

GENERAL NOTES

- ALL DIMENSIONS AND LEVELS TO BE DETERMINED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
- ALL WORK TO COMPLY WITH SANS 10400 REGULATIONS
- ALL CONSTRUCTION BY REGISTERED PERSONS
- ANY DEVIATION FROM ORIGINAL APPROVED PLAN WILL DEEM NOT TO COMPLY FURTHER NOTIFYING THE ARCHITECT/AUTHOR OF PLANS AND OWNER IS RESPONSIBLE
- DRAWING TO BE READ AND NOT SCALED
- DRAWING TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWING
- ALL STRUCTURAL WORK (foundations, fill, slabs, walls, cills, lintels, beams, roofs, stairs, awnings) TO ENGINEERS DESIGN AND CERTIFICATION
- ALL GLAZING TO BE ALUMINIUM AND IN ACCORDANCE WITH SANS 10400 PART 11
- PLASTERBAND TO ALL WINDOWS
- TENANTS ARE RESPONSIBLE FOR DISPOSING THEIR OWN TRASH INTO THE BINS PROVIDED IN THE BIN AREA
- PLUMBING NOTES**
- ANY DAMAGED FITTING TO BE REPLACED
- ALL GULLEY SURROUNDS TO BE 150mm
- SEWER TO BE EXPOSED BEFORE COMMENCING WORK
- MANHOLE COVERS TO BE 75mm ABOVE GROUND LEVEL
- I.E.s TO ALL BENDS AND JUNCTIONS
- SOIL PIPES TO BE 100mm DIA. PVC
- WASTE PIPES TO BE 50mm DIA. PVC
- SEWER UNDER SLAB TO BE RIBBED PVC
- ALL PLUMBING BY REGISTERED RESPONSIBLE PERSONS
- ALL PIPES, FITTINGS, GEYSERS TO BE SABS APPROVED
- SOL INDUCTION GEYSER TO EACH BATHROOM
- X.A. NOTES**
- ALL INTERNAL COPPER TO BE STROKE 2
- ALL EXTERNAL COPPER TO BE STROKE 0
- ALL COPPER ON GEYSER FROM PRESSURE CONTROL VALVE TO BE 25mm
- VALVE BRACKET TO BE MIN 350mm ABOVE GEYSER
- 100mm WOOLEN CLOTH TO BE LAID OVER BATTENING OF ROOF WITH A MIN 100mm OVERLAP

FIRE NOTES

- OCCUPANCY - H 3
- SAFETY DISTANCE - T 4.2
- STABILITY OF STRUCTURAL ELEMENTS - T 4.7
- TENANCY SEPARATING ELEMENTS - T 4.8
- ESCAPE ROUTES - T 4.7
- EXIT DOORS - T 4.16
- MARKING AND SIGNPOSTING - T 4.29
- EMERGENCY LIGHTING - T 4.30
- FIRE DETECTION AND ALARM SYSTEM - T 4.31
- WATER RETICULATION FOR FIRE FIGHTING - T 4.33
- HOSE REELS - T 4.34
- EXTINGUISHERS - T 4.37
- SMOKE CONTROL - T 4.42

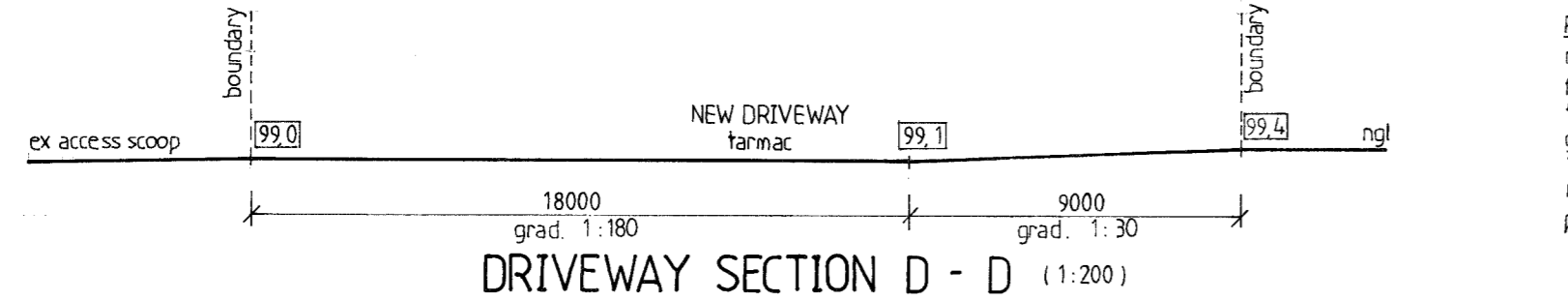
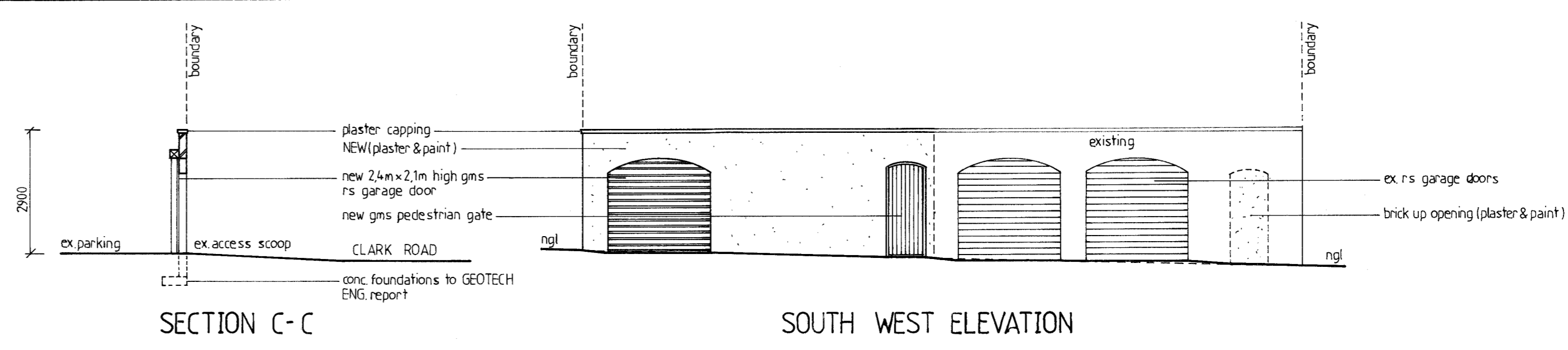
SCHEDULE: WINDOWS and DOORS

item	no.	size (mm)	thickness	glass	frame
w1	36	1200x1500	5mm tsg	clear	aluminium
w2	4	1800x1500	5mm tsg	"	"
w3	1	1200x1000	6,3mm tsg	obscure	"
d1(g)	5	900x2100	40mm hw	clear	timber
(ff1)		900x400	6,3mm tsg	clear	"
d2	41	900x2100	40mm hw	"	"
d3	40	900x2100	40mm hollow core	"	"
d4	1	900x2100	40mm hw louvred	"	"

all shower cubicles to be 40mm tsg

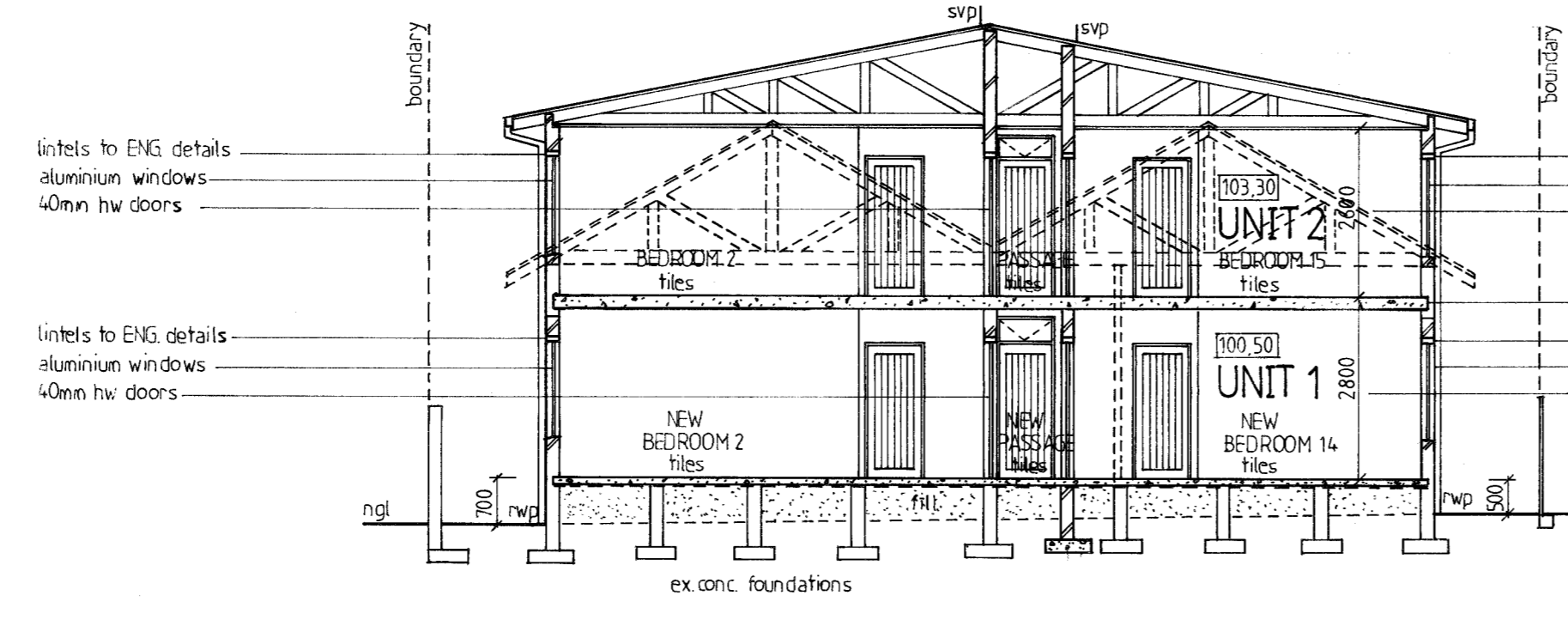
SCHEDULE: AREAS

site area	879,00	sqm
coverage allowed (40%)	351,60	sqm
existing coverage	404,60	sqm
NO ADDITIONAL COVERAGE		
f.a.r. allowed (1.0)	879,00	sqm
ex f.a.r.	380,67	sqm
PROPOSED f.a.r.	496,33	sqm
TOTAL F.A.R.	877,00	sqm
ADDITIONAL AREA	518,79	sqm
ex ground storey	404,60	sqm
NEW FIRST STOREY	404,60	sqm
NEW SECOND STOREY	114,19	sqm
TOTAL	923,39	sqm
TOTAL NUMBER OF UNITS	3	
PARKING REQUIRED	6	BAYS
PARKING PROVIDED	12	BAYS

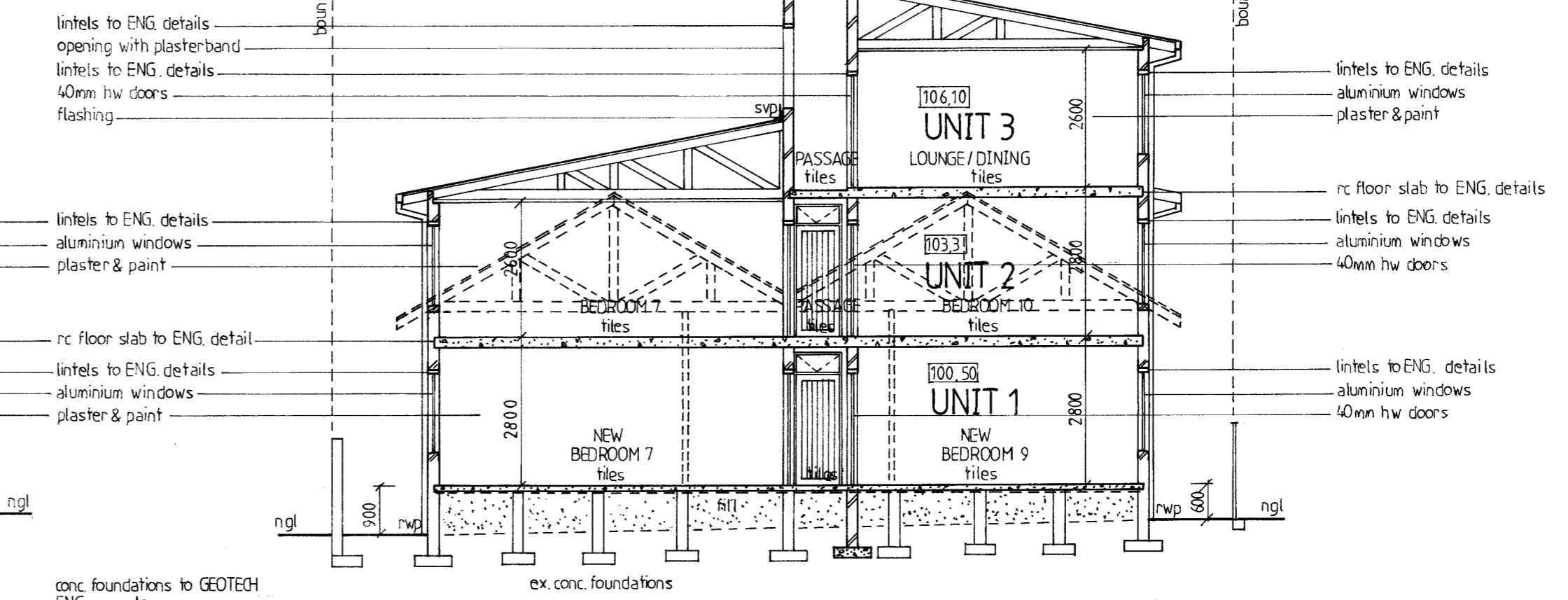


ROOF NOTES
 roof pitch : 11
 factory painted 's-profile' gms roof sheeting on 50x76mm timber purlins at 1200mm c.c. on SABS approved underlay on ganged/aligned timber trusses or equal at 1200mm c.c. on 11x38mm timber wallplate to ENG. design and certification
 rhinoboard ceiling on 38x38mm timber bracing at 300mm c.c.
 pvc gutters, fascia, bargeboards, rwdps

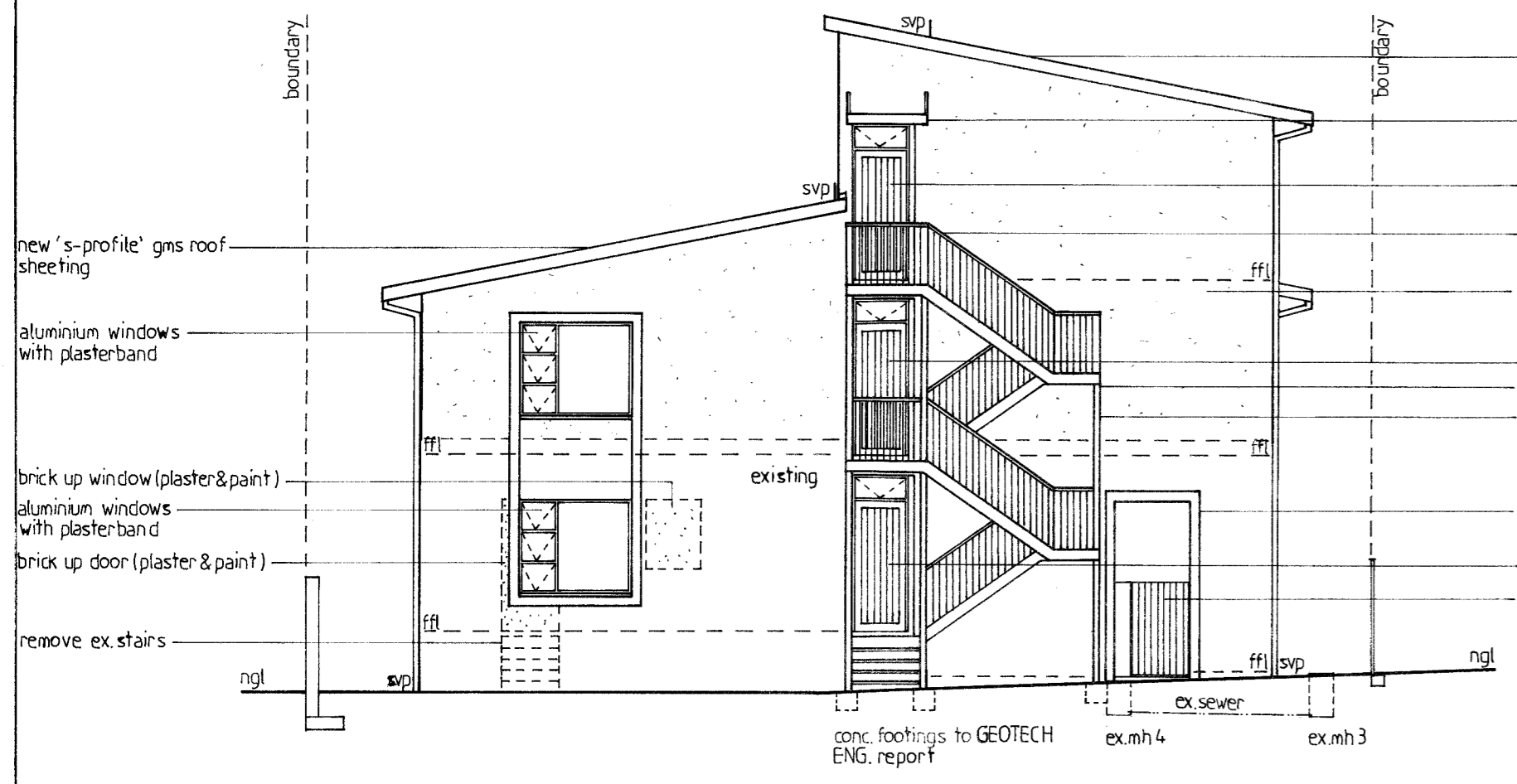
DRIVEWAY SECTION D - D (1:200)



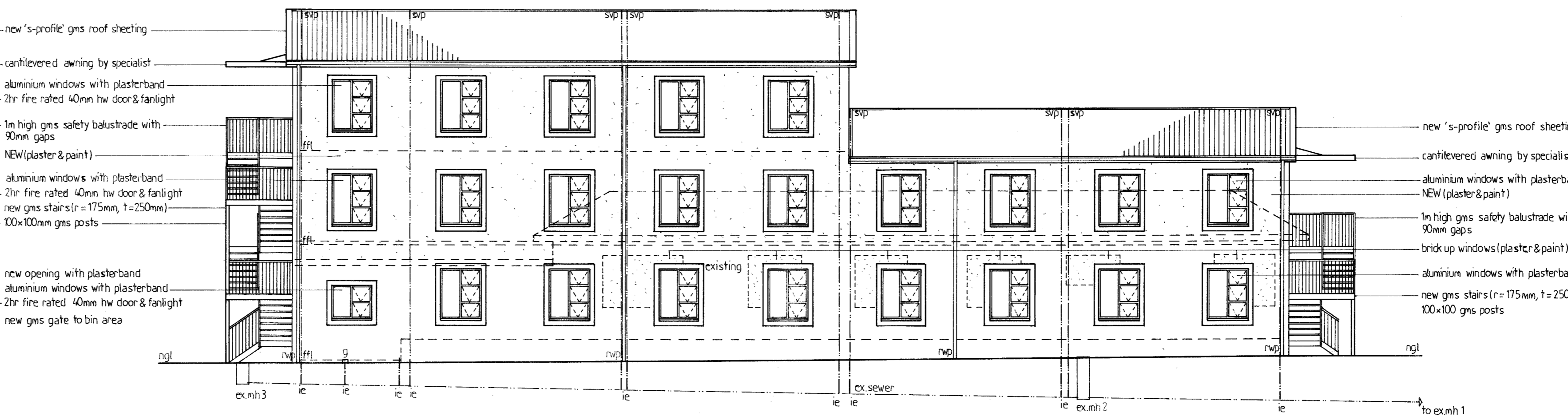
SECTION B - B



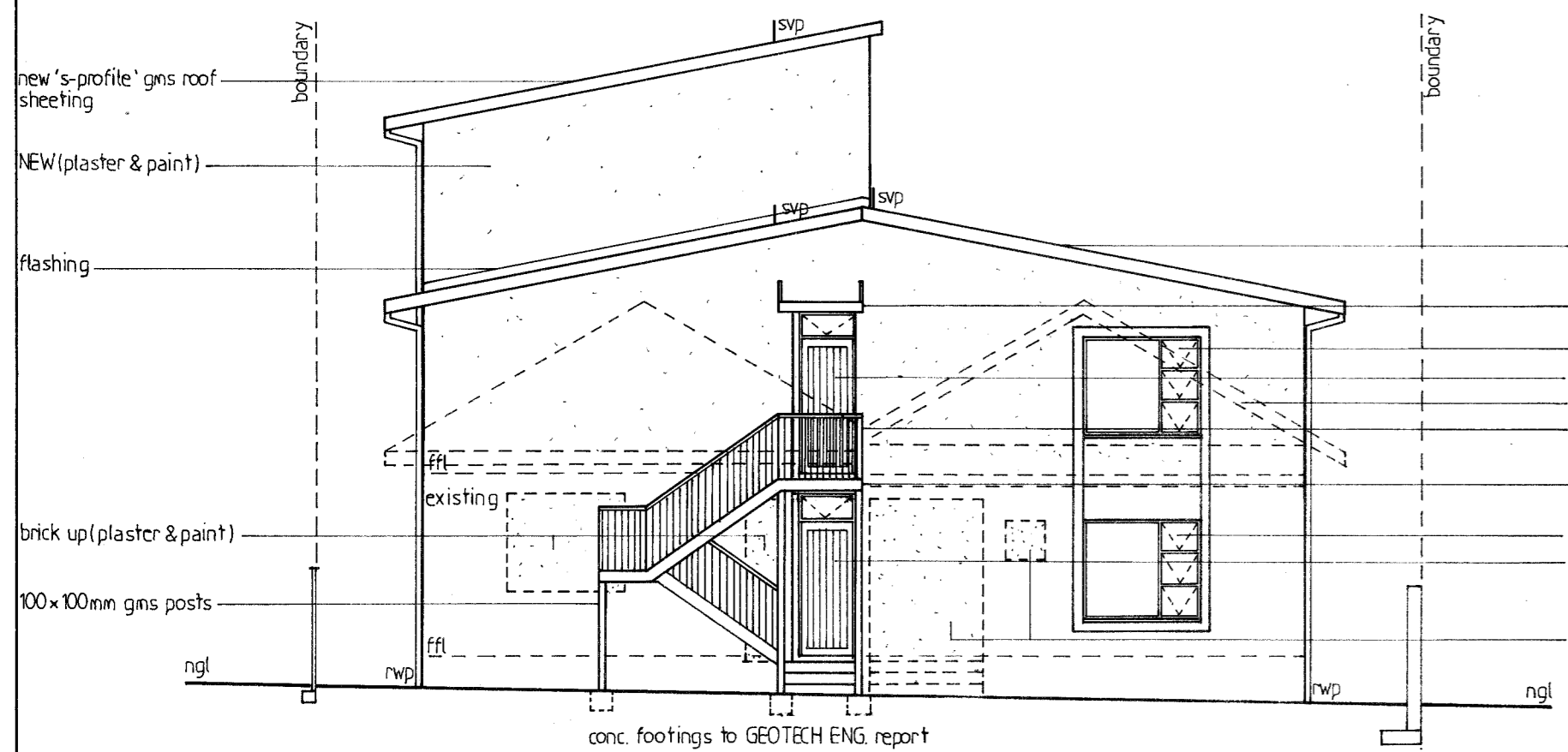
SECTION A - A



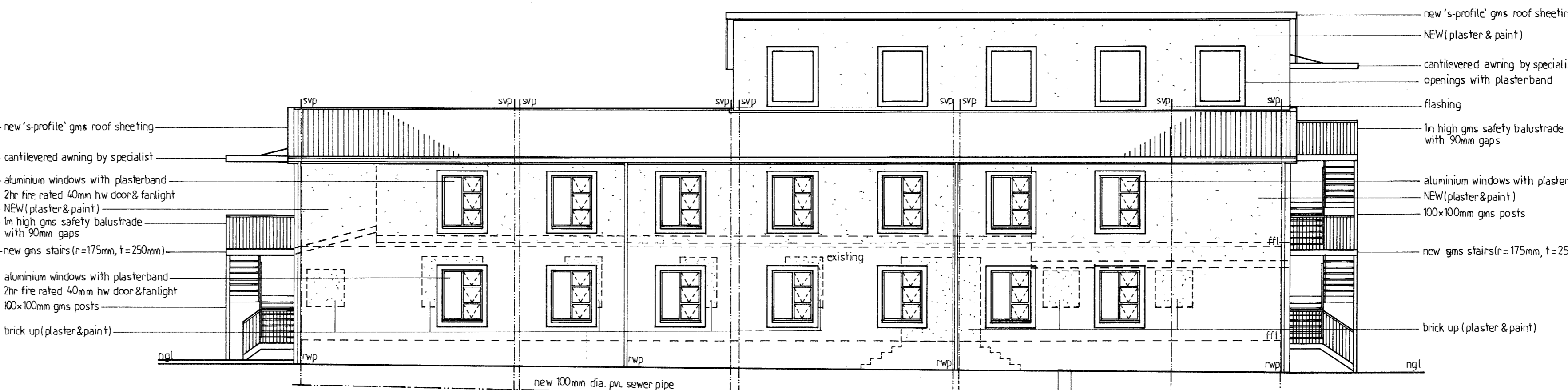
NORTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

ADDITIONAL AREA : 518,79 sqm

OWNERS SIGNATURE: *[Signature]* CONTACT NO.:

RATE NO. 1042 7058/000, 1042 8068/000

PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING BUILDING FOR NEW RESIDENTIAL ACCOMMODATION AT 40/42 CLARK ROAD ON PORTION 1 OF ERF 6326 DURBAN and REM OF ERF 6326 DURBAN FOR A. CHETTY

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SCALE: 1:100 / 1:200
 DESIGNED: G.P. BRAUM
 DRAWN: M.R. AZMUTH
 DATE: JUNE 2019

Drawing No : 6559/19/ 2 of 2