

Amafa Demolition Permit Motivation Report



No. 7 Alan Paton Road, Bulwer, Congela

25 April 2023

KwaZulu Natal - Amafa Institute
195 Langalibalele Street
Pietermaritzburg

3201

Dear Sir Madam

**DEMOLITION PERMIT APPLICATION FOR
THE EXISTING WAREHOUSE AND LIGHT INDUSTRY WORKSHOPS BUILDINGS COMPLEXE
AT ERF 8225 DURBAN @ NO. 7 ALAN PATON ROAD, CONGELA**

This Letter serves as motivation for Amafa aKwaZulu Natali's to consider granting approval/permission for the Demolition of the existing Warehousing and Light Industrial Workshops. The existing Property Development is also known as **Sydney Road Complex** The new owner of the property intends to develop a Truck Stop Establishment.

Deep Thought Architecture represented by **Andile Gwala** has been appointed by the owner of the property **Brinktol Investment** Trust represented by **Mr. Zaid Yakoob Paruk** for the following work under their Development Programme as the new owners of the property since early 2023.

The following scope of work was noted at the briefing by the client.

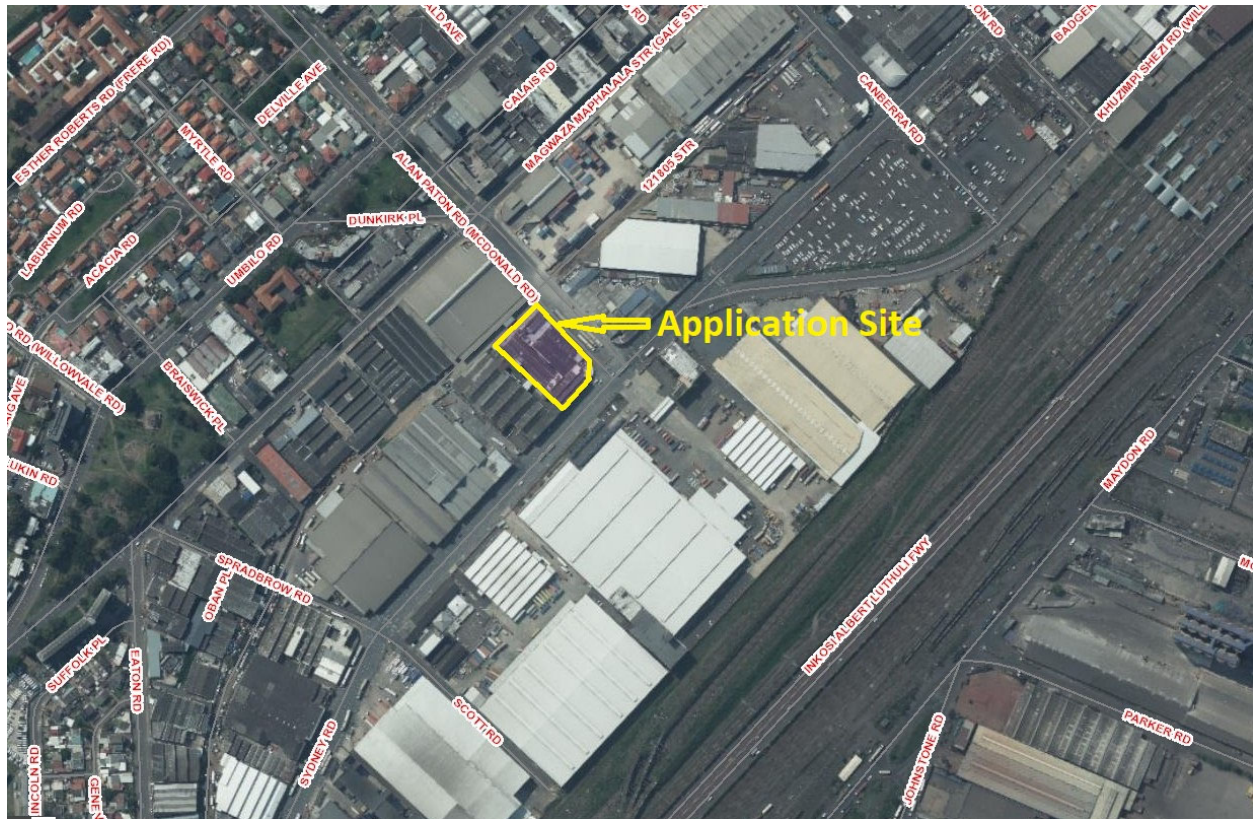
- The Warehousing Complex does no longer serves it purpose and cannot generate income to run itself.
- Amafa Demolition Permit will give the owner the opportunity to build a business that will generate income and creates more jobs.
- Council [eThekwini Municipality] Demolition Permit, the Truck Stop is freely permitted on the existing Industrial Zone.

There are existing buildings on the property.

Original date of construction:

The information retrieved from **eThekwini Municipality Microfilmt** records indicate that the original Building Plans we Approved in **1939**.

Property



The Existing Warehousing and Light Industrial Workshops Complex consist of various building extending. The total site area of the property is 5364sqm. It is located within the eThekweni Municipality, Congela Area. Its main access is on Alan Paton Road and Sydney Road respectively.

Significance:

Historical Report:

We would like to kindly inform Amafa Institute that from our Research and in all effort on the Existing Warehouse Complex building not much information and/or all original building plan were obtained from relevant stakeholders/Municipal Offices who would have been the only source to this information.

Based on the information retrieved from **eThekweni Municipality Microfilmt Department** which is the mainly only reliable source of original approved drawings. It is Evident that even though the bigger portion of the Existing Warehousing Complex was built in 1939, The was already a small building at the Corner of Alan Paton Road and Sydney Road. The original

building was the bank establishment with ancillary offices. Therefore, the original that of those building is assumed to be in the early 1930's.

In 1939 The Warehousing and Light Industry Workshops were first constructed, but this time the development maximized at extent on site. However, the Original Bank portion still remained. The Complex consisted of three separately operated Warehousing with Showrooms and Ancillary Operational Offices. Workers Changes Rooms and Canteen Facilities we Located on the Upper Floor of the development. These warehouses were for manufacturing purposes even though it is not clear which line of production they were on. The Bank was later in the late 1980's converted to the Doctors Consultation Rooms.

The Warehousing Complex has operated since then. It has not seen major Alterations to then till present. It has undergone some minor internal alteration, however the external original state of the warehouse has not been altered.

Architectural Report:

The Construction date of the Bank/Offices which were the first buildings is on site is unknow. It can only be assumed that it was constructed in early 1930's

The Existing Warehouse and Light Industrial Workshop Complex building plans were approved in 1939 and its construction is assumed to have been completed in the early 1940's.

Since the Original Complex construction date, it can be concluded that its significance is of low important. The buildings were constructed of normal clay bricks and facebrick used as a low wall along the perimeter of the building and as feature walls elsewhere. Since most of the buildings is on the verge of the boundary. The elevations, which are a mixture of plaster walls and facebrick are also characterized by high level windows and high roller shutter doors.

The original roof which is also still the current roof comprises painted "Big Six" asbestos roof sheets supported on timber purlins and timber trusses.

Urban Setting and Adjoining Properties:

The area and properties surrounding the application site is strictly zoned by eThekweni Municipality as the General Industry Zone and therefore it highly characterized by Manufacturing and Storage Warehouses, Storage Yards, Workshops and Panel Beaters.

We have outlined the motivation and need for this application:

The following points of interest may be used as justification for the need and desirability of demolition of all existing structures and intended development:

The owner intends to develop a Truck Stop that will benefit the greater extent of Congela Factories. A development that will generate to the local municipality economy and create job opportunities.

It will also assist in future development by providing for the anticipated growth of the metropolitan areas by assisting in one of the roles of the Strategic Development Framework which is to provide well located and well serviced areas.

The site is well located and within close proximity to various industrial activities, approximately 5km from all ports of Durban Harbor.

It is important to have uses complementing the mobility road such as the proposed one, as this area has the larger quantity of traffic flowing through which can be an advantage for economic generation.

Proposed Development:

If the permission to demolish is successful. The aim is to develop a Truck Stop establishment. This Will provide sufficient parking for trucks while waiting to load or off load around the area. The establishment will have the necessary ancillary building for it operation.

- Operational Offices
- Restroom's and Changeroom
- Food outlets, etc.

No detailed drawings are available; however, we have drafted a Site Development Plan and 3D impressions that will create a picture of the development.

Conclusion:

The new development will clearly bring modern building to the vicinity, yet it aims to respect the existing factory vernacular and architectural expression. The replacement of the existing Warehouses with New truck Stop is an essential part of the client's upgrade programme. Its objective is to assist the Local Authority in dealing with the congestion of trucks at the same time contributing to the local authority and creating job opportunities.

It is the applicant's plea that the proposed application be approved by the KwaZulu Natal Amafa Research Institute. The report has provided a background, a statement of the current situation, and motivation which support the approval of the application.

The proposal would not generate any negative impacts on the surrounding land uses and would not negatively impact on the environment engineering services.

The applicant therefore requests that the favorable consideration be given to the request for the demolition of the Existing Warehousing and Workshop Complex.

In view of the above we request your approval of the additions and alterations of the existing structures.

HEREWITH PICTURES BELOW FOR THE APPLICATION SITE AND ADJACENT PROPERTIES.



Exterior Photograph No 1 – Corner of Alan Paton & Sydney Road



Exterior Photograph No 2 – Corner of Alan Paton & Sydney Road



Exterior Photograph No 3 – Sydney Road frontage



Exterior Photograph No 4 – Alan Paton Road frontage



Exterior Photograph No 5 – Alan Paton Road frontage



Exterior Photograph No 6 – Alan Paton Road – Rear Elevation



Exterior Photograph No 7 – Alan Paton Road



Exterior Photograph No 4 – Alan Paton Road – Rear Elevation



Existing Adjacent Property



Existing Adjacent Property



Existing Adjacent Property



Existing Adjacent Property



Existing Adjacent Property

I hope you find all the above in order and to our favor.

Yours Faithful

Andile Gwala for and on behalf of Deep **Thought Architecture**