

Project Name: TPT, Establish a Canteen for the Durban Ro-Ro Terminal

Project No.: 2224489

Design Area Title: Motivation for alterations and additions at the existing Mess and Ablution facility,

111 Mahatma Gandhi Road, Durban

Cadastral description: Lot 10031, Durban

Zoned as "Harbour Zone"

No: 01.00

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1 INTRODUCTION

Transnet Port Terminals (TPT) has decided to provide a canteen in the Point Ro-Ro Terminal to cater for the nutritional needs of the staff at the terminal. The site identified is an existing mess and ablution facility. The proposal is to replace the existing timber mezzanine level with a concrete slab to provide a floor for a canteen and kitchen.

The landlord is Transnet National Port Authority (TNPA) and the operator of the terminal is TPT.

The site is located at 111 Mahatma Gandhi Road and is adjacent the old Railway station that is protected by the heritage legislation.

2 PURPOSE OF THE DOCUMENT

This document provides the motivation to assess the proposed development for a functional canteen and dining area facility for the staff at the TPT Durban Ro-Ro Terminal.

The building work and structure shall comply with the following relevant South African Acts and Regulations and shall apply in the order of precedence as listed below:

- Occupational Health and Safety Act 85 of 1993
- The S.A. National Building Regulations and Building Standards Act. (Act 103 of 1977)
- South African National Standards and Codes of Practice
- All local, provincial or S.A. Government laws in force at the time.

3 OVERVIEW SCOPE

The scope of the project is to provide a new canteen, kitchen, eating areas, and upgrade the existing male mess and ablutions, situated within an existing mess and ablution facility at 111 Mahatma Gandhi Road, Durban.

There are two buildings that are impacted. Both are existing mess and ablution facilities for TPT port workers/staff.

- The first building has a mezzanine floor level which is the proposed location for the canteen, kitchen and eating area.
- The second building is an adjoining single storey building that shall be upgraded internally to improve the ventilation and people flow.

Minimal alterations to the façade are proposed. The additions externally include a lift, lightweight steel staircases for access and a light-weight steel balcony.

4 CANTEEN REQUIREMENTS

4.1 Industrial Kitchen

An industrial kitchen shall be provided which is suitable for a caterer to prepare meals for **500 people per day**. This shall be fitted out with the stainless steel industrial sinks, stainless steel preparation areas, flat top griller, double pan fryer, combination oven, tilting pan, heated chip dump, platform scale 300kg, stainless steel extraction canopy (+/- 4400mm x 2200mm), sandwich toasters, industrial dish washers and pastry area

Space shall be provided for storage of cutlery and crockery, dry store and walk-in cold room and freezer. Stainless steel fixtures shall be provided for the kitchen. Adequate ventilation shall be provided for the kitchen area. Ablution facilities are required for kitchen staff. This may be shared with existing staff in the area.

4.2 Servery Area

The servery area shall be adjacent the dining area and kitchen. It shall have space for three and five division Bain-marie, heated display, refrigerated display and counter space. Space shall be provided for fridges.

4.3 Dining Area

The dining area shall accommodate between 50 to 100 people at tables. The refurbishment shall include new floor finishes, wall finishes, HVAC, electrical, lighting and power. New robust tables and chairs shall be provided.

Toilets are existing in the building and shall accommodate for both males and females separately.

4.4 Refuse Area and delivery area

Sufficient allowance shall be made for an external refuse area. A delivery area shall be provided for delivery of supplies and other items. A drop-off and pick-up area shall be provided for terminal shuttle buses.

4.5 Passenger lift, ramps, staircase and balcony

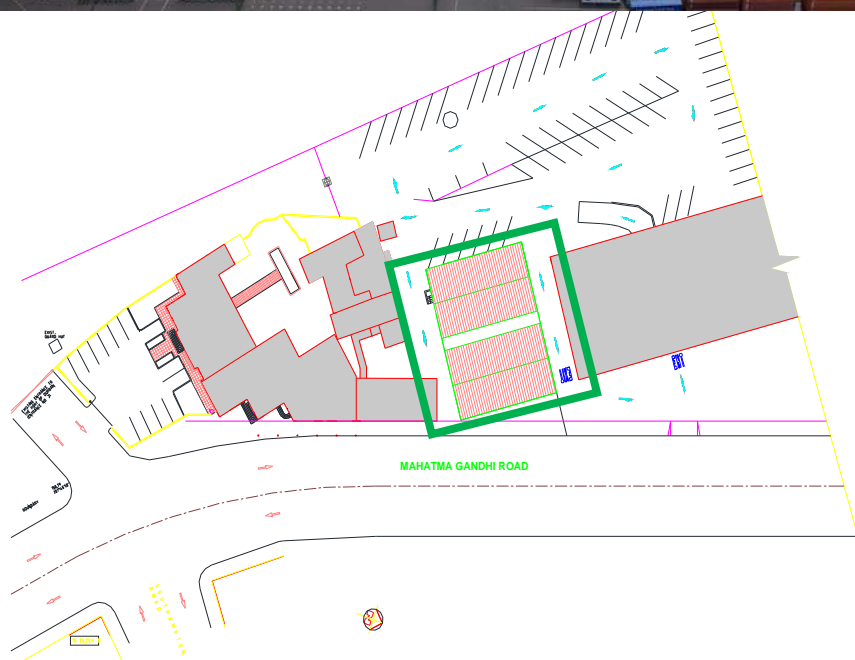
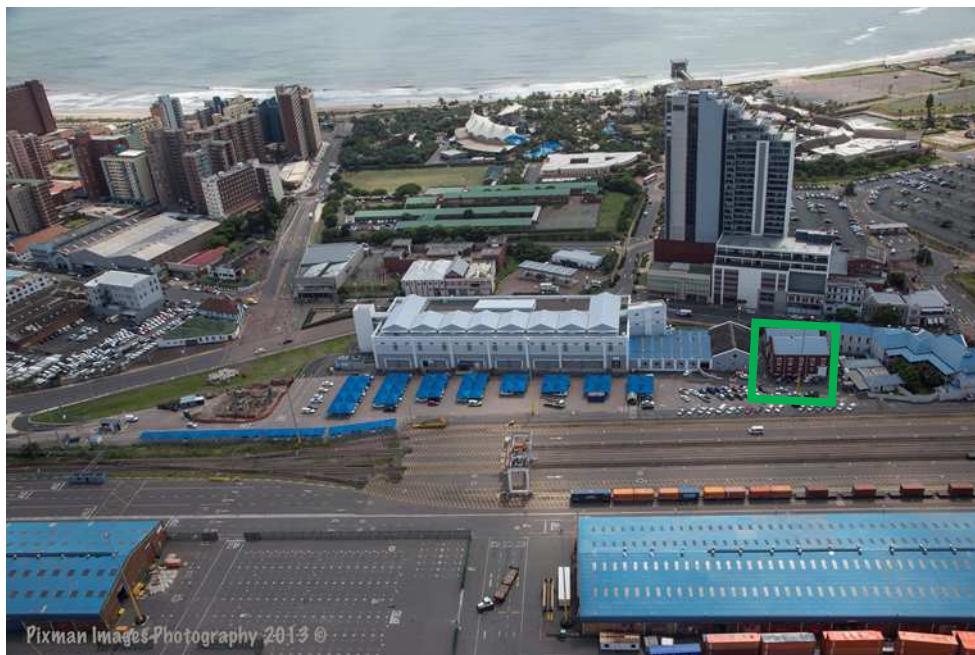
A new passenger lift and ramps shall be provided for paraplegic accessibility. Two new steel staircases are proposed for access to the first floor and for emergency escape.

A small balcony is provided from the first floor.

5 DESIGN RESPONSE

5.1 The Site

The site is located within the port of Durban. No access is permitted to the general public. The buildings are on a constrained site with existing buildings, parking and roadways on all sides.



5.2 Current Use

The existing buildings are currently being used by TPT as mess and ablution facilities on the ground and first floor.

The footprints of the existing buildings are approximately:

- 20m x 13m (260m²) for the main building for canteen and,
- 20m x 11m (220m²) for the adjoining building mess and ablution building

5.3 Town Planning and other regulations

The site is zoned as "Harbour Zone". The height restriction is 25m. This is a restriction imposed by TNPA.

In terms of the zoning, any port related operation or facility is permitted. Other uses are by special consent and approval by the municipality. Restaurants and shops for public use are by special consent only.

In terms of the permitted zoning, no relaxation is required as the canteen facility and ablutions are for the sole use of the TPT staff. No public shall have access to the facility

No traffic impacts are foreseen. The increased traffic onto the site is limited to delivery vehicles and TPT terminal shuttle buses only.

5.4 Heritage and legislation

The proposed buildings are older than 60 years old. There is no record of the exact age of the building.

It is noted that in April 2001, alterations and additions to this building was approved by the EThekweni Municipality for the mess and ablutions.

The buildings are among a group of old buildings that may have been old railway buildings (railway station, sheds). The use of these buildings has changed over the past few years.

They are on Transnet land and used for Transnet freight operations. They are currently used by Transnet Port Terminals for administration functions, mess and ablution facilities for the port workers.

Application for the development shall be made to AMAFA for permit approvals and then submitted to the EThekweni Municipality.



5.5 The buildings

Refer to Annexure 1: Building Condition Assessment.

These shed-buildings are simple in form and structure. The intent of the design is to limit the alteration of the exterior. A lift and staircases will be added as lightweight structures to compliment and not detract from the original brick structure.

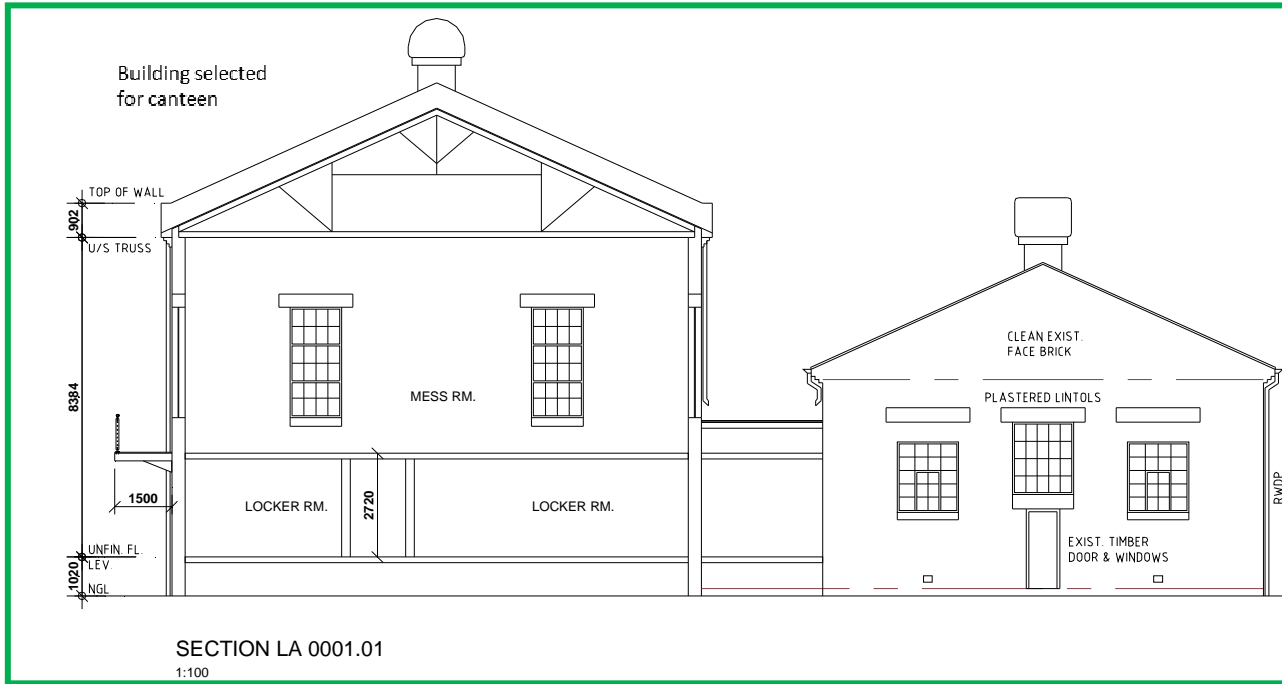
Internal alterations are necessary to achieve the user requirements.

The buildings are existing face-brick mess and ablution facilities, with painted timber sash-windows.

They have pitched roofs with sheeting.

The existing ground floors of both building have male ablutions, locker rooms and mess room area.

The first floor level is currently a timber mezzanine with some lockers. This floor will need to be demolished and a new concrete floor constructed.



5.5.1 Proposal

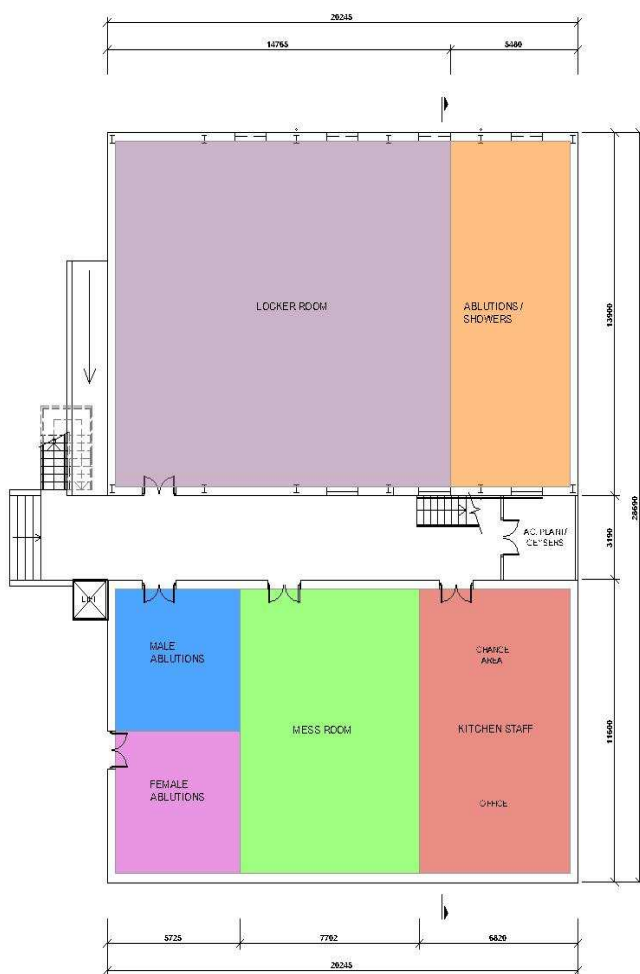
The design proposes a new canteen and kitchen on the first floor.

There are alterations to the ground floor that rationalises the ground floor locker and ablution layout in the both buildings.

There are minimal internal alterations to the ground floor layouts.

The new external additions are:

- New lift for deliveries and paraplegic access
- Two new steel staircases
- A steel Balcony



GROUND FLOOR PLAN
1:700



MEZZANINE FLOOR PLAN
1:700



6 SERVICES, FINISHES AND SPECIFICATIONS

The finishes, colours and décor of the dining room and kitchen shall comply with the TPT Corporate identity. This shall be reviewed and approved by the TPT.

	EXTERIOR	
1	Electrical	Site reticulation, Connection from existing mini-substation
2	Civil Services	The site is in a developed area. There is existing water, storm water and sewer. Allowance has been made for relocation of services and connection for the new. Disruptions during the construction phase to be managed by client and project team. New parking shall be provided for service vehicles and a drop-off area for the shuttle-bus. This shall reduce the existing parking. Safe paved area to be created outside the building
3	Floors	Slate tiles/ polished concrete
4	Balcony	Steel balcony
5	External face brick walls	Existing to be cleaned
6	Window frames, curtain-walling and shop fronts	To match existing / complement existing
7	Glazing	Any new glazing shall match the existing
8	Roofing	Aluminium roof sheeting to suit existing building.
	INTERIOR	
1	New first floor slab and stairways	New concrete first floor slab to be constructed New steel stairways
2	Floors: Canteen, Dining Area, Mess, Kitchens and Toilets	Full-bodied porcelain tiles
3	Walls	Dining Area, Offices: Prepare and paint /or match existing Kitchens, ablutions and toilets: glazed ceramic wall tiles to



		2,1m
4	Ceilings	
5	Fittings	Locker rooms shall have fixed locker benches
6	Industrial Kitchen fittings	Heavy-duty stainless steel sinks, stainless steel counters, hydroboils, fry-top griddles.
7	Sanitary fittings	Robust WC's, WHB, urinals, vandal-proof shower roses, mirrors above whb,
8	Loose items	Tables and chairs as per client
9	Mechanical	New lift for goods and paraplegic access, Heat pumps Improved heating, ventilation, air-conditioning and cooling (HVAC) is provided in kitchen, mess and shower areas Fire detection system Fire-fighting equipment and signage
10	Electrical	New distribution board, New energy efficient lighting; Occupation sensors in the rooms, Power points in the kitchen
11	Signage	Safety signage Transnet Corporate Identity Signage Signage to be limited to pole signs outside the building

ANNEXURE 1: BUILDING CONDITION ASSESSMENT

PROJECT		Proposed Canteen at 111 Point Road						
PROJECT NO.		2224489						
BUILDING CONDITION REPORT				<table border="1"> <tr> <td>date</td> <td>Apr-13</td> </tr> <tr> <td>prepared by</td> <td>ID, LP, PN</td> </tr> </table>	date	Apr-13	prepared by	ID, LP, PN
date	Apr-13							
prepared by	ID, LP, PN							
GENERAL	CONDITION				COMMENT			
		good	fair	poor				
	general comments		x					
A	SITE							
	Fencing	x			Steel palisade fencing around site with access control			
	Parking			x	approx. 50 open parking bays, 20 covered parking bays in adjacent building and 2 paraplegic parking bays			
	Grassed areas			x	no grassed areas			
	Landscaping			x	no landscaping			
	Boundary (identified)				As per site plan			
	<i>Sketch site</i>							
			x		External area relies on high mast/area lighting			
	External Structures	x						
	Paraplegic access			x	No paraplegic access to mezz floor mess area. Lift will be required to access the mezzanine level			
B	SERVICES	good	fair	poor				
1	Fire control, signage	x			Fire extinguishers and hose reels			
2	Storm water control	x			storm water connects directly to storm water sumps			
3	Gutters and RWDP	x			aluminium rwdp and gutters in good condition			
	Mechanical equipment			x	The ventilation equipment for the locker rooms is extractor fans and normal ceiling fans. In the bathrooms and toilets there is a small wall extractor fan only. In the Mezzanine level there are four (4) sweep fans. In the kitchen area there two sweep fans. All the equipment used is not in a good condition.			
	Electrical		x		There is an existing Mini Sub Station adjacent to Ladies M&A building. The mini-sub supplies different buildings around, including the proposed Canteen Facility. Therefore underground electrical cables to these different buildings and facilities around will need to verified/detected as part of the as built information. There is enough spare capacity in the LV compartment.			
	Sewer							
	Water							
	Fire water							
	Parking/ landscape			x				

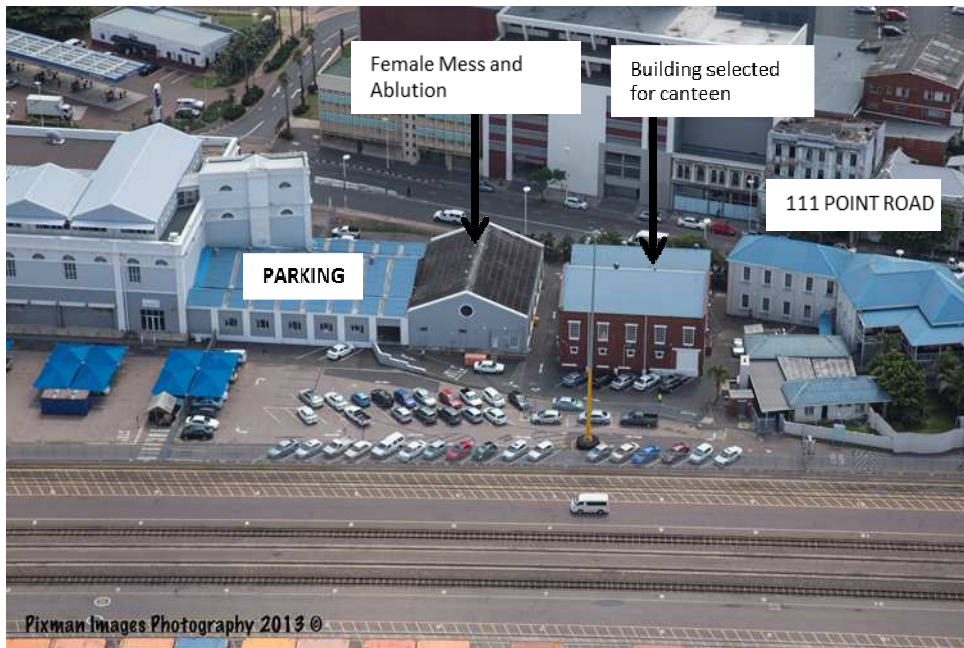


	Number of buildings				One, attached to adjacent building with covered area
	Building types				mess and ablution facility
	Material used				masonry brick with aluminium roof and timber framed windows and doors

C	AREA -drawing ref.						
					MATERIAL	FINISH	COMMENT
	GROUND FLOOR	280 sqm					
	FIRST FLOOR	160sqm					
		440sqm					
		good	fair	poor			
1	Floors		x		concrete	porcelain tiles	
2	Skirting				porcelain tiles		
3	Walls	x			brick wk plastered	ceramic tiles/painted	
4	Partitions		x		drywall	painted	
5	Doors		x		timber	painted	
	door frames		x		timber	painted	
	ironmongery				aluminium		
	lintels						
	door glazing						
	fanlights				n/a		
6	window		x		glass	clear	
	window frames		x		timber	painted	
	glazing (safety)				In sliding doors		
7	Ceilings		x		rhino board	painted	
	cornice			x	coved cornice	painted	
	exposed trusses	x			steel	painted	
8	Fixed furniture	x			Melamine bic.	white	
	pin boards						
9	Loose Furniture	x			lockers	powder coated	
					Canteen tables		
					Stoves and fridges		
10	Electrical						
	lighting		x		Pendants	Suspended	



	DB			X	Steel	Flush Mounted	Existing DB does not have any spare capacity. (Fully utilised)
	Plug points		X			Surface Mounted	
11	Air-conditioning				No HVAC		No Air-conditioning
12	Lifts						
	Interior				n/a		
	Lighting				n/a		
general comments							
The existing building is a mess and ablution on the ground floor							
The first floor/ mezzanine appears to be a timber /or steel structure. A steel staircase in the locker room is used for access to the first floor							
The building is older than 60 years old. Amafa will need to approve any development for the building.							
The municipality shall be consulted with regard to any site or town planning constraints or regulations.							
The building is surrounded on three sides by road ways and parking							
Access to the site is limited to TPT vehicles only							
Structural the current Mezzanine floor is not suitable for the proposed use. Our suggestion is the entire mezzanine floor be demolished and reconstruction. The new floor will consist of a reinforced concrete slab supported on reinforced concrete beams and columns.							



The building context



External Façade







Male Ablution

