

Proof of notification

Advertisement



Town & Regional Planners, Environmental & Development Consultants

P O Box 20298 Willows 9320 Tel: +27 (51) 447 1583 Fax: +27 (51) 448 9839 e-mail: admin@mdagroup.co.za 9 Barnes Street, Westdene BLOEMFONTEIN

Makecha Development Associates trading as MDA, CC 1995/030752/23, Member: SAPI, SACTRP

Our ref: 40577 DEDECT ref: NWP/EIA/59/2013 DEDECT official: Mrs. T. Makuwa Contact person: Hanlie Groenewald 17 February 2014

Dear identified potential interested and / or affected party

NOTIFICATION OF THE PROPOSED UPGRADING OF BULK WATER SUPPLY TO THE GREATER MAMUSA AREA

Notice is given in terms of Regulation 54(2)(b) of the Environmental Impact Assessment Regulations of 2010 No. R. 543 published in Government Notice No. 33306 of 18 June 2010 of the National Environmental Management Act (Act No. 107 of 1998) that an Application for Environmental Authorisation has been submitted to the North West Province Department of Economic Development, Environment, Conservation and Tourism for the following:

Project: Proposed upgrading of the bulk water supply to the greater Mamusa area, which will include the following: A pipeline between Bloemhof Water Treatment Works and Schweizer-Reneke; the upgrading of the existing or a possible new abstraction point at the Bloemhof Dam; as well as the expansion of the Water Treatment Works.

Project by: Dr Ruth S. Mompati District Municipality.

Please refer to the attached maps. Locality:

Please refer to the CD attached hereto for a copy of the draft Basic Assessment Report (dBAR) for your attention. Refer to Annexure E of the dBAR for a copy of the previous consultation process that was undertaken as part of the said project.

If you have any information or comments regarding the environmental impact of the proposed development or need additional information regarding the proposed development, please submit your name, contact information and interest to Hanlie Groenewald (hanlie@mdagroup.co.za / as per contact details given above), within 15 days of date of notice.

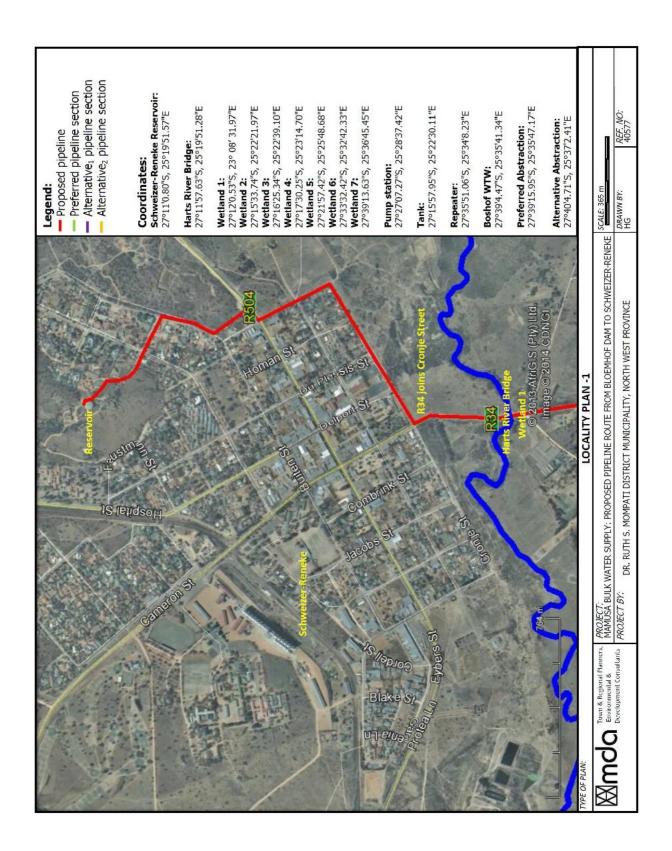
Kind regards

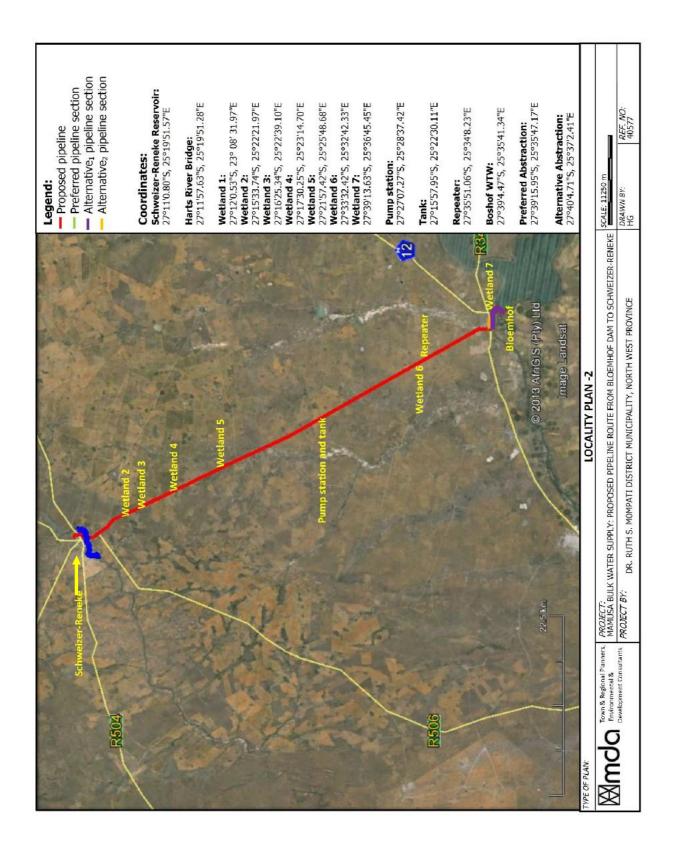
MDA

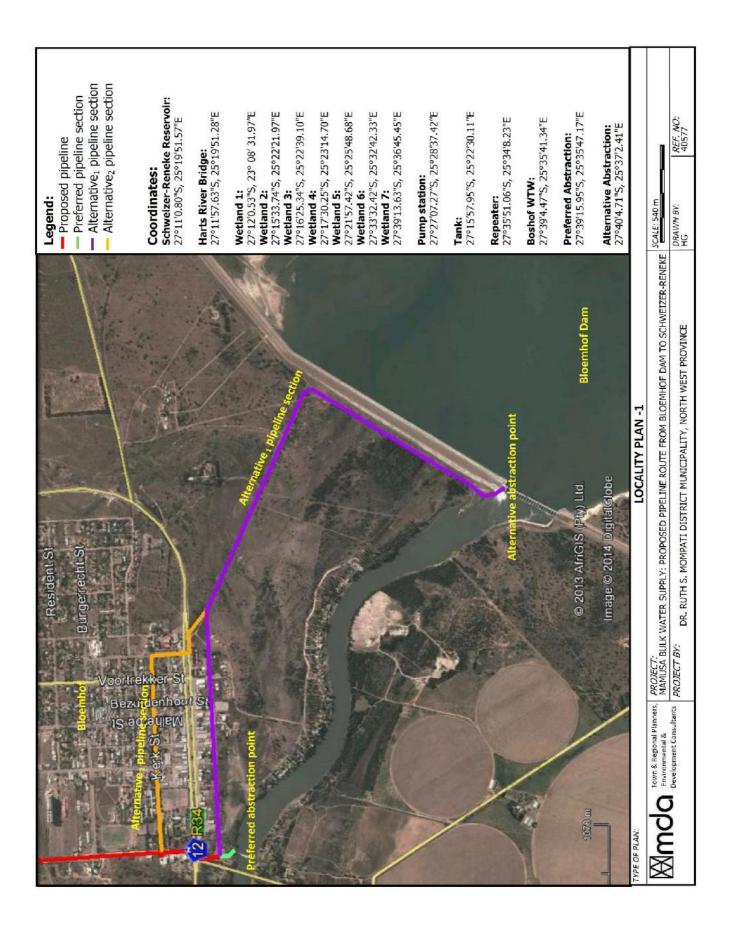
NEIL DEVENISH Pr. Pln A/1133/1999 Manager: Town Planning/Environmental

PROPOSED UPGRADING OF BULK WATER SUPPLY: MAMUSA WATER Please complete this form and forward it to MDA

Farm Name:				
Farm Owner:				
(Individual/MPY/TRUST/CC)				
Name of Contact Person:				
Contact detail of contact				
person given above:	Tel:			
	E-mail:			
	Fax:			
	Physical address (Farm or Street Address):			
Comment or any concerns				
Signature and date:				
1				







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PAGE 2

STELLALANDER

26 FEBRUARY 2014



MyEieSite **Grace Theron** 082 374 8499 = info@myelesite.co 086 693 01 79 = www.myelesite.co VLAKFONTEIN POUND There is 1 ox at the pound that has to be collected by the owners. If the animal is not collected, it will be sold on og March 2014 at a public auction.

og March 2014 at a public auction. te auction will take place on og March 2014, at og:oo. There are 5 sheep, 3 goats and 2 mules at the pound that have to be collected by the owners. the animals are not collected, it will be sold 10 March 2014 at og:oo at a public auction. The auction will take place on 10 March 2014 at og:oo. The suction will take place on 20 March 2024 at 09:00, octions will take place at Vlakf form, Vryburg District. For any enquiries contact Gerhard 082 220 0669 or the Office 053 927 0346

The Colridge Centre for Children and the Elderly has officially changed hands. The centre will in future be under the auspices of the Tiger Kloof Educational Institution and the international organisation, Round Square. The day to day running of the centre will be in the hands of a committee, consisting of members of the local community. Maggie Losper is the overseer at the centre. Here is Maggie Losper (right) with learners of the Apsley College, Wellington in the United Kingd who donated close to a million rand (53 000 British pounds) to the centre. This money was mostly used to buy the centre from the previous owner and to buy additional grounds for expanding the centre. Maggie Chodak from Round Square, and a major driving force behind the whole project, is le project, is also present in the photograph.

Mej Stellalander: Semifinaal

Vryburg – Vanjaar het 32 jong vroue ingeskryf om mee te ding om die Mej Stellalander-kroon.

Dié 32 semifinaliste sal dié Vrydag Dié 32 semifinaliste sal dié Vrydag (28 Februarie) aan die eertste rondte van dié kompetisie deelneem as die semifinaal by die Vryburg Polisieklub gehou word. Die verrigtinge begin om 18:00, maar deelnemers moet reeds om 16:00 daar wees vir 'n fotosessie saam met Tueid de Tarit zm Dietelbiere met Tanél du Toit van Photolicious

Photography. Kaatjies vir die geleentheid is ongelukkig reeds uitverkoop.



Alzane Narrain, oud-Vryburger en Kovsie graduant, is pas o die streeksradiostasie OFM/ Central Media aangewys as die maatskappy se Intern van die Jaar. Hier is Alzane tydens haar gradeplegtigheid verlede jaar.



INVITATION TO BID NLM2014-019A PROVISION OF ENGINEERING SERVICES FOR THE REFURBISHMENT OF

COLRIDGE SPORT STADIUM (CONSULTANT)

Bids are hereby invited for the PROVISION OF ENGINEERING SERVICES FOR THE REFURBISHMENT OF COLRIDGE SPORT STADIUM (CONSULTANT) to the NALEDI LOCAL MUNICIPALITY.

Bid documents with detailed bid specifications and detailed information are obta Finance Department (Roamo 21) (office hours: 07h30 to 13h00 and 11h30 to 15h00) of the NALED LOCAL MUNICIPALITY, 19A Market Street, VRYBURG, 8601, from 12:00 on Wednesday, 26 February 2014. A non-ethicinable cash deposit fee of R100 is required on collection of the bit ry 2014. A no

A compulsory site inspection and bid briefing meeting with representatives of the Municipality will be held on Wednesday, 05 March 2014, commencing from 09h00 at the Room 67 at 19A Market Steret, Vryburg, Bid documents at the advoce stated cash deposit fee will also be available from the representatives of the Municipality on this day.

Sealed Bids clearly marked "NLM2014-019A : PROVISION OF ENGINEERING SERVICES FOR THE REFURDISHMENT OF COLUMDES SPORT STADIUM(CONSULTANT)" must be placed in the tender box situated at the offices of the NALED LOCAL MUNICHAITY, 19A Market Steer, VRYBURG, 8601, on or before 12:00 on Thursday, 13 March 2014 at which time the bids will be opened in public.

No late bids will be accepted

Please note that it is a prerequisite of the Municipality that all service providers are to be registered on the NALEDI LOCAL MUNICIPALITY's Supplier Database. It must herefore be understood that only bids from suppliers registered on the Municipality's Supplier Database or bids accomparied by a completed Supplier Registration Application Form will be considered. The submissions of valid up to date SARS tax clearance certificates are compulsory. Supplier Registation Application Forms are available from the Finance Department (Room 21) of the Municipality at 19A Market Street, VRYBURG, 8601

The NALEDI LOCAL MUNICIPALITY does not bind itself to accept the lowest or any bid and th icipality reserves the right to accept the whole or part of any bid and further reserves the ri -adventise if it so wishes to. No reasons for the acceptance or rejection of any bid will be giv es the right

Bids will be adjudicated according to the NALEDI LOCAL MUNICIPALITY's Supply Chain Management Policy, the Preferential Procurement Policy Framework Act (Act 5 of 2005) and the Preferential Procurement Regulations, 2011, as well as the Broad Base Black Economic Empowerment Act (Act 55 of 2003).

Enquiries may be directed to Lebogang Moinwe at telephone number (053) 928 2276.

MUNICIPAL MANAGER

MUNICIPAL MANAGER NALEDI LOCAL MUNICIPALITY 19A Market Street VRYBURG 8601



Marius Diesel & Olie Diesel, Petrol, Paraffin BELOW RETAIL PRICES arages, Farmers, intractors, insporters for best ice in North-West/Northern C. Delivered on site Depot: 018 464 2335 Marius: 082 464 2462 YOY 6Y 5Y 3Y 3Y First Commandment Ministries 082 255 1557 / 072 037 9081 The t 5 vs. 16 and Heb 13 vs.4 IVIRONMENTAL IMPACT ASSESSME BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS AUMONOF THE REMOVED UPGRAVING UPPLY TO THE GREATER NAMUSA AREA ATER SU Ice is given in terms of Regulation 54(21)(c) of the Enviro Impact Assessment Regulations of 2010 No. R. 543 pu Soverment Natice No. 33301 of 16 June 2010 of the 1 unromental Management Acid Acid No. 107 of 1988) that cation for Environmental Authorization has been submitted ce Dep

Proposed upgrading of the bulk water supply to the gr area, which will include the following: A pipeline beth f Water Treatment Works and Schweizer-Reneke; th presing of the existing or a possible new abstraction po Bioemhof Dam; as well as the expansion of the Water 1

eest by: Dr Ruth S. Morroeti District Municip

by: From the abstraction point at Bloemhof Dam, to the not WTW to the Schweizer-Reneke reservoir, mostly along

EDECT ref nr: NWP/EIA/S0/2013

DECT Official: Mrs. T. Makuwa

If you have any information or cor mental impact of the proposed dev formation regarding the proposed de formation regarding the proposed development, please submit name, contact information and interest to Hanile Groenewai MDA (<u>hernieffundeoroauc.co</u>): T. 051 447 1583; P. 051 448 9 Within 15 days of date of notice.

On-site notice









(will be attached to Final Basic Assessment Report)



List of registered parties

(will be attached to Final Basic Assessment Report)



List of comments received

(will be attached to Final Basic Assessment Report)



Proof of response to comments received

(will be attached to Final Basic Assessment Report)



Environmental Management Programme (EMPr)

PROPOSED UPGRADING OF THE BULK WATER SUPPLY TO THE GREATER MAMUSA AREA, SCHWEIZER-RENEKE, NORTH WEST

Applicant: Dr Ruth S. Mompati District Municipality MDA Ref No: 40577 **DEDECT ref:** NWP/EIA/59/2013 **DEDECT** official: Mrs. T. Makuwa Date: February 2014

Town & Regional Planners, Environmental & Development Consultants

Physical Address: 9 Barnes Street, Westdene, Bloemfontein, 9301 Postal Address: PO Box 20298, Willows, 9320 Tel: 051 4471583, Fax: 051 4489839 E-mail: admin@mdagroup.co.za

1. **INTRODUCTION**

1.1 Proposed project and associated construction activities

The Dr Ruth S. Mompati District Municipality proposes to upgrade the bulk water supply to the Greater Mamusa area. The project includes the abstraction of water from the Bloemhof Dam and construction of a pipeline from the abstraction point to the Water Treatment Works in Bloemhof, pump and then along the R34 road to Schweizer-Reneke. The project also includes the construction of pump stations and other relevant infrastructure.

The site, as referred to in this Environmental Management Programme (EMPr), pertains to the pipeline route from the abstraction point at Bloemhof Dam to the reservoir site in Schweizer-Reneke as indicated on the locality plans in Appendix A of the Basic Assessment Report.

1.2 Objectives of the EMPr

The EMPr aims to fulfil the requirements as specified in Section 33 of Regulations No. R. 543 (18 June 2010) in terms of the National Environmental Management Act (Act 107 of 1998), with the following objectives:

- To identify, predict and evaluate actual and potential impacts on the environment, socio-economic conditions and cultural heritage, the risks and consequences and alternatives and options for mitigation of activities, with a view to minimizing negative impacts, maximizing benefits and promoting compliance with the principles of environmental management;
- To identify and employ the modes of environmental management best suited to ensuring that the activity is pursued in accordance with best environmental management practices;
- To be able to respond to unforeseen events;
- To provide feedback on compliance.

1.3 Implementation of the EMPr

The project applicant, namely the Dr Ruth S. Mompati District Municipality is responsible for the implementation of the EMPr. All contractors should be supplied with a copy of the EMPr and should ensure that construction staff adheres to the mitigation measures.

2. PREPARATION OF THE EMPR

- 2.1 Person(s) who prepared the EMPr
 - i) Prof. P.J. du Preez
 - ii) Me. Marguerite Cronje

MDA P.O. Box 20298 Willows Bloemfontein 9320 Tel: 051 4471583 Fax: 051 4489839

iii) Nico-Ronaldo Retief

Lidwala Consulting Engineers P.O. Box 32497 Waverley PRETORIA 0135 Tel: 086 15439252 Fax: 086 5005574

- 2.2 Expertise of the person(s) who prepared the EMPr
- i) Prof. P.J. du Preez

Key qualifications:

 Key competencies and experience include research in vegetation ecology & data management, bio-monitoring, impact assessment, environmental management and environmental education.

Education:

- B. Sc. (Zoology and Botany), University of the Free State, South Africa, 1981
- B. Sc. Honnours (Plant ecology & Taxonomy), University of the Free State, South Africa, 1982
- Higher Education Diploma, University of the Free State, South Africa, 1983
- M.Sc. (Plant ecology), University of the Free State, South Africa, 1986
- Ph.D. (Plant ecology), University of the Free State, South Africa, 1991
- ii) Me. Marguerite Cronje

Key qualifications:

• Key competencies and experience include environmental management and research in zoology.

Education:

- B.Sc. (Zoology), University of the Free State, South Africa, 2002
- B.Sc. Honnours (Zoology), University of the Free State, South Africa, 2003
- M.Sc. Diploma (Equine Science), University of Edinburgh, Scotland, UK, 2005
- Masters in Environmental Management, University of the Free State, South Africa, 2008

iii) Mr. Nico-Ronaldo Retief

Key qualifications:

• Key competencies and experience include surface water and environmental resource management and research in water quality.

Education:

- B.Sc Natural and Environmental Sciences (2001-2003) Rand Afrikaans University
- B.Sc Honours Zoology (2004) Rand Afrikaans University
- M.Sc Zoology (2005-2007) University of Johannesburg

3. RECOMMENDED MANAGEMENT AND MITIGATION MEASURES

3.1 Planning phase / Site preparation

- i) Permits need to be obtained for the removal of Camel Thorn (*Acacia erioloba*) trees that are located within the pipeline route where no alternatives are possible and will ultimately be destroyed. Care must be taken to prevent unnecessary damage to other Camel Thorn trees near to construction activities.
- ii) Necessary water use licenses for water abstraction and construction work within wetland areas need to be obtained.
- iii) Care should be taken when pipes are attached to bridges to ensure that any damage to bridges is prevented.
- iv) The necessary precautions with regard to road safety should be implemented for construction work within road reserves.
- v) Proper sanitation, water and waste facilities should be in place for construction workers.
- vi) Washing and chemical toilet facilities must be provided on site during the construction phase. Chemical toilets should be cleaned regularly.
- vii) Clean water should be made available daily to workers on site.
- viii) If an artefact or grave is uncovered during construction activities, work in the immediate vicinity is to be stopped until the project Archaeologist has been consulted.

3.2 Wetland areas

i) Construction activities in wetlands should be avoided as far as possible through proper demarcation and appropriate environmental awareness

training. The Contractor is responsible to inform all staff of the need to be vigilant against any practice that will have a harmful effect on wetlands.

- ii) All no-go areas must be demarcated with red tape under guidance of the Environmental Control Officer (ECO).
- iii) Infilling, excavation, drainage and hardened surfaces should not occur in any of the wetland zones (i.e. permanent, seasonal or temporary), or within 30m of a wetland. This 30m buffer zone should be extended in areas where slope in combination with rainfall will potentially provide conditions for the transportation and deposition of materials within wetland areas.
- iv) Caution must be taken to ensure building materials are not dumped or stored within delineated wetland buffer zones of 30m.
- v) The design of drainage systems must ensure there is no contamination, eutrophication or increased erosion of the wetland areas. Drainage systems should be maintained regularly in order to minimize the runoff of harmful chemical substances into the wetland areas.
- vi) It should be ensured that the pipeline has minimal effect on the flow of water through the wetland. During construction, disturbance to the wetlands should be minimized.
- vii) Emergency plans must be in place in case of spillages into wetland systems.
- viii) Erosion control of all banks must take place so as to reduce erosion and sedimentation into river channels or wetland areas;
- ix) Weather forecasts from the South African Weather Bureau of up to three days in advance must be monitored on a daily basis to avoid exposing soil or building works or materials during a storm event and appropriate action must be taken in advance to protect construction works should a storm event be forecasted.
- x) It should be ensured that disturbance to the wetlands is minimized by undertaking construction through wetlands during the dry seasons.

3.3 Handling and storage of materials

- i) All chemicals used during the development, including fuel for the construction vehicles, should be stored in a proper storeroom or protected area to prevent pollution.
- ii) Vehicles should be serviced at designated areas. No oil, diesel or other chemicals may be spilled or discharged anywhere.
- iii) Where applicable, the contractors must ensure that all relevant national, regional and local legislation regarding storage, transport, use and disposal of

petroleum, chemical, harmful or hazardous substances and materials are adhered to, where necessary.

- iv) Cement and concrete mixing should only take place within the construction site. No concrete may be mixed directly on the ground.
- v) All environmental problems occurring on the site such as chemical spillage, wasteful water disposal, etc. should be reported to the ECO.

3.4 Waste management

- i) Waste refers to all construction debris and domestic waste generated due to construction activities.
- ii) The contractor will be responsible for the removal of construction waste.
- iii) Suitable containers should be placed on site to collect all solid waste. These should be emptied regularly.
- iv) No littering is permitted. During the construction period the site shall be maintained in a neat and tidy condition.
- v) All solid waste produced should be disposed of at a licensed landfill site.
- vi) All hazardous waste should be disposed of at a licensed hazardous landfill site.
- vii) No dumping, burning or burying of waste may take place on site.

3.5 Soil, erosion and vegetation management

- i) Construction activities should be limited to the site and construction vehicles should keep to constructed roads so that natural vegetation is not destroyed unnecessarily.
- ii) Erosion management is important. Rehabilitation of disturbed areas is important to help the recovery of the vegetation.
- iii) Removed topsoil is to be stockpiled in an area where it will not be disturbed by vehicles. One layer of bricks or stones is to be placed around the stockpiled topsoil to protect topsoil from washing away during rainstorms. Topsoil is to be placed on the cleared areas once construction is completed. Re-spreading is to be done to a maximum of 100 mm.
- iv) Any proclaimed weed or alien species that germinates during the contract period must be cleared by hand before flowering.
- v) Imported fill material should be monitored during and after construction for the presence of any alien species. Any such species should be removed immediately.

- vi) No fires should be made directly on the soil. Provision should be made that no accidental fires are started. / No fires allowed.
- vii) No firewood shall be collected on site or in surrounding areas.
- viii) The total depth of excavation will be kept to a minimum, i.e. i.e. follow the slope of the natural ground surface and a minimum cover of 1 m over the pipe is proposed.

3.6 Noise control

i) Construction activities should be limited to normal day time hours.

3.7 Safety and security

- i) The contractors must comply with the Occupational Health and Safety Act, National Building Regulations and any other national, regional or local regulations with regard to safety on site. Construction contracts must include safety and security measures for staff.
- ii) Precautions to ensure that construction staff and sites are visible and do not pose danger to road users, should be implemented.
- iii) Construction work within road reserves should accommodate road users as far as possible. This includes the following:
 - a. Roads should be crossed in half widths at a time to minimise the impact on vehicular traffic.
 - b. Construction along and across existing roads will be executed in such a manner that both pedestrian and vehicular traffic can be accommodated at all times.
 - c. The contractor will be required to maintain adequate access to all public and private property at all times.
 - d. Contractor should supply, erect and maintain road signs for all work areas conforming to the prescribed layout and requirement of the South African Road Traffic Signs Manual and the Department of Transport, Roads and Community Safety of the NW Provincial Government.
 - e. A concrete sleeve pipe should be installed underneath all the railway lines and the new pipeline should be installed inside the concrete sleeves.
 - f. The pipeline should be attached to the existing Harts River bridge by means of steel brackets and supports.
- iv) Fire extinguishers must be available on site and in the construction camp.
- v) Proper mitigation measures should be implemented while working near the existing pipeline. Care should be taken not to disturb any asbestos pipelines.

3.8 Site clean-up and rehabilitation

- i) Temporary structures and office sites shall be dismantled and removed after completion of the construction phase of the project.
- ii) All waste, equipment, materials, etc. used during construction must be cleared from the site. The contractors must ensure that the site is cleared and rehabilitated to the satisfaction of the ECO.
- iii) An alien plant control and monitoring programme should be implemented.
- iv) Re-vegetation of disturbed areas must be undertaken with site indigenous species.
- v) After completion of the construction phase, a wetland monitoring program must be initiated that ensure that all wetland protection infrastructure and storm water systems are properly installed and that all affected wetland areas are adequately rehabilitated.

4. OPERATIONAL PHASE

- i) Regular inspections of the pipeline route should be done to identify leakages. These should be attended to immediately.
- ii) Soil erosion occurrences should be attended to immediately.
- iii) A wetland monitoring program should be implemented to ensure that all affected wetland areas are adequately rehabilitated.
- iv) The operating procedure should ensure pumping as much as possible during the off-peak and standard time of electricity use periods to ensure that the existing reservoir at Schweizer-Reneke is full before the start of the peak time of use periods, where possible.
- v) Measures should be implemented to minimise the loss of water at any point of pipeline (including at the pump stations, reservoirs etc.)

5. DECOMMISSIONING /CLOSURE

i) It is not anticipated that the proposed project will cease in the nearby future. However, if decommissioning is decided upon, a rehabilitation plan will be developed and submitted for approval. The end-use of the area will be kept in mind during the compilation of the rehabilitation plan.

6. COMPLIANCE AND MONITORING

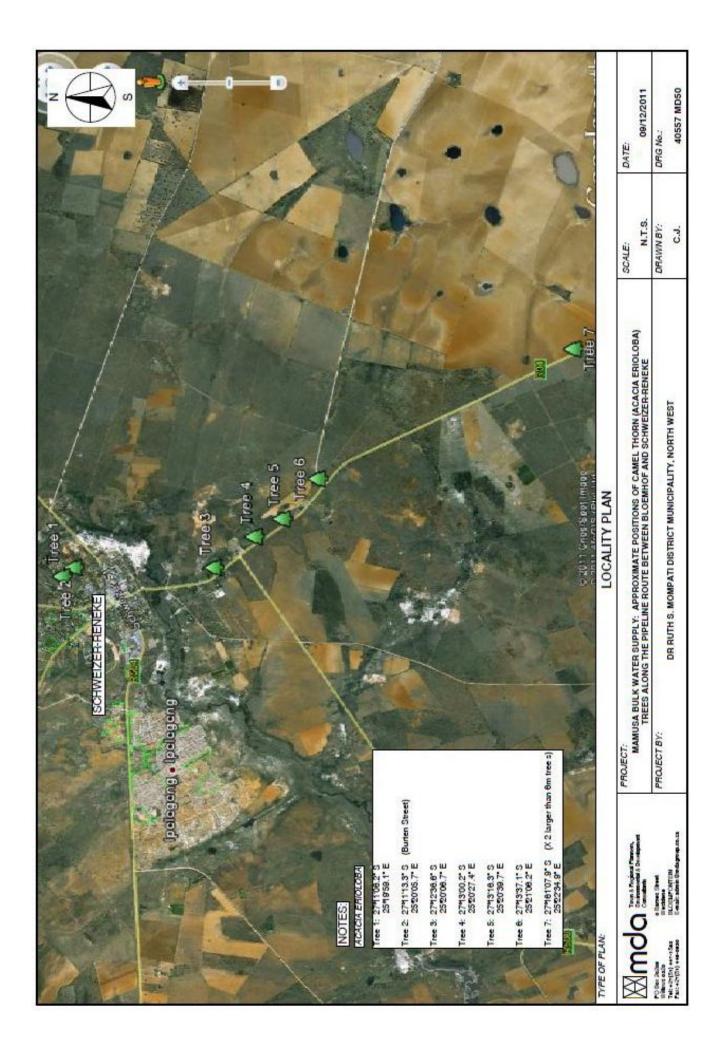
- i) The applicant should ensure that the contractors adhere to the recommendations of the EMPr and conditions of the Environmental Authorisation during construction.
- ii) An Environmental Control Officer (ECO) can be appointed separately or can be part of the contractor's team to monitor the construction phase.
- iii) Regular monitoring and / or spot inspections at least every fortnight during the construction phase is recommended.
- iv) Inspections should be documented and any shortcomings addressed immediately.
- v) For monitoring purposes, all flow rates, storage tank water levels, pipeline pressures, etc. should be displayed at both ends of the line.



Additional information



Location of Camel Thorn (Acacia erioloba) trees





Consultation with DWA





Department: Water Affairs REPUBLIC OF SOUTH AFRICA

Northern Cape Region Private Bag X 6101, Kimberly, 8301 28 Central Road Beaconsfield Kimberly Tcl: 053 836 7600, Fax: 053 842 3258, Email:wma10@dwa.gov.za WUL PRE/CONSULTATION SHEET: MAKUNGO ESTHER

Applicant Name:

Date: 15/03/2012 Location: B57-DWA KIMBERLEY OFFICES Reasons for visit: Pre- Consultation For Lekwa. Teemaneh L.M abstraction, pipeline Crossings, treatment in Water Works and distilution to communities

Water Uses: Section 21 a, C (1, 2 g

DWA ref. Not yet created

	Contacts	Institution	Signature
MAKUNGO T.E. (Mr)	053 836 7661	DWA-LICENCING	Aligrandas
ELMAR DEYSEL	0828730880	WERSA LIOWALA	10
			$\int C$

Way Forward: Applicant to submit documents as reflected in email communication. For WUL application



Information on the Landowners of various properties applicable to the proposed project



LEKWA-TEEMANE LOCAL MUNICIPALITY "NW396"



P.O. Box 13, Christiana, 2680, Cnr. Robyn & Dirkie Uys Streets Tel: (053) 441 2206 Fax: (053) 441 3735 Email: registry@lekwa-teemane.co.za Website: www.lekwateemane.co.za

You ref. Our Ref: Enquiries: B. Segapo

Date: 04 March 2013

The Municipal Manager DR RUTH SEGOMOTSI MOMPATI DISTRICT MUNICIPALITY P. O. Box. 21 VRYBURG 8600

Dear Mr. W Jood

PORTION 12 AND THE REMAINDER OF THE FARM KLIPFONTEIN NO. 344-HO

The above matter refers.

The attached council minutes and resolution indicates that the portions of land in question were sold however there remains a servitude in which it is secured for the Water infrastructure.

The servitude is spaced at four (4) meters wide and marked as ab - hc - gd on the drawing.

Further details are as per the attached council minutes and resolution.

Please be at liberty to contact us for any further clarity.

Yours faithfully

A. Makuapane⁹ Municipal Manager

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ITEM N.24 ORDINARY COUNCIL MEETING 02.03.2012

1. TMK PROFESSIONAL LAND SURVEYORS: APPLICATION FOR THE CONSOLIDATION OF THE REMAINDED OF EPE 604, PORTION 1 OF ERF 694, PORTION 20 OF ERF 694, PORTION 12 OF ERF 419, PORTION 13 OF ERF 419, ERF 420, ERF 421, ERF 443 AND THE REMAINDER OF ERF 444, BLOEMHOF TOWNSHIP AND THE SUBSEQUENT SUBDIVISION OF THE CONSOLIDATION

1.1 PURPOSE

To request Council to approve the application for the consolidation of the remainder of erf 694, portion 1 of erf 694, portion 20 of erf 694, portion 12 of erf 419, portion 13 of erf 419, erf 420, erf 421, erf 443 and the remainder of erf 444, Bloemhof township and the subsequent subdivision of the consolidation.

1.2 BACKGROUND

The registered owner of the erven is currently Messrs. Suidwes Landbou who wishes to sell the proposed portion containing a nut factory to a private buyer.

1.3 RECOMMENDATION

- That the application for the consolidation of the remainder of erf 694, portion 1 of erf 694, portion 20 of erf 694, portion 12 of erf 419, portion 13 of erf 419, erf 420, erf 421, erf 443 and the remainder of erf 444, Bloemhof township and the subsequent subdivision of the consolidation be approved on condition that once the transaction has been completed the necessary notifications must be forwarded to the Municipality.
- 2. That all costs whatsoever with regard to the consolidation will be for the account of the applicant.
- That the Council must be indemnified in writing against any claim whatsoever that may result from the consolidation of the said erven.



Cadestrat: SatsRe: SURVEYS Sectional Utta: Explosering:

GPS: DPMETINGS Dealtiel: Dealtiel: Ngenieurs:

Y



27 Van Rensburg Streef / Van Rensburgstreat 27 P.O. Box / Posbus 527, Wolmaransstad, 2630 Tel: (018) 596 1146 Fax / Foks: (018) 596 1238 Cell / Sel: 092 578 3167 & 092 760 1000 Femoil/-E-posi-info@Jmkland.co.za Websils / Webwerf: www.takland.co.za VAT / BTW no: 4110 175736

Datum/Date : 1 December 2011

Ons verw./Our ref. : e548.brf1

THE MUNICIPAL MANAGER LEKWA-TEEMANE LOCAL MUNICIPALITY P.O. BOX 13 CHRISTIANA 2680 Tel. (053) 441 2206

Aff : C. Fourie

APPLICATION FOR CONSOLIDATION OF THE REMAINDER OF ERF 694, PORTION 1 OF ERF 694, PORTION 20 OF ERF 694, PORTION 12 OF ERF 419, PORTION 13 OF ERF 419, ERF 420, ERF 421, ERF 443 AND THE REMAINDER OF ERF 444, BLOEMHOF TOWNSHIP AND THE SUSEQUENT SUBDIVISION OF THE CONSOLIDATION

We hereby formally apply for the subdivision of the fora-mentioned criven i.t.o. Ordinance 16/1986 as indicated on the included sketch plan. The registered owner of the erven is currently Mms. Suidwes , it and bou who wishes to self the proposed portion containing the aut factory to a private buyer.

No encroachments were found both erven.

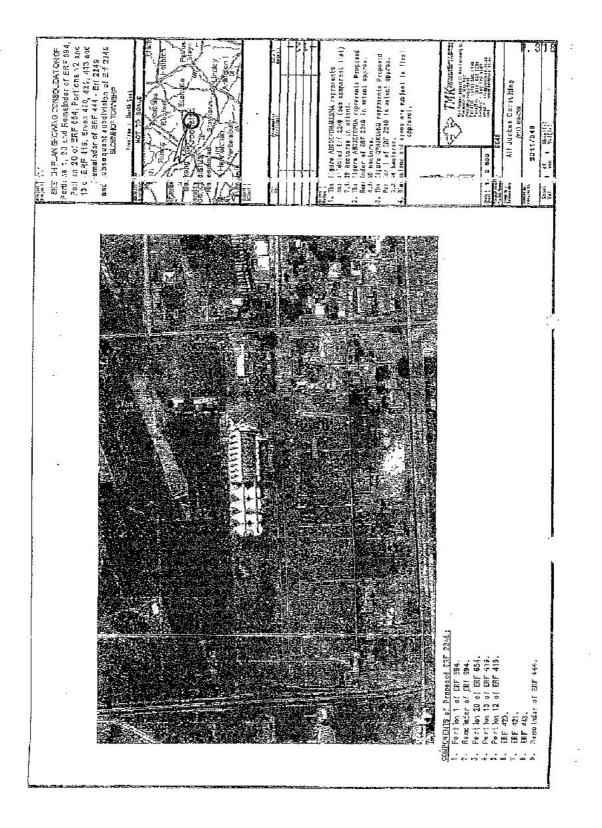
Please find enclosed three copies of the sketch plan and our cheque to the value of R 100.00 for your further attention. Please table the application at your next convenient meeting and supply us after consideration with three stamped copies of the relevant sketch plan.

Please do not hesitate to contact our offices at any time should you require any additional information in this repard.

Yours faithfully R

H. Kederli Professional Land Surveyor PLS 1036

-11-M. Xadelii: EBCLEARD (ML (S.A.) SAGI



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ITEM N.25 ORDINARY COUNCIL MEETING 02.03.2012

1. GUILLAUME DE KLERK ATTORNEYS: PROPOSED SUBDIVISION AND SUBSEQUENT CONSULIDATION OF PORTION 12 AND THE REMAINDER OF PORTION 1 OF THE FARM KLIPFONTEIN NO. 344-HO

1.1 PURPOSE

To request Council to approve the application for the proposed subdivision and subsequent consolidation of portion 12 and the remainder of portion 1 of the farm Klipfontcin no. 344-FIO.

1.2 BACKGROUND

On 31 March 2011 Council resolved that the application for subdivision be reterred to the inspection tour and then to Council. *(Resolution no. 13/2011)*

On 16 September 2011 Council approved the subdivision of the remainder of portion 1 and portion 12 of the farm Klipfontein as follows: (Resolution no. 133/2011)

- That the application of the subdivision be approved on condition that the service duty is not hampered.
- That a servitude must be registered.

Mr. Percival hereby applies for consent for the proposed subdivision and for consent to purchase the property, once approved.

Given the purchase price of R 50,000-00 of the initial transaction and based on the size of the respective properties the pro rata purchase price will be R 23,615-00.

A servitude for the pump station and pipe line will be registered.

1.3 RECOMMENDATION

- 1. That the application for the proposed subdivision and subsequent consolidation of portion 12 and the remainder of portion 1 of the farm Klipfontein no. 344 HO be approved.
- 2. That the servitude for the pump station and pipe line be registered.
- 3. That the other portion be sold to Mr. Percival at the price of R 23,615.00.
- That all costs whatsoever with regard to the proposed subdivision and subsequent consolidation will be for the account of the applicant.
- That the Council must be indemnified in writing against any claim whatsoever that may result from the subdivision of the said erf.

190-1111 · Guillaume De Klerk Attorneys

48 Amsunat Struct, Christiana, 2660 PO Box 458, Christiana, 2620 Telephone: (053) 441 3520 Mobile: 082.828.9919 Facsknile: 086 550 1200 or (043) 441 8520

		Email: Guillaume 1 fikingsley.co.za
	-1	
		24 November 2011
	Lekwa Teemano Local Municipality CHRISTIANA	By: HAND
	2680	LFKWA-TEEMANE
	Our Neference: G DE KLERK/Franciska/ GP0474	2.4 NOV 2011
1	Your Reference: ATTENTION; CONNIE FOURIE	LOCAL MUNICIPALITY
н., с., с., с., с., с., с., с., с., с., с	Sir / Madam	
	PROPOSED SUBDIVISION AND SUBSEQUEN THE REMAINDER OF PORTION 1 OF THE FAR	IT CONSOLIDATION OF PORTION 12 AND M KLIPFONTEIN NO. 344-HO
	We refer to the above matter and confirm that on 14 J Kliptontein was registered in the name of W.B. & M.M plan).	uly 2011 Portion 12(Portion of Portion 1) of the farm . Percivul (marked in orange on the attached sketch
	Subsequent to the aforementioned transfer Mr. Porcive attached sketch plan, which unfortunately could not be	al applied for another portion, marked in blue on the finalized prior to the first registration of Portion 12.
5° 5	Mr. Percival hercby apply for consent for the proposed the consent to purchase the property once approved.	subdivision as per the attached sketch plan and for
:	Given the purchase price of R60,000 00 of the initial to properties the pro rate purchase price will be R23,615-0	ransaction and based on the size of the respective DD.
	A servitude for the pump station and pipe line will be plan.	registered marked in yellow on the attached sketch
	Mr. Percival will take full responsibility for all the cost fees and legal fees.	is involved in the transaction including all Surveyor
	If you need any further information regarding the trans	action you are welcome to contact writer hereof.

Kindly let us have the outcome herein as soon as at hand,

Guillaume de Kierk, B Proc ADL Labour Relations In association with Cecil H Kruger, B Proc (UP)

81 895 Page 1 of 2

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Labour Relations Practitioner, Administrations of Estates, Properties

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Yours faithfuily Guillaums Do Klerk-Attorneys

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Guillaume De Klerk Allomoys Guillaume de Kerk, & Pron ADI Lohour Belations In association with Cerail H Kruger, B Proc (UP)

Labour Relations: Practitioner, Administrators of Estatus, Properties Page 2 of 2 Page 2 of 2

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ITEM N.26 ORDINARY COUNCIL MEETING 02.03.2012

PURCHACE OF MUNICIPAL VEHICLES 1.

1.1. PURPOSE

To request the Committee to consider the purchase of New municipal vehicles to assist in service delivery.

1.2. BACKGROUND

The municipality is currently relying on very old vehicles for transportation of Councillors and employees of the municipality in executing their duties. This has to a greater extent affected service delivery.

1.3. MOTIVATION

There is currently 1 vehicle, the double-cab, which ferries both the Councillors and employees. This has caused some tensions as this vehicle is intended for use by Councillors.

The double-cab has exceeded the 500 000km mark on the odometer. It is not safe anymore to be travelling in this vehicle. The vehicle is also not serviced regularly.

1.4 RECOMMENDATION

2.

3. 4.

5.

6.

That the promise of the provision of a mayoral vehicle from the Dr. R.S. Mompatl District Municipality be followed up.

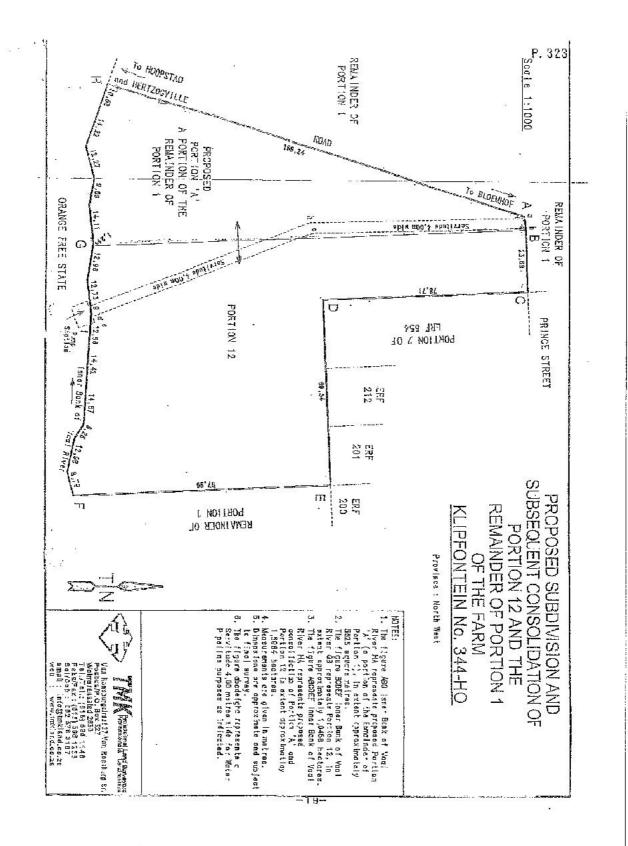
That a full report on financial implications of the purchases of these vehicles be brought to the next portfolio briefing session on 07 February 2012.

- 1. Double-Cab 4x4
- 2. Mayoral Car
- 3. Kombi
- 4. 3- ton Drop side lorrie/bakkic (to mount the Cherry-picker)
- 5. Cherry-Picker

That a list of redundant vehicles be drawn up.

That the tinance department be requested to provide a list of insurance premiums paid on redundant vehicles. That redundant vehicles bo sold on auction.

That the Transport Policy and Vchicle Policy be reviewed.







27 Van Rensburg Street / Van Rensburgstraat 27 P.O. Box / Posbus 527, Wolmaransstad, 2630

OPMETINGS Kadastnal GPS Destitual Inganisus 3D Mobiles Standering Hidrografiese Ondecarande Densis Oceasions Tel: (018) 596 1146 Fax / Faks: 086 5011 025 Cell / Sel: 082 578 3167 & 082 780 1080 E-mail / E-pos: info@tmkland.co.za Website / Webwerf: www.tmkland.co.za VAT / BTW no: 4110175736

Datum/Date : 8 July 2013

Ons verw./Our ref. : worleyparsons cert

MESSRS. WORLEYPARSONS RSA (PTY) LTD PRETMORE BUILDING 4 SIDNEY STREET KIMBERLEY 8301

Dear Sirs,

Attention : Mr. Elmar Deysel

VARIOUS SERVITUDE AREAS ALONG THE PROPOSED NEW WATER PIPE LINE ROUTE FROM BLOEMHOF TO SCHWEIZER-RENEKE.

Your e-mail dated 3 July 2013 has reference.

We have noted the proposed positions of the repeater, tank and pump station sites as per your sketch plans received. After plotting the coordinates on the relevant compilation sheets from the Surveyor-general I can certify as follows :

- The position of the repeater is situate on Portion 2 of the farm ZWARTLAAGTE No. 345-HO in extent 187.3902Ha registered in the name of Frederick Johan Beukes held under title deed T39623/1974;
- The position of the tank site is situate on Portion 12 of the farm VAALPOORT No. 84-HO in extent 433.6512Ha registered in the name of Izak Stepanus Viljoen held under title deed T40717/2002;
- The position of the pump station site is situate on the Remainder of Portion 3 of the farm OLIEVENHOUTFONTEIN No. 114-HO in extent 257.6191Ha registered in the name of Hester Elizabeth Van Dyk held under title deed T64886/1991.

Please note that the information given in the certificate was obtained from a deeds office search using Windeed and we do not make any representations about the accuracy of the data certifified.

Please do not hesitate to contact our offices should you require any additional information in this regard and we may you of our best service at all times.

Yours faith 1

Hans Kaderli Professional Land Surveyor PLS 1035-D

H. Koderli BSc.Land Pr.L(S.A). L.I.S.(S.A.) SAGE



EAP Declaration

the **DEDECT**



Department: Economic Development, Environment, Conservation and Tourism North West Provincial Government Republic of South Africa

Agricentre Building Cnr. Dr. James Moroka & Stadium Road Private Bag X2039, Mmabatho, 2735

DIRECTORATE: ENVIRONMENTAL QUALITY & PROTECTION

Tel: (018) 389 5959/ 5156 Fax: (018) 389 5006 Smukhola@nwpg.gov.za

DETAILS OF EAP AND DECLARATION OF INTEREST

File Reference Number: NEAS Reference Number: Date Received: (For official use only)

Application for authorisation in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended and the Environmental Impact Assessment Regulations, 2010

PROJECT TITLE

Proposed (upgrading c	of the	bulk	water	supply	to	the	Greater	Mamusa	area,	Schweizer-Reinel	œ
North West	t Province											

Environmental Assessment Practitioner (EAP): ⁴	MDA					
Contact person:	Neil Devenish					
Postal address:	P.O. Box 20298, Willows, Bloemfontein					
Postal code:	9320	Cell:				
Telephone:	051 447 1583	Fax:	051 448 9839			
E-mail:	neil@mdagroup.co.za					
Professional affiliation(s) (if any)						
Professional affiliation(s) (if	nenemuagioup.co.za					

Project Consultant:		
Contact person:		
Postal address:		
Postal code:	Cell:	
Telephone: E-mail:	Fax:	
E-mail:		

I, Neil Devenish, declare that -

General declaration:

- I act as the independent environmental practitioner in this application
- I will perform the work relating to the application in an objective manner, even if this results in views and findings that are not favourable to the applicant
- I declare that there are no circumstances that may compromise my objectivity in performing such work;
- I have expertise in conducting environmental impact assessments, including knowledge of the Act, regulations and any guidelines that have relevance to the proposed activity;
- I will comply with the Act, regulations and all other applicable legislation;
- I will take into account, to the extent possible, the matters listed in regulation 8 of the regulations when preparing the application and any report relating to the application;
- I have no, and will not engage in, conflicting interests in the undertaking of the activity;
- I undertake to disclose to the applicant and the competent authority all material information in my possession that reasonably has or may have the potential of influencing - any decision to be taken with respect to the application by the competent authority; and - the objectivity of any report, plan or document to be prepared by myself for submission to the competent authority;
- I will ensure that information containing all relevant facts in respect of the application is distributed or made available to
 interested and affected parties and the public and that participation by interested and affected parties is facilitated in
 such a manner that all interested and affected parties will be provided with a reasonable opportunity to participate and to
 provide comments on documents that are produced to support the application;
- I will ensure that the comments of all interested and affected parties are considered and recorded in reports that are submitted to the competent authority in respect of the application, provided that comments that are made by interested and affected parties in respect of a final report that will be submitted to the competent authority may be attached to the report without further amendment to the report;
- I will keep a register of all interested and affected parties that participated in a public participation process; and
- I will provide the competent authority with access to all information at my disposal regarding the application, whether such information is favourable to the applicant or not
- all the particulars furnished by me in this form are true and correct;
- will perform all other obligations as expected from an environmental assessment practitioner in terms of the Regulations; and
- I realise that a false declaration is an offence in terms of regulation 71 and is punishable in terms of section 24F of the Act.

Disclosure of Vested Interest (delete whichever is not applicable)

I do not have and will not have any vested interest (either business, financial, personal or other) in the proposed activity
proceeding other than remuneration for work performed in terms of the Environmental Impact Assessment Regulations,
2010;

Signature of the environmental assessment practitioner:

MDA

Name of company:

14 October 2013

Date:

Signature of the Commissioner of Oaths:

2013-10.15 Date: Attorno

Designation: Official stamp (below)

KOMMISSARK: VAN EDEKORINISSIONER OF OATH CERNIE STIGFAN BOTHA PROKUREUR TOEGELAAT I.T.V WII 53/1979 ATTORNEY ADMITTED LT.O. Aci 53/1979 R.S.A. 12 BARNESSTR. / ST. 12 BLOEMFONTEIN

NW DEDECT

Page 3



Specialist Declaration

the **DEDECT**



Department: Economic Development, Environment, Conservation and Tourism North West Provincial Government Republic of South Africa

Agricentre Building Cnr. Dr. James Moroka & Stadium Road Private Bag X2039, Mmabatho, 2735

DIRECTORATE: ENVIRONMENTAL QUALITY & PROTECTION

Tel: (018) 389 5959/ 5156 Fax: (018) 389 5006 Smukhola@nwpg.gov.za

DETAILS OF SPECIALIST AND DECLARATION OF INTEREST

File Reference Number: NEAS Reference Number: Date Received: (For official use only)

Application for authorisation in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended and the Environmental Impact Assessment Regulations, 2010

PROJECT TITLE

Proposed upgrading of the bulk water supply to the Greater Mamusa area, Schweizer-Reineke, North West Province

Specialist:	Lidwala Consulting Engineers (SA)(PTY)Ltd				
Contact person:	Nico-Ronaldo Retief				
Postal address:	P.O. Box 32497, Waverley				
Postal code:	0135	Cell:	079 893 9430		
Telephone:	0861 543 9252	Fax:	086 677 2543		
E-mail:	environmental@lidwala.com	-			
Professional affiliation(s) (if	M.Sc. Zoology University of Johannesburg 2007;				
any)	International Association of Impact Assessment South Africa				
	Zoological Society of Southern Africa				
	Professional Natural Scientist (400134/	Professional Natural Scientist (400134/10) Zoological and Environmental Science			

Project Consultant:	MDA					
Contact person:	Neil Devenish					
Postal address:	P.O. Box 20298, Willows	P.O. Box 20298, Willows, Bloemfontein				
Postal code:	9320	Cell:	051 448 9839			
Telephone:	051 447 1583	Fax:				
E-mail:	neil@mdagroup.co.za					

4.2 The specialist appointed in terms of the Regulations_

Nico-Ronaldo Retief

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General dectaration:

Ĩ,

- I act as the independent specialist in this application.
- I will perform the work relating to the application in an objective manner, even if this results in views and findings that are not favourable to the applicant.
- I declare that there are no circumstances that may compromise my objectivity in performing such work;

oeciare that --

- I have expertise in conducting the specialist report relevant to this application, including knowledge of the Act, regulations and any guidelines that have relevance to the proposed activity;
- I will comply with the Act, regulations and all other applicable legislation;
- I have no, and will not engage in, conflicting interests in the undertaking of the activity;
- I undertake to disclose to the applicant and the competent authority all material information in my possession that
 reasonably has or may have the potential of influencing any decision to be taken with respect to the application by the
 competent authority; and the objectivity of any report, plan or document to be prepared by myself for submission to the
 competent authority;
- all the particulars furnished by me in this form are true and correct; and
- I realise that a false declaration is an offence in terms of Regulation 71 and is punishable in terms of Section 24F of the Act.

Signature of the specialist:

Lidwala Consulting Engineers (SA) (Pty) Ltd

Name of company ((f applicable):

15 February 2012 Date:

Signature of the Commissioner of Oaths:

02/0012.

HOD.	GESERTIFISEER WARE AFSKRIF VAN OORSPRONKLIKE	
Designation:		
Official stamp (below)	GETEKENISIGNED FRANK VAN DER KOOY COMMISSIONER OF OATHSMOMMISSAPIB VAN EDE ENVROMENTAL SCUMTIST 1204 PARK STREET HATFIELD 012 - 305 0100 PMETORIA W1/8/2	

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NW DEDECT