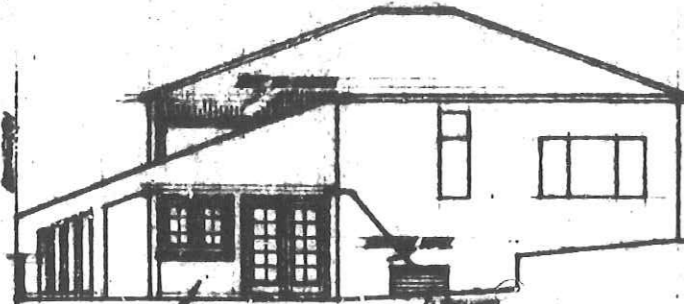


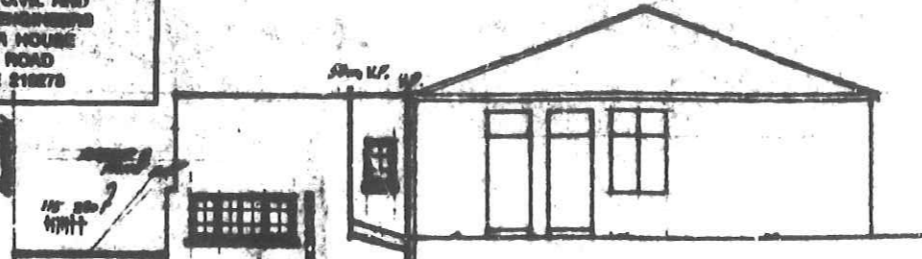
J.R. de la Rive 15/10/81
GILFELD, ROBERTS & ASSOCIATES
 CONSULTING CIVIL AND
 STRUCTURAL ENGINEERS
 102 CHARTER HOUSE
 13 BRAND ROAD
 TELEPHONE 218278

SHEET **111** COPY **3**
CITY OF DURBAN
 PLAN No. **511/6/81**
 APPROVED
 DATE **12 NOV 1981**
 B. G. MACLEOD
 CITY ENGINEER

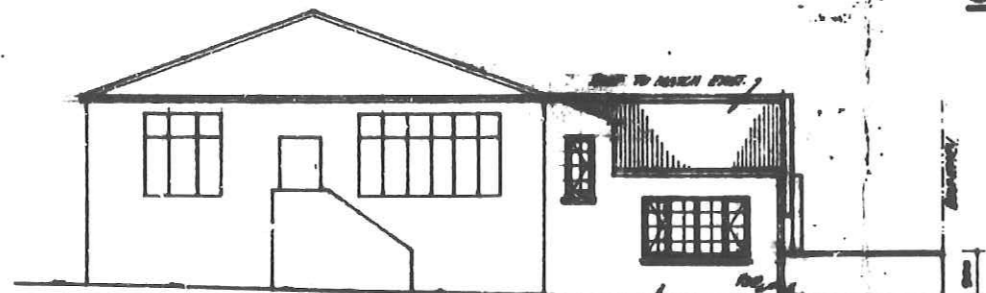


south elevation

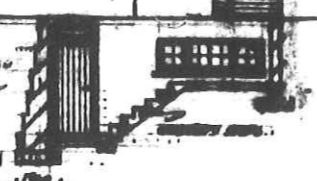
- ① BASELINE LEVELS OF FINISH TO BE INDICATED IN FOUNDATION DRAWING.
- ② FOUNDATION TO BE CONSTRUCTED WITH SLIP RESISTANT SURFACES & SLOPPED STEEP SLOPES.
- ③ NO. 4 REINFORCING TO BE PROVIDED AT 1200% OF STAIR ABUTMENT.



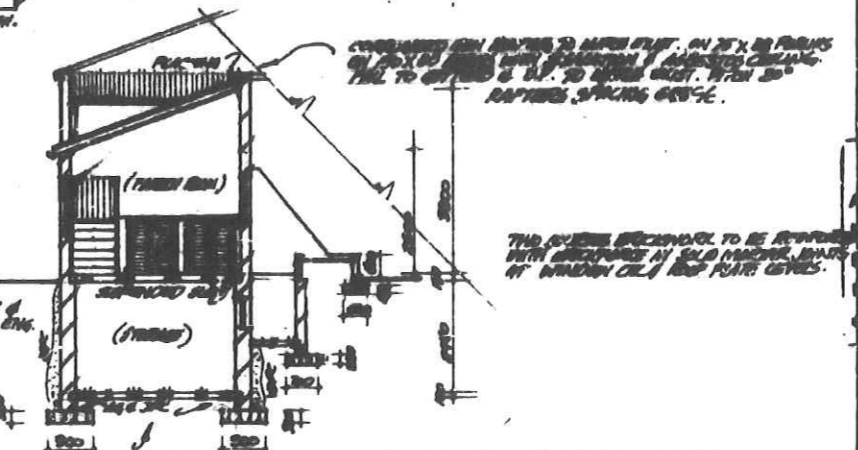
east elevation



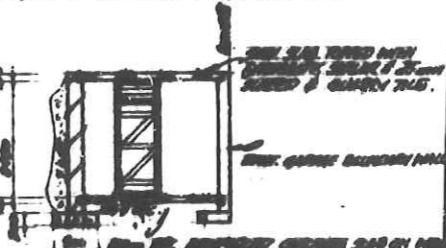
west elevation



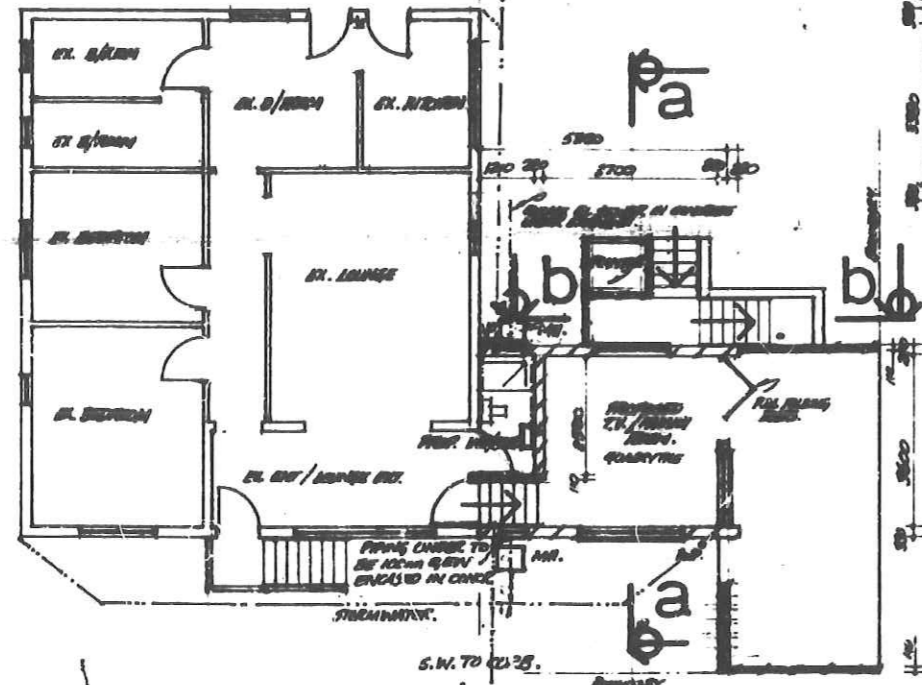
section b-b



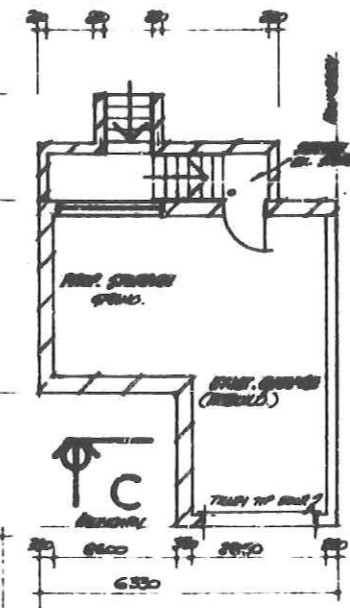
section a-a



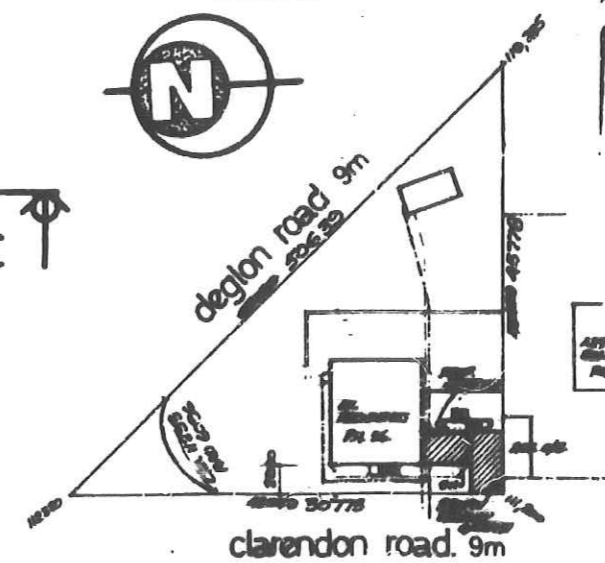
section c-c



plan



basement plan



site plan

ADDITIONAL FLOOR AREA: 33,45m²

1500
 REM OF 1 OF P OF DIJKERFONTEIN 785
 rate nr 828650

ENGINEERS DETAILS OF DETAILING WORK REQUIRED

E/C DETAILS REQUIRED

IMPORTANT
 APPLICATION FOR REFUND OF PORTION OF BUILDING FEES ON ABANDONED PLANS MUST BE RECEIVED BY THE CITY ENGINEER'S DEPARTMENT BEFORE FOURTEEN (14) DAYS PRIOR TO THE EXPIRY DATE OF APPROVAL OF THIS PLAN.

FOUNDATION LEVEL REQUIREMENTS
 Levels of foundations of any fringe works to be at least 0,20m below the levels given below. Where no level is recorded, foundations must be higher than the nearest edge of the adjacent hard road. Vehicular and pedestrian entrances on the road reserve boundary shall be constructed on the same grade as the curb or road and shall either (A) conform to back of existing footpath/ verge OR (B) be at a level:
 (i) above/below nearest existing curb, OR
 (ii) above/below the nearest edge of the hardened/unmade road.

prop. adds & alts for
 mr. A. SEDDON at
 56 clarendon road,
 durban north.

drwg no: 0140/6/81WD

dhw david h wood
 drawing office and
 design studio
 po box 527 hillcrest 3640 ph 77 3350

scales 1:100 1:500
 drawn: dhw
 signed:
 checked:
 date: 9/6/81

Postal No. 56 CLARENCE ROAD

Occupier's Name

STIEGER, H. W.

Owner's Name

Thos. E. & E. H.

5900

251604

Jan 7 1946

DESCRIPTION OF BUILDINGS

Material, etc.

Single or Double Storey

Number of Rooms

Dwelling house or other Buildings

Description of Outbuildings

Condition of Building

A.

Other Details of Importance

I CERTIFY that I have personally visited and examined the above Buildings, and that the above Value is in my opinion correct.

JAN 1933

VALUE OF BUILDING £5000.

1946 R.P. 2750

PLAN NO. COST

A.C. Const. Sect. N.C.

Value

T. Cusson & W. H. Hitley

14.

Part	Part	Part	Part
Brick	Brick	Brick	Brick
37	37	37	37
32	32	32	32
30	30	30	30
770	770	770	770
77	77	77	77
698	698	698	698
118	118	118	118
770	770	770	770
116	116	116	116
654	654	654	654

MAIN BUILDING 27x22x20 = 23680 sq. ft. £1381

BRICK GARAGE

BR. OUTBUILDINGS

Less 20%

Less 25%

Diff. 20%

£750

£1381

£1381

£1381

£1381

£1381

£1381

£1381

Survey V. May 1945

£1381