOW  
1m H BALUSTRADE ON BWK TO COMPLY PART D SANS 10400  
UPSTAND BEAM & SLAB TO ENG DET TO COMPLY PART B SANS 10400

EXIST STAIRCASE DEMOLISHED - NEW STAIRS TO ENG DET  
TREADS 280mm, RISERS 180mm TO COMPLY PART M SANS 10400  
driveway  
ENT STAIRS TO ENG DET  
TREADS 350mm, RISERS 180mm TO COMPLY PART M SANS 10400

CONC ROOF TILES TO MATCH EXIST ON SABS APPROVED DPM ON 38x38 TIMBER BATTENS ON TIMBER TRUSSES @ MAX 760mm C/C'S ROOF PITCH 30° TO MATCH EXIST  
PRE-STRESSED PRECAST LINTOLS TO PROJECT 150mm OVER ALL OPENINGS 2 COURSES BRICKWORK AT WALLPLATE & CILL LEVELS WITH SOLID GROUT JOINTS.  
CLAY COMMONS TO BE USED & TO BE BONDED TO EXG BWK EVERY 2nd COURSE. WALLS TO COMPLY PART K SANS 10400

**NOTES -**

- All reinforced concrete footings, slabs, columns, beams & ret walls to be to Structural Engineers details & specifications & to be done under his supervision.
- All levels & dimensions to be checked on site by contractor before commencing work.
- No dimensions to be scaled.
- On site dimensions to be measured & checked before fabrication of any fitted item.
- The construction of this building is to comply in all respects with SANS 10400.
- All work to be done in accordance with the National Building Regulations & local authority by-laws.
- This drawing is copyright.
- The approval of this drawing is at the discretion of the local municipality.
- All foundations to be to Geotechnical Engineers details and specifications.
- All glazing to comply SANS 10400 PART N.
- All sewer pipes to be 100 pvc & waste pipes to be 50 pvc pipes.
- No bends or junctions within building.
- Inspection eyes to be provided at all bends & junctions.
- Balustrades to comply Part D 4.2.3 & 4.2.4 SANS 10400 - min gap between uprights of 100mm.
- All new walls lintels to eng det, taking into account Part K SANS 10400.
- New roof structure to Eng det & to comply SANS 10400-B & H.



**1 : 500 SITE PLAN**

DATE	No	LIST OF DEVIATIONS
JUL/17	01	UNROOFED BALC ADDED OFF LIVING RM
	02	ENT PORCH & STAIR REVISED
	03	ENT HALL, STAIR & STORE UNDER REVISED
	04	FR/D TO GUEST WC
	05	VARIOUS DOORS/WINDOWS REVISED
	06	FIREPLACE, TV & STACKBACKS REPOSITIONED IN ENCL VERANDAH
	07	RET GARDEN WALLS & STAIR MOVED AT POOL
	08	1ST FL - NEW BATHROOMS & BALC ADDED
	09	CHANGE BATH 4 TO EN-SUITE
	10	EXTEND BALCONY OVER EXG PORCH BELOW
	11	RETAIN DRESSING AS IS
	12	ADJUST BATH 1 LAYOUT SLIGHTLY
	13	EXTEND OUTBUILDING TO CREATE POOLROOM
	14	REVISE/EXTEND OUTBUILDING ROOF
	15	REVISE CARPORT (brick piers)
	16	EXTRA WATER TANKS ADDED
	17	CORRECT SCHEDULE OF AREAS

OWNERS SIGNATURE: *[Signature]*

**SUBMISSION PLAN**

PROJECT: **DEVIATIONS TO APPROVED PLAN No 147 02 16 & ADDITIONS TO EXIST HOUSE & OUTBUILDING**

OWNER: **MR G J ALLEN**  
ID No - 740216 5095085  
TEL No - 0824478274

SITE DESCRIPTION: **37 LANSDOWNE CRESCENT ERF 2948 DURBAN NORTH**

DRAWN BY - **E C ROBINSON** REG TO 768  
25 BEREA HEIGHTS 706 CURRIE ROAD  
MORNINGSIDE DURBAN 4001  
Tel : 031 3121 774 FAX : 031 - 312 0413

DATE : JULY 2017 JOB No. **2014/02/14** DRG.No. **02B**  
SCALE : 1 : 100  
DRAWN : E C R

**NEIGHBOURS INFORMATION**

NAME	ADDRESS	TELEPHONE	ID No	SIGNATURE