

# Final Environmental Impact Assessment Report for Olievenhoutbosch Road

GAUT: 002/11-12/E0135

June 2015



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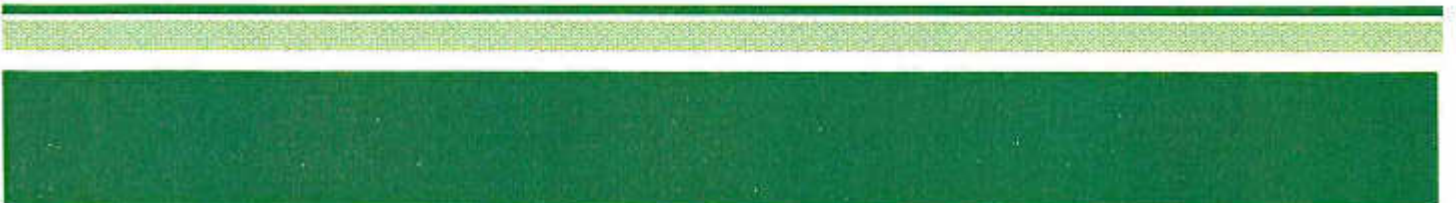
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29	Mr Roux Shabangu	<a href="mailto:roux@rouxprops.co.za">roux@rouxprops.co.za</a> 012 667 2772	Erf 122, Irene
30	Marese Herbst	<a href="mailto:marese@rouxprops.co.za">marese@rouxprops.co.za</a> 012 667 2772	Erf 122, Irene
31	Bea Fletcher The Town Planning Hub (TPH)	<a href="mailto:bea@tph.co.za">bea@tph.co.za</a> <a href="mailto:tph@tph.co.za">tph@tph.co.za</a>	Erf 122, Irene
32	Natalie Koneight Rand Water	<a href="mailto:nkoneigh@randwater.co.za">nkoneigh@randwater.co.za</a> 011 724 9366	
33	James AH Cambell	<a href="mailto:james.ah.cambell@gmail.com">james.ah.cambell@gmail.com</a> 083 457 3724 012 667 5187	9 lotus Street, Irene
34	Lizette Visser Moo Zoo	<a href="mailto:visserliz@mweb.co.za">visserliz@mweb.co.za</a> 083 400 2804 012 667 2638	7 Alexandra Road, Irene
35	Raj Shunmugam	<a href="mailto:raj@glencarol.co.za">raj@glencarol.co.za</a>	428 Shillingford Road Cornwall Hill
36	Cllr Christa Spoelsta Ward Councillor	<a href="mailto:mwcpoel@mweb.co.za">mwcpoel@mweb.co.za</a> 082 880 5300	





# **Annexure K(v)**

## Issues and Comments Report



**FINAL SCOPING REPORT FOR THE PROPOSED OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO K54 GAUT 002/11-12/E0135  
AND DRAFT EIA REPORT**

**COMMENT AND RESPONSE REPORT-**

Issue	Commentator	Response
<b>SCOPING PHASE</b>		
<p>This serves to acknowledge that we have received the relevant information</p> <p>We have to plan ahead. Is our home going to be demolished? (Maybe for some other reason). We would like to sell our property in the future and move to a retirement village near Rustenburg. Who can assist us? We surmised that maybe someone lodged a land claim to our property.</p>	<p>Edu &amp; Edna Meyer <a href="mailto:edumeyer@iburst.co.za">edumeyer@iburst.co.za</a></p>	<p>Bokamoso is busy investigating whether the proposed road and alternatives will traverse the said property. Clarification in this regard will be made available in the FEIA report.</p> <p>The Department of Land Claims can be contacted to determine if any land claims were lodged on the said property.</p>
<p>Please provide Rand Water with: 1. The detail about the facility that will receive the sewerage. 2. An agreement that the identified sewerage facility is aware of the development and that they have the capacity to accept the sewerage from the site without overloading the facility. 3. Will there be any discharges other than the sewerage system that will increase storm water entering the environment. If so, has the development considered retention and stilling ponds to slow down high peak flows. If the sewerage facility cannot accept the additional load into their facility then this will have a negative impact on the environment and the pollution load into the river systems</p>	<p>Natalie Koneight Rand Water <a href="mailto:nkoneight@randwater.co.za">nkoneight@randwater.co.za</a></p>	<p>Please note that this development is a road and will not be needing sewerage facilities.</p>

<p>Would you please send me more specific information regarding how the proposed road will connect with Main Rd and if any existing Irene properties are being effected.</p>	<p>Ross Howarth <a href="mailto:rhowarth@gmail.com">rhowarth@gmail.com</a></p>	<p>All concerns are addressed within the DEIA report.</p>
<p>Please indicate how the Olievenhoutbosch Rd will intersect Main Rd, Irene.</p>	<p>Stephan Barkhuizen <a href="mailto:Gill.udal@tekomsa.net">Gill.udal@tekomsa.net</a></p>	<p>Please refer to Section 4 – The description of the proposed activity of the EIA report.</p>
<p>Further to the attached presentation made at a public meeting on 24 May 2011, I'd like to state that I received no notices in 2009 and 2011 as per slides 8 and 9 of the attached. I was also not invited to the 24 May 2011 public meeting. I live within 100m of the so-called squatter-link. Further advertising in the Beeld newspaper is irrelevant to me as I do not speak Afrikaans. I also put all of my requests/comments in writing (as requested), but get no reply. Copies of all my emails are available on request. I also attended the public meeting on 1 August 2011 and made a number of written submissions. I have yet to receive any response or minutes from this meeting.</p>	<p>James AH Campbell <a href="mailto:James.ah.campbell@gmail.com">James.ah.campbell@gmail.com</a></p>	<p>We apologize that I totally overlooked the fact that I didn't send the minutes to you. Please refer to the attached minutes of the meeting as requested. Also note that we are awaiting information from the traffic engineers at this stage. We will inform you when another meeting takes place, and when the draft reports will be made available to the interested parties. Also note that you were registered as an interested and/or Affected party for both the proposed K105 project and the recently advertised Olievenhoutbosch Road project. At this stage no additional information is available.</p>
<p>Have read the minutes and they seem fine to me, many thanks.  Look forward to your response on my other emails.</p>		<p>Noted.</p>
<p>Just for the record, please see the attached. The "yellow" road has</p>	<p>James AH Campbell <a href="mailto:James.ah.campbell@gmail.com">James.ah.campbell@gmail.com</a></p>	<p>Bokamoso is busy investigating the matter and comments will be provided in</p>



<p>already been chiefly constructed and without any consultation as far as I am aware. I would be most grateful for your view on whether the developers have followed the appropriate process here, as I certainly was not consulted on the matter.</p>		<p>the FEIA report.</p>
<p>This serves to confirm that I have received the Landowners/Tenant Notification and your covering letter. At present I do not have tenants on my property but have advertised to construct a second dwelling on the front part of my property, which will border Alexandra Road. Your letters will be sent to the development of the proposed second dwelling (see added address above).</p> <p>I reside at 15 Alexandra Rd, Irene and I have, on a number of occasions, voiced some concerns I have with the road works close to my home. Basically, there are two minor problems which do affect me severely, but to which I have simple solutions. I have referred these concerns to Alyson of the ILA, who I know has referred them on to the correct person, but to date NOTHING has been done to even contact me of these concerns.</p>	<p>Tom Hannay  <a href="mailto:Tomhannay.sa@gmail.com">Tomhannay.sa@gmail.com</a></p>	<p>Bokamoso is busy investigating the matter and comments will be provided in the FEIA report.</p>
<p>Do you notify residence of impending electricity switches off for work in Alexandra Rd, we live at no 21 and I take care of my parents. The untimely switch off's really put me in a spot as I have machine running to assist the nurses with their care. If I know when the electricity if off I can plan their care giving around that.</p>	<p>Magda Oosthuizen  082 411 7637</p>	<p>The Developer/ Contractor will notify the surrounding property owners in advance when electricity outages are expected.</p>
<p>Our office perused the report and would like to comment as follows: - The approved road alignment, as well as the 3 alternative routes discussed in the Scoping Report do not affect our client directly, but however links with the proposed K105 road planning (previously objected to in January 2013). - We would therefore take this opportunity to again confirm that we wish to be included in any future</p>	<p>Bea Fletcher  <a href="mailto:bea@tph.co.za">bea@tph.co.za</a></p>	<p>Noted.</p>

<p>meetings/decisions in this regard. Moreover we confirm that the long term planning of the intersection will affect our client's property.</p>		
<p>We recently became aware of the proposed Olievenhoutbosch road development and upon acquiring and reading the Scoping Report for the Olievenhoutbosch Road GAUT: 002/11-12/E0135 we have reservations about the development. The proposed road (all three alternatives) passes very close (two to three times closer than Nellmapius road) to Cornwall Hill estate (Refer to Figure 2: Aerial Map). According to Figure 16: Visual Assessment Map, the road will also be clearly visible from houses on the estate especially those on the boundary. The close proximity and local topography of the area overlooking the proposed road will result in a severe impact on noise levels, visuals and hence the qualitative environment from the perspective of the existing home owners on this specific boundary of Cornwall Hill Estate. An impact on property values of houses on the boundary of Cornwall Hill Estate next to the proposed road is a distinct possibility. In Section 2.4.8 of the report it is stated that the design speed of the road is 80 km/h, but with no specific reserve width stated. Reserve road width will have an effect on the qualitative environment and should be stated in the report. In Section 8.3.1 mention is made of mitigation measures to reduce noise levels to an acceptable level (50 dBa). It is not stated what these measures will be nor how the effectiveness of the measures will be determined and what recourse there will be if the measures are not effective or even possible. Due to the aforementioned factors we are an interested and affected party and wish our comments to be included as part of the review process of the report. How do we go about ensuring that we receive all updates and input to the above?</p>	<p>Lizelle De Beer  <a href="mailto:widebeer@gmail.com">widebeer@gmail.com</a></p>	<p>Please refer to Section 4 – The description on the proposed activity.</p>
<p><b>EIA PHASE</b></p>		
<p>I vote for Alternative 3</p>	<p>Gerard O'Rourke  <a href="mailto:gorourke@chieftain.ie">gorourke@chieftain.ie</a></p>	<p>Noted.</p>



<p>Thank you for your notification regarding this development.</p> <p>In terms of the National Heritage Resources Act, no 25 of 1999, heritage resources, including archaeological or palaeontological sites over 100 years old, graves older than 60 years, structures older than 60 years are protected. They may not be disturbed without a permit from the relevant heritage resources authority. This means that prior to development it is incumbent on the developer to ensure that a Heritage Impact Assessment is done. This must include the archaeological components (Phase 1) and any other applicable heritage components. Appropriate (Phase 2) mitigation, which involves recording, sampling and dating sites that are to be destroyed, must be done as required.</p> <p>The quickest process to follow for the archaeological component is to contract an accredited specialist (see the web site of the Association of Southern African Professional Archaeologists <a href="http://www.asapa.org.za">www.asapa.org.za</a>) to provide a Phase 1 Archaeological Impact Assessment Report. This must be done before any large development takes place.</p> <p>The Phase 1 Impact Assessment Report will identify the archaeological sites and assess their significance. It should also make recommendations (as indicated in section 38) about the process to be followed. For example, there may need to be mitigation phase (Phase 2) where the specialist will collect or excavate material and date the site. At the end of the process the heritage authority may give permission for destruction of the sites.</p> <p>Where bedrock is to be affected, or where there are coastal sediments, or marine or river terraces and in potentially fossiliferous superficial deposits, a Palaeontologist resources – or at least a letter of exemption from a Palaeontologist is needed to indicate that</p>	<p>Andrew Salomon SAHRA <a href="mailto:asalomon@sahra.org.za">asalomon@sahra.org.za</a></p>	<p>Noted.</p>
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<p>this is unnecessary. If the area is deemed sensitive, a full Phase 1 Palaeontological Impact Assessment will be required and if necessary a Phase 2 rescue operation might be necessary.</p> <p>If the property is very small or disturbed and there is no significant site the heritage specialist may choose to send a letter to the heritage authority to indicate that there is no necessity for any further assessment.</p> <p>Any other heritage resources that may be impacted such as built structures over 60 years old, sites of cultural significance associated with oral histories, burial grounds and graves, graves of victims of conflict, and cultural landscape or viewscapes must also be assessed.</p>		
<p>Recommendations: The Department need the following to be assessed within the EIA Report.</p> <p>a) The Department will not support Alternative 3, as the alignment will extensively impact on the grassland and ridge. The Department recommends that an additional Alternative be investigated and added within the report. The possible alignment should be aligned according to the approved Olievenhoutbosch Road alignment traversing the sensitive 5'O Clock Site, then diverts at the intersection of the existing Nellmapius Road (past Alternative 2 diversion). This alignment will possibly minimize the footprint impact on the 5'O Clock Site, then divert at the intersection of the existing Nellmapius Road (past Alternative 2 diversion). This alignment will possibly minimize the footprint impact on the 5'O Clock site as no additional road servitudes will be created on the 5'O Clock site.</p> <p>b) The final road alignment crossing the Irene x 91 development and R21 should adhere to the approval of Irene x 91 development in which it was agreed that the dam,</p>	<p>J. Prinsloo <a href="mailto:rudzanim@tshwane.gov.za">rudzanim@tshwane.gov.za</a> City of Tshwane 11 June 2012</p>	<p>Please refer to the comments below adjacent to each specific comment.</p> <p>a) Please note that alternative 2 is the preferred alternative due to the fact that Alternative 1 and 3 both have a higher impact on the Ecological system than that of Alternative 2 as it will traverse irreplaceable sites; natural grassland areas and a large part of a ridge.</p> <p>b) The proposed alignment and alternative will not affect the wetland area.</p> <p>c) Please refer to Annexure G – Ecological reports of the EIA report.</p> <p>d) SAHRA does not require any Heritage impact assessment as the</p>

<p>associated wetlands and drainage line on the Irene x 91 application site, will not be impacted upon by the proposed construction of the bridge of the Olievenhoutbosch Road alignment. The road design should exclude this area.</p> <p>c) A complete Fauna and Flora Assessment for the proposed road alignments should be included within the report. It is recommended that at least 200m on either side of the road alignments should be investigated and included within the Report, as the road crosses an environmentally sensitive site with known red data flora species.</p> <p>d) A Cultural and Historical Assessment must be included within the report to ensure no cultural and heritage sites of importance on the 5'O Clock site will be influenced by the road alignments.</p> <p>e) A Geotechnical Assessment must be included within the report to ensure no "Fatal Flaws" regarding the underlying geotechnical conditions occur.</p> <p>f) A Rehabilitation plan shall be included within the EIA Report which will aim to prevent erosion and aid the return of natural, endemic and indigenous vegetation cover to at least 80% of the rehabilitated area. The proposed rehabilitation plan should be included within the EIA Report in detail for the road alignment.</p> <p>g) An Environmental Management Plan should be included within the Final EIA Report. The EMP should address impacts and mitigation measures for the pre-construction, construction and post-construction activities. All issues and recommendations as indicated above should be included within the final and approved EMP. An Environmental Control Officer and contract details should also be included within the EMP.</p>	<p>proposed alignment does not traverse any cultural or historical features. Please refer to Annexure H for SAHRA comments.</p> <p>e) A Geotechnical report was conducted as part of the 5'O Clock site. The only part that is affected severely by dolomite is the area to the west of the proposed road as it is regarded as shallow dolomite.</p> <p>It was found that the whole area as part of the proposed road is suitable for development. The management of storm water is regarded as the most important and most significant matter that needs to be adequately mitigated due to the dolomitic conditions. However it should also be noted that the whole of Centurion is underlain by dolomite.</p> <p>f) A Rehabilitation plan will be made a recommendation of the Environmental Authorization. The Developer needs to provide CoT and GDARD with the Rehabilitation plan prior to construction.</p> <p>g) Please refer to Appendix L for a copy of the EMP.</p> <p>h) All Alien invasive plant species will be eradicated on the study area according to the Conservation of</p>
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<p>h) All Alien invasive plant species should be eradicated on the study area according to the Conservation of Agricultural Resources Act (Act No. 43 of 1983). An Invasive species control plan should be implemented at least every 3 months after construction and should be included within the EIA Report and EMP.</p> <p>i) The proposed activity will comply to all Municipal By-laws.</p> <p>Conclusion:</p> <p>The above recommendations should be investigated and included within the report.</p> <p>The Department will only provide the final comments upon receipt of the Draft Environmental Impact Assessment Report, with the inclusion of the above recommendations.</p>		<p>Agricultural Resources Act (Act No. 43 of 1983). An Invasive species control plan will be implemented at least every 3 months after construction and should be included within the EIA Report and EMP.</p> <p>i) The proposed development will comply with the Municipal By-laws.</p>
<p>The Department requires that the applicant adheres to our comments on the draft Scoping report dated 11 June 2012.</p> <p>The Department will provide final comments upon receipt of the Draft Environmental Impact Assessment Report, with the inclusion of the above recommendations.</p>	<p>J. Prinsloo  <a href="mailto:rudzanim@tshwane.gov.za">rudzanim@tshwane.gov.za</a>  City of Tshwane  11 June 2012</p>	<p>Noted.</p>
<p>Would like to know where the Bokamoso report can be found? Also want to know what the exact property description is en where to find it within the report?</p>	<p>Willem Hart  <a href="mailto:Willem6060@gmail.com">Willem6060@gmail.com</a></p>	<p>The Final Scoping Report is available on the Bokamoso's website.</p> <p>The exact property description is Portion 189, Remainder of Portion 330 and Portion 355 of the farm Doornkloof 391 JR.</p>
<p>Would like to be registered as an I&amp;AP.</p>	<p>Christa Spoelstra</p>	<p>You are registered as an I&amp;AP.</p>



Both our wards are affected by this road.	<a href="mailto:mwscpoel@mweb.co.za">mwscpoel@mweb.co.za</a>	Noted.
Want to know if the road is going to replace the Olievenhoutbosch Road? Also requested that Rietvlei Nature Reserve be registered as an I&AP.	Riaan Marais <a href="mailto:riaanM@ishwane.gov.za">riaanM@ishwane.gov.za</a>	No it will not replace the current Olievenhoutbosch but will be an extension of the road. It is just an additional line in the opposite direction.  Rietvlei Nature Reserve is registered as an I&AP.
Please register us as an interested and affected party with regard to this development.	Brian Melvill-Smith <a href="mailto:Brian.Melvill-Smith@barlowworldmotor.com">Brian.Melvill-Smith@barlowworldmotor.com</a>	Thank you for your response, you are registered as Interested and/or Affected Party Member for the proposed Olievenhoutbosch Rd.  We will keep you updated regarding the process in the future.
I just want to confirm that I am on the list as an interested and affected party.	Chris Grobler <a href="mailto:chriscg@bibletruths.co.za">chriscg@bibletruths.co.za</a>	Registered as Interested and/or Affected Party Member.
I hereby register as an affected party with regard to the proposed construction of the K105 and the Olievenhoutbosch Road from Main Road to K54.	Lizette Visser <a href="mailto:visserlitz@mweb.co.za">visserlitz@mweb.co.za</a>	Registered as Interested and/or Affected Party Member.
Could you please register my wife and myself as interested parties. Our interest is that we both live in Irene and my wife has a business in Irene.	Richard Schuster <a href="mailto:RSchuster@barlowworld-equipment.com">RSchuster@barlowworld-equipment.com</a>	Registered as Interested and/or Affected Party Member.
Please add me as in interested party on the Olievenhoutbosch road development project.	Carlo Machine <a href="mailto:carlomach@absamail.co.za">carlomach@absamail.co.za</a>	Registered as Interested and/or Affected Party Member.

<p>Can you please add me to the list of I&amp;APs on the abovementioned project.</p>	<p>Sonya Semmelink <a href="mailto:semmlink@webmail.co.za">semmlink@webmail.co.za</a></p>	<p>Registered as Interested and/or Affected Party Member.</p>
<p>I am a resident of Cornwall Hill estate and would like to register as interested party in the Olievenhoutbosch road development.</p>	<p>Robert Hartman <a href="mailto:Robert@multicat.co.za">Robert@multicat.co.za</a></p>	<p>Registered as Interested and/or Affected Party Member.</p>
<p>Please register me as Interested party for the proposed Olievenhoutbosch Rd.</p>	<p>Dirk Heyns <b>Cornwall Hill Estate</b> <a href="mailto:manager@cornwallhill.co.za">manager@cornwallhill.co.za</a></p>	
<p>Please list us as Interested Parties for: Project Name: Olievenhoutbosch Road from Main Road to K54. Reference Number: Gaut 002/11-12/E0135 Contact information: Roger Trublet de Nermont; <a href="mailto:trublet@global.co.za">trublet@global.co.za</a> ; 082 806 6388 Contact information: Lisa Trublet de Nermont; <a href="mailto:trublet@global.co.za">trublet@global.co.za</a> ; 082 885 1554 Interest in the Matter: Cornwall Hill Residents</p>	<p>Lisa Trublet de Nermont <a href="mailto:trublet@global.co.za">trublet@global.co.za</a></p>	<p>Registered as Interested and/or Affected Parties.</p>
<p>As I am Irene resident (1 Clifford Road), please list me and let me know when the next meeting will be.</p>	<p>Kobus Knoetze <a href="mailto:Kobus@dhkthinkspace.co.za">Kobus@dhkthinkspace.co.za</a></p>	<p>Registered as Interested and/or Affected Party Member.</p>
<p>How do I go about registering for the above!</p>	<p>Raj Shunmugam <a href="mailto:raj@glencarol.co.za">raj@glencarol.co.za</a></p>	<p>Registered as Interested and/or Affected Party Member.</p>
<p>I understand that the Olievenhoutbosch Rd is going to be build? Can you please update me regarding that.</p>	<p>Cobus Janse van Rensburg <a href="mailto:Cobus.JvRensburg@pbmr.co.za">Cobus.JvRensburg@pbmr.co.za</a></p>	<p>Noted.</p>

After Draft EIA Review

The above mentioned draft EIA Report received on 4 December 2014 has reference.

Our client, Roux Properties (Pty) Ltd is directly affected by the planned interchanges at the N1/Botha Avenue intersection. For ease of reference, we attached herewith a locality plan indicating the property in question.

This office obtained the contact information of the Traffic Engineers working on the project from Ms Bianca Reyneke on 9 January 2015 in order to discuss possible alternatives.

We herewith request for an extension of 2 weeks from the closing date being 28 January 2015, in order to liaise with the engineers. This will enable our client to provide a coherent and informed report as to the Review Invitation Notice.

Kindly confirm receipt of this letter in writing, as well as the granting of additional 2 weeks for input to 11 February 2015.

Please advise whether the two week extension is accepted?

Please note that we will give you an extension of 2 weeks' time.

Kindly note that we will need all your comments and issues by the 11<sup>th</sup> of February 2015.

Hope this finds you well.

Please do not hesitate to contact us should you have any questions in this regard.

Adele Horn

[adele@tph.co.za](mailto:adele@tph.co.za)

The Town Planning Hub CC

In reference to the abovementioned matter, as well as to your email dated 27 January 2015 granting our office an extension of time in order to supply our comments on the aforementioned draft EIA Report.

As previously stated in our correspondence to your office this proposal (link of Main Road to K54) does not affect our client, however the future planning of the K105 north does negatively affect

Thank you for your response, we have noted your comments on our Issues and Comments Register.



our client's property. We wish to place on record that our office has not received detailed planning of the various alternatives.

A meeting was held with SMEC who discussed our concerns with the City of Tshwane. The proposals were well received by the City of Tshwane with a couple of conditions.

Before the detail of the road alignment is concluded that affect our clients property, Erf 122, Irene, the following needs to be provided to our client:

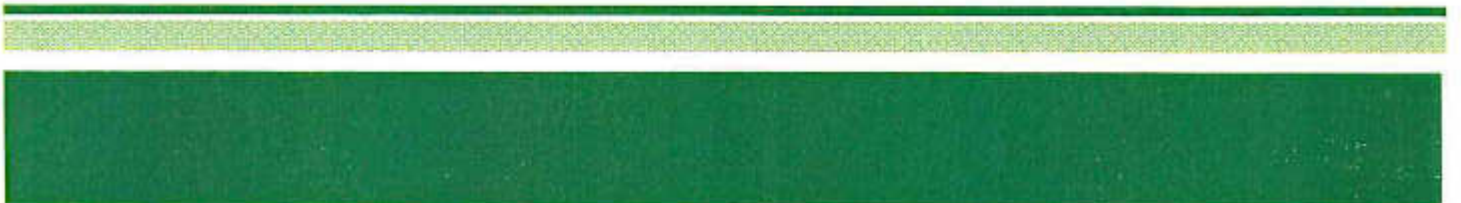
- Traffic Impact Study. The TIS should consider a right turn into the service road – traveling south on Botha Road.
- Our client's property is a business stand, it must be taken into account that the Home Owners Association may find the access to the business stand via a residential area not suitable. This needs to be addressed.
- Approval from City of Tshwane as well as Provincial Departments need to be obtained.

Kindly confirm receipt of this letter and advise as to when the requested information will be made available.

<p>our client's property. We wish to place on record that our office has not received detailed planning of the various alternatives.</p> <p>A meeting was held with SMEC who discussed our concerns with the City of Tshwane. The proposals were well received by the City of Tshwane with a couple of conditions.</p> <p>Before the detail of the road alignment is concluded that affect our clients property, Erf 122, Irene, the following needs to be provided to our client:</p> <ul style="list-style-type: none"><li>• Traffic Impact Study. The TIS should consider a right turn into the service road – traveling south on Botha Road.</li><li>• Our client's property is a business stand, it must be taken into account that the Home Owners Association may find the access to the business stand via a residential area not suitable. This needs to be addressed.</li><li>• Approval from City of Tshwane as well as Provincial Departments need to be obtained.</li></ul> <p>Kindly confirm receipt of this letter and advise as to when the requested information will be made available.</p>		
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# **Annexure K(vi)**

Site Notice for the EIA Phase



# NOTICE OF ENVIRONMENTAL IMPACT ASSESSMENT PROCESS

Notice is given of an application for an **Environmental Impact Assessment Process** that was submitted to the Gauteng Department of Agriculture and Rural Development, in terms of Regulation No. R543 published in the Government Notice No. 33306 of 18 June 2010 of the National Environment Management Act, 1998 (Act No. 107 of 1998) governing **Environmental Impact Assessment Procedures (Listing Notice: 1, 2 and 3 – Government Notice R544, R545 & R546)** for the following activity:

**Reference No:** Gaut: 002/11-12/E0135

**Project Name:** Olievenhoutbosch Road from Main Road to K54

**Property Description:** Portion 1, Portion 188 and the Remainder of Portion 330; Portion 335 and Portion 5 of the Farm Doornkloof 391 JR; the Road reserve of Nellmapius Drive/M31 and the Road servitude of the R21.

**Proposed Zoning Information:** The current zoning is "Agriculture"

**Listing Activities Applied for:**

GNR 544 (Listing Notice 1), 18 June 2010	Activity 11
GNR 544 (Listing Notice 1), 18 June 2010	Activity 18
GNR 545 (Listing Notice 2), 18 June 2010	Activity 18
GNR 546 (Listing Notice 3), 18 June 2010	Activity 4
GNR 546 (Listing Notice 3), 18 June 2010	Activity 13
GNR 546 (Listing Notice 3), 18 June 2010	Activity 19

**Proponent Name:** JR 209 Investments (Pty) Ltd trading as M&T Development

**Location:** The proposed road will connect Main Road with the K54. The proposed Olievenhoutbosch Road is located south of the N1 Highway, west of the K54, east of Main Road and to the north of Cornwall Hill.

**Date of Notice:** 22 October 2013 – 2 December 2013

**Queries regarding this matter should be referred to:**

**Bokamoso Landscape Architects and Environmental Consultants CC**

Public Participation registration and inquiries: **Juanita De Beer**

Project inquiries: **Mientjie Coetzee**

P.O. Box 11375

Maroelana 0161

www.bokamoso.biz

Tel: (012) 346 3810

Fax: (086) 570 5659

E-mail: lizelleg@mweb.co.za

In order to ensure that you are identified as an Interested and/or Affected Party (I&AP) please submit your name, contact information and interest in the matter, in writing, to the contact person given above **within 40 days of this Notice.**





22.10.2013 10:21



22.10.2013 10:21



22.10.2013 10:21



22.10.2013 10:21







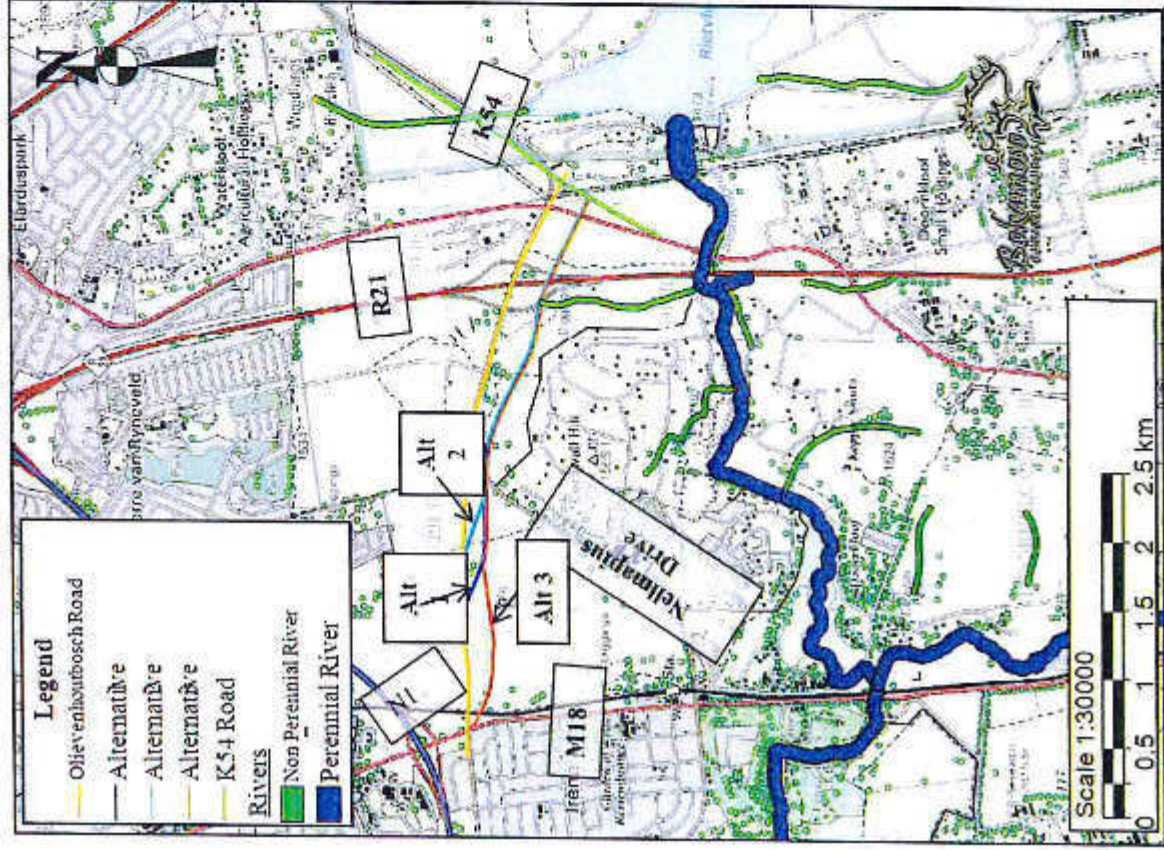
# **Annexure K(vii)**

Notice/flyers distributed to I&AP's for the  
EIA Phase





# Olievenhoutbosch Road from Main Road to K54



Locality Map

## NOTICE OF ENVIRONMENTAL IMPACT ASSESSMENT PROCESS

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**Reference No:** Gaut: 002/11-12/E0135

**Project Name:** Olievenhoutbosch Road from Main Road to K54

**Property Description:** Portion 1, Portion 188 and the Remainder of Portion 330; Portion 335 and Portion 5 of the Farm Doornkloof 391 JR; the Road reserve of Nellempius Drive/M31 and the Road servitude of the R21

**Proposed Zoning Information:** The current zoning is "Agriculture"

**Proponent Name:** JR 209 Investments (Pty) Ltd trading as M&T Development

**Listing Activities Applied:** GNR 544 (Listing Notice 1), 18 June 2010 – Activity 11 & 18 and GNR 545 (Listing Notice 2), 18 June 2010 – Activity 18 and GNR 546 (Listing Notice 3), 18 June 2010 – Activity 4, 13 & 19

**Location:** The proposed road will connect Main Road with the K54. The proposed Olievenhoutbosch Road is located south of the N1 Highway, west of the K54, east of Main Road and to the north of Cornwall Hill

**Date of Notice:** 22 October 2013 – 2 December 2013

**Queries regarding this matter should be referred to:**

Bokamoso Landscape Architects and Environmental Consultants CC

Public Participation registration and inquiries: **Juanita De Beer**

Project inquiries: **Mienjijie Coetzee**

P.O. Box 11375

Maroelana 0161

[www.bokamoso.biz](http://www.bokamoso.biz)

E-mail: [lizelleg@mwweb.co.za](mailto:lizelleg@mwweb.co.za)

In order to ensure that you are identified as an interested and/or Affected Party (I&AP) please submit your name, contact information and interest in the matter, in writing, to the contact person given above **within 40 days of this Notice.**



LEBOMBO GARDEN BUILDING  
38 LEBOMBO ROAD  
ASHLEA GARDENS  
0081

P.O. BOX 11375  
MAROELANA  
0161

Tel: (012) 346 3810  
Fax: 086 570 5659  
E-mail: [lizellag@mweb.co.za](mailto:lizellag@mweb.co.za)  
Website: [www.bokamoso.biz](http://www.bokamoso.biz)



**Dear Landowner/Tenant**

**22 October 2013**

You are hereby informed that Bokamoso Environmental Consultants were appointed (as EAP) by JR 209 Investments (Pty) Ltd trading as M&T Development to conduct the Environmental Impact Assessment Process in terms of the amended 2010 NEMA EIA Regulations for the proposed Portion 1, Portion 188 and the Remainder of Portion 330; Portion 335 and Portion 5 of the Farm Doornkloof 391 JR; the Road reserve of Nellmapius Drive/M31 and the Road servitude of the R21

**The proposed Land-uses for the study area are as follows:**

The current zoning is "Agriculture"

In terms of Regulation No. R543 published in the Government Notice No. 33306 of 18 June 2010 of the National Environment Management Act, 1998 (Act No. 107 of 1998) governing Basic Assessment Procedures (Notice 1 and 3 – Governing Notice R544 & R546) of the 2010 amended NEMA Regulations, the EAP must inform all landowners and tenants within 100m from the study area of the proposed development.

Bokamoso already supplied you (landowner/Tenant) of the property within 100m with Notification Letter and request that you supply the contact details of any tenants or other interested and affected parties that reside or work on the property to Bokamoso. Bokamoso will then also supply these parties with the necessary Notification Letters.

Alternatively, you are also welcome to distribute copies of your Notification to these parties. We will however require proof that you supplied the Notices to the Tenants, Landowners, Workers etc. Another option is to act as representative on behalf of these parties.

Please confirm (via email/Fax) that you received the Landowners/Tenant Notification and this Letter. Also indicate in this Confirmation Letter whether you have tenants on your property and you're preferred method of tenant/worker notification.

Regards

.....  
Lizelle Gregory/Juanita De Beer

# **Annexure K(viii)**

Communication from and to I&APs







## Environmental Management Department

4th Floor, Nr 11 Francis Baard Street, Pretoria  
PO Box 1454 | Pretoria | 0001  
Email: Tel: 012 358 8871 | Fax: 012 358 8934  
Email: [LivhuwaniS@tshwane.gov.za](mailto:LivhuwaniS@tshwane.gov.za) | [www.tshwane.gov.za](http://www.tshwane.gov.za)

My ref:	8/A/RJ4	Tel:	012 358 8848
Your ref:	GAUT 002/11-12/E0135	Fax:	012 358 8934
Contact person:	J. Prinsloo	Email:	<a href="mailto:johannespr@tshwane.gov.za">johannespr@tshwane.gov.za</a>
Section:	Open Space Management Section	Date:	11 June 2012

Bokamoso Environmental  
P.O. Box 11375  
Maroelana  
0161

Tel: (012) 346 3810  
Fax: 086 570 5659  
E-mail: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)

Dear Sir/Madam,

### DRAFT SCOPING REPORT FOR THE CONSTRUCTION OF A SECTION OF OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO THE K54

Your Report dated 20 April 2012 refers,

#### 1. INTRODUCTION

The Environmental Management Department (the Department) has considered the Draft Scoping Report in respect of the above-mentioned application. The Draft Scoping Report is submitted to the Environmental Management Department of the City of Tshwane, hereafter referred to as "the City", as a commenting authority in terms of the National Environmental Management Act (NEMA) and EIA Regulations of August 2010.

#### 2. PROJECT LOCATION AND DESCRIPTION

Bokamoso Environmental was appointed by JR 209 Investments (Pty) Ltd to complete an Environmental Impact Process for the authorization of the route determination and construction of a section of the proposed Olievenhoutbosch Road from Main Road to the K54.

The involved section of Olievenhoutbosch Road is situated on Portion 198, Remainder of Portion 330 and Portion 355 of the Farm Doornkloof 391-JR and within the existing road reserve of Nellmapius Drive/M31 and the road servitude of the R21.

The proposed road for consideration only represents a section of the larger Olievenhoutbosch Road. The proposed section stretches from Main Road in the west to the K54 in the east. The proposed road section is approximately 4km in length and is located within the Centurion area



and falls within the 5'o Clock site. The involved section of the Olievenhoutbosch Road is located within the area of jurisdiction of the City of Tshwane Metropolitan Municipality.

### 3. KEY FACTORS INFORMING THE COMMENTS

In making comments in respect of the proposed Activity the Department has taken, *inter alia*, the following into consideration:

- a) The information contained in the Draft Scoping Report dated April 2012 and received by the Department on 20 April 2012.
- b) Information obtained from the Section's information base including *inter alia*:
  - Geographic Information System (GIS); and
  - Gauteng Open Space Plan (GOSP).
- c) Compliance with applicable Municipal, Provincial, and National Policies and Guidelines including:
  - The National Environmental Management Act 1998 (Act 107 of 1998) (NEMA): its decision-making principles and Environmental Impact Assessment Regulations;
  - The Tshwane Integrated Environmental Policy (TIEP);
  - The Tshwane Open Space Framework (TOSF); and
  - The Bioregional Plan for the Gauteng Metropolitan Municipalities.

### 4. DISCUSSION

In reviewing the application the Department made the following findings:

- a) According to the Tshwane Open Space Framework the proposed site is situated within and adjacent to the following open space typologies:
  - A **Blue Node** namely Sesmylspruit and associated Wetlands (Linear Ecological Open space system associated with water) of Metropolitan significance. Blue nodes have a secondary socio-economic and place making function, therefore they must be conserved.
  - A **Blue Way**, namely Sesmylspruit and associated wetlands. Blue ways are the most important elements in the provisioning of environmental goods and services, the protection of biodiversity, endangered species and ecological systems as well as eco-based activity. Blue ways must therefore be conserved.
  - A **Green Node**, namely GDARD Important site: Between R21, Cornwall Hill and GDARD Irreplaceable Site: 5 O'clock Site and. Green nodes are the most important elements in the provisioning of environmental goods and services, the protection of biodiversity, endangered species and ecological systems, as well as eco-based activity. Green nodes must be protected for conservation purposes.
  - A **Green Way** namely Cornwall Hill and Rietvlei Nature Reserve Ridges. These are protected areas which forms part of the strategically important ecological Structuring Elements within the Tshwane Open Space Network and must be conserved.
  - A **Red Node**, namely the R21/Nellmapius Road Offramp, Nellmapius Road, R54 & Goedehoop Road, Boeing Road Intersection. The value of red Nodes lies in their place-making function and in creating a high quality urban environment that supports the image of a capital city.
  - Gauteng Department of Agriculture and Rural Development Conservation Plan Version 3.
  - Transformed Ridges
- b) According to the Bioregional Plan for the Gauteng Metropolitan Municipalities the proposed site is situated within and adjacent to the following areas



- **Formal Protected Areas:** Protected Areas include Provincial Nature Reserves (protected by the National Environment Management: Protected Areas Act 57 of 2003); Municipal Nature Reserves (including Bird Sanctuaries); other state protected areas (Meteorite Crater Reserve & portions of Botanical Gardens); and Private Nature Reserves and Natural Heritage Sites. Importantly, the areas include both areas that are formally proclaimed and protected by appropriate legislation and managed as such, as well as those that are either appropriately proclaimed and protected or that are managed primarily for biodiversity purposes according to a management plan.
  - **Critical Biodiversity Area 1:** Any terrestrial or aquatic area required to meet biodiversity pattern and/or process thresholds. These include any area that is required for meeting pattern thresholds, namely remaining areas of Critically Endangered vegetation types and areas required to protect threatened species; any area that is required for meeting process thresholds such as areas important for climate change adaptation; and hydrological process areas such as high priority wetlands and catchments, pan clusters and pans within priority catchments. In addition to the above areas where there is little or no choice of area identified, CBAs include all 'best design' sites in terms of meeting pattern and process thresholds, identified by the iterative conservation planning process. 'Best design' refers to an identified network of natural sites that meet pattern and process thresholds in all vegetation types and features in a spatially efficient and ecologically robust way, and aim to avoid conflict with other activities (e.g. economic activity) where it is possible to achieve biodiversity thresholds elsewhere.
  - **Ecological Support Areas 1 & 2:** Supporting zone required to prevent degradation of Critical Biodiversity Areas and Protected Areas. These include remaining corridor, catchment, wetland and other process areas that are required to prevent degradation of Critical Biodiversity Areas and formal Protected Areas; and areas which would otherwise have been identified as Critical Biodiversity Areas except that have been transformed or degraded, but which are currently or potentially still important for supporting ecological processes e.g. floodplain areas that have transformed or degraded. These areas are a focus for rehabilitation rather than the intensification of land uses.
- c) According to the Report the proposed road will be additional lanes to the existing approved Olievenhoutbosch Road which is already in construction.
  - d) The Report indicated that the proposed road is needed to alleviate congestion on the approved Olievenhoutbosch Road.
  - e) The Report indicated that Olievenhoutbosch Road is a Metropolitan Class 2 Road that will link the Samrand Interchange on the N1 Highway with the R21 route in the east.
  - f) The Report indicated that 600m additional from the section of road will be scanned to ensure that the alignment extension will be possible to proceed without any environmental sensitivities.
  - g) According to the Report detailed surveys for the 600m node extensions to the south of the involved section of Olievenhoutbosch is regarded as necessary as the section to the east is identified as an irreplaceable site.
  - h) The Report indicated that should the road extension in future be extended from the proposed section of road, the road can terminate and act as an independent road should the extension be regarded as a "fatal flaw".
  - i) According to the Report the proposed alignment will only direct traffic from east to west. The already approved Olievenhoutbosch Road will direct traffic from west to east.
  - j) The Report indicated for the first phase the proposed section of road will consist of only one lane. If needed, an additional lane will be added in future.



- k) According to the Report the proposed road route proposal are located on dolomite soils.
- l) GDARD Biodiversity requested additional specialist studies for possible red data flora, fauna and avi-fauna species.
- m) The Report indicated that according to the GDARD, GIDS, 2011 the proposed road traverses a ridge.
- n) According to the Report Alternative 1 and 2 is less sensitive than Alternative 3 which traverses larger areas of grassland and ridge systems.

## 5. RECOMMENDATIONS

The Department need the following to be assessed within the EIA Report:

- a) The Department will not support Alternative 3, as the alignment will extensively impact on the grassland and ridge. The Department recommends that an additional Alternative be investigated and added within the report. The possible alignment should be aligned according to the approved Olievenhoutbosch Road alignment traversing the sensitive 5'o Clock Site, then divert at the intersection of the existing Nellmapius Road (past Alternative 2 diversion). This alignment will possibly minimize the footprint impact on the 5'o Clock site as no additional road servitudes will be created on the 5'o Clock site.
- b) The final road alignment crossing the Irene x91 development and R21 should adhere to the approval of Irene x91 development in which it was agreed that the dam, associated wetlands and drainage line on the Irene x91 application site, will not be impacted upon by the proposed construction of the bridge of the Olievenhoutbosch Road alignment. The road design should exclude this area.
- c) A complete Fauna and Flora Assessment for the proposed road alignments should be included within the report. It is recommended that at least 200m on either side of the road alignments should be investigated and included within the Report, as the road crosses an environmentally sensitive site with known red data flora species.
- d) A Cultural and Historical Assessment must be included within the report to ensure no cultural and heritage sites of importance on the 5'o Clock site will be influenced by the road alignments.
- e) A Geotechnical Assessment must be included within the report to ensure no "fatal flaws" regarding the underlying geotechnical conditions occur.
- f) A Rehabilitation plan shall be included within the EIA Report which will aim to prevent erosion and aid the return of natural, endemic and indigenous vegetation cover to at least 80% of the rehabilitated area. The proposed rehabilitation plan should be included within the EIA Report in detail for the road alignment.
- g) An Environmental Management Plan should be included within the final EIA Report. The EMP should address impacts and mitigation measures for the pre-construction, construction and post-construction activities. All issues and recommendations as indicated above should be included within the final and approved EMP. An Environmental Control Officer and contact details should also be included within the EMP.
- h) All Alien invasive plant species should be eradicated on the study area according to the Conservation of Agricultural Resources Act (Act no 43 of 1983). An Invasive species control plan should be implemented at least every 3 months after construction and should be included within the EIA Report and EMP.


- l) The proposed activity will comply to all Municipal By-laws.

## 6. CONCLUSION

The above recommendations should be investigated and included within the report.

The Department will only provide final comments upon receipt of the Draft Environmental Impact Assessment Report, with the inclusion of the above recommendations..

Yours faithfully,



11/06/2012

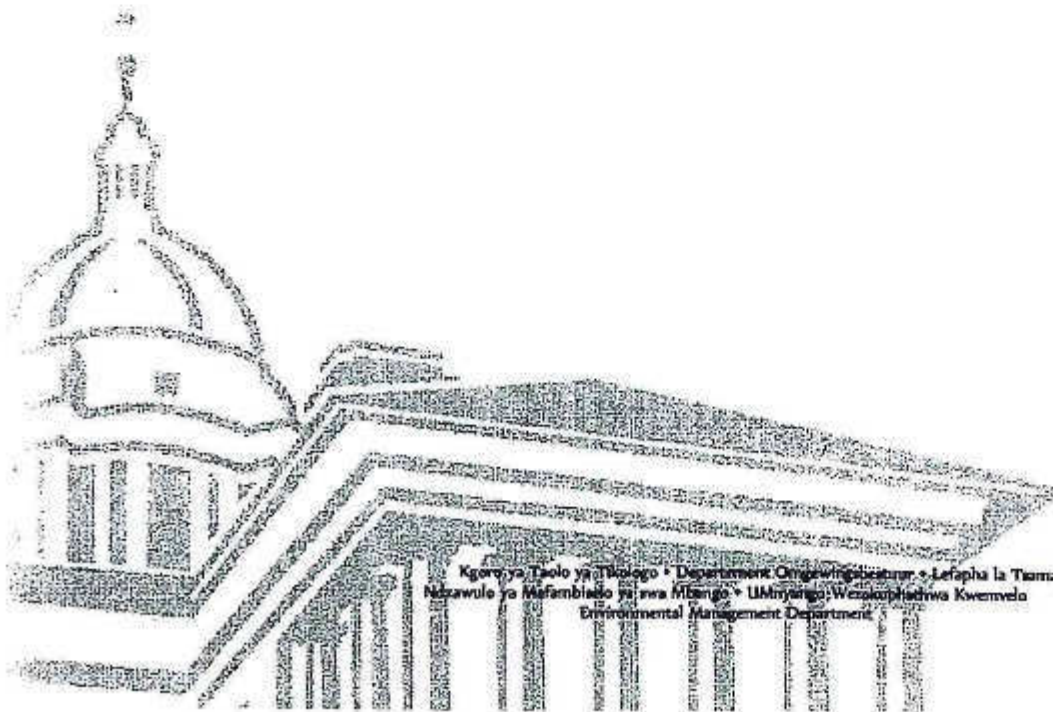
Mr Livhuwani Siphuma Date  
EXECUTIVE DIRECTOR: ENVIRONMENTAL MANAGEMENT DIVISION  
Letter signed by: Rudzani Mukheli  
Designation: Deputy Director: Open Space Management Section

CC Gauteng Department of Agriculture and Attn:  
Rural Development

Mr. Teboho Leku

Tel: (011)355 1860

Fax 086 606 1197



Kgoro ya Taolo ya Tikologo • Department of Environmental Management • Lefapha la Tiamatso ya Tikologo  
Ntsoawulo ya Mafambialo ya nna Mzantsi • UMnyango WenzisoMafambialo Kwemvelo  
Environmental Management Department





## Environmental Management Department

4th Floor, Nr 11 Francis Baard Street, Pretoria  
PO Box 1454 | Pretoria | 0001  
Email: Tel: 012 358 6871 | Fax: 012 358 6934  
Email: [Livhuwan\[S\]@tshwane.gov.za](mailto:Livhuwan[S]@tshwane.gov.za) | [www.tshwane.gov.za](http://www.tshwane.gov.za)

Myref:	8/4/R/4	Tel:	012 358 8731
Your ref:	GAUT 002/11-12/E0135	Fax:	012 358 6934
Contact person:	J. Prinsloo	Email:	<a href="mailto:rudznim@tshwane.gov.za">rudznim@tshwane.gov.za</a>
Section:	Open Space Management Section	Date:	29 July 2013

Bokamoso Environmental  
P.O. Box 11375  
Maroelana  
0161

Tel: (012) 346 3810  
Fax: 086 570 5659  
E-mail: [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za)

Dear Sir/Madam,

### FINAL SCOPING REPORT FOR THE CONSTRUCTION OF A SECTION OF OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO THE K54

Your Report dated 21 June 2013 refers,

#### 1. INTRODUCTION

The Environmental Management Department (the Department) has considered the Final Scoping Report in respect of the above-mentioned application. The Final Scoping Report is submitted to the Environmental Management Department of the City of Tshwane, hereafter referred to as "the City", as a commenting authority in terms of the National Environmental Management Act (NEMA) and EIA Regulations of August 2010.

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and falls within the 5'o Clock site. The involved section of the Olievenhoutbosch Road is located within the area of jurisdiction of the City of Tshwane Metropolitan Municipality.

### 3. KEY FACTORS INFORMING THE COMMENTS

In making comments in respect of the proposed Activity the Department has taken, *inter alia*, the following into consideration:

- a) The information contained in the Final Scoping Report dated June 2013.
- b) Information obtained from the Section's information base including *inter alia*:
  - Geographic Information System (GIS); and
  - Gauteng Open Space Plan (GOSP).
- c) Compliance with applicable Municipal, Provincial, and National Policies and Guidelines including:
  - The National Environmental Management Act 1998 (Act 107 of 1998) (NEMA); its decision-making principles and Environmental Impact Assessment Regulations;
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  - The Tshwane Open Space Framework (TOSF); and
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  - Gauteng Department of Agriculture and Rural Development Conservation Plan Version 3.
  - Transformed Ridges.
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• **Formal Protected Areas:** Protected Areas include Provincial Nature Reserves (protected by the National Environment Management: Protected Areas Act 57 of 2003); Municipal Nature Reserves (including Bird Sanctuaries); other state protected areas (Meteorite Crater Reserve & portions of Botanical Gardens); and Private Nature Reserves and Natural Heritage Sites. Importantly, the areas include both areas that are formally proclaimed and protected by appropriate legislation and managed as such, as well as those that are either appropriately proclaimed and protected or that are managed primarily for biodiversity purposes according to a management plan.

• **Critical Biodiversity Area 1:** Any terrestrial or aquatic area required to meet biodiversity pattern and/or process thresholds. These include any area that is required for meeting pattern thresholds, namely remaining areas of Critically Endangered vegetation types and areas required to protect threatened species; any area that is required for meeting process thresholds such as areas important for climate change adaptation; and hydrological process areas such as high priority wetlands and catchments, pan clusters and pans within priority catchments. In addition to the above areas where there is little or no choice of area identified, CBAs include all 'best design' sites in terms of meeting pattern and process thresholds, identified by the iterative conservation planning process. 'Best design' refers to an identified network of natural sites that meet pattern and process thresholds in all vegetation types and features in a spatially efficient and ecologically robust way, and aim to avoid conflict with other activities (e.g. economic activity) where it is possible to achieve biodiversity thresholds elsewhere.

• **Ecological Support Areas 1 & 2:** Supporting zone required to prevent degradation of Critical Biodiversity Areas and Protected Areas. These include remaining corridor, catchment, wetland and other process areas that are required to prevent degradation of Critical Biodiversity Areas and formal Protected Areas; and areas which would otherwise have been identified as Critical Biodiversity Areas except that have been transformed or degraded, but which are currently or potentially still important for supporting ecological processes e.g. floodplain areas that have transformed or degraded. These areas are a focus for rehabilitation rather than the intensification of land uses.

- c) According to the Report the proposed road will be additional lanes to the existing approved Olievenhoutbosch Road which is already in construction.
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- j) The Report indicated for the first phase the proposed section of road will consist of only one lane. If needed, an additional lane will be added in future.



## Juanita

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**From:** Bokamoso <lizelleg@mweb.co.za>  
**Sent:** 22 October 2013 02:57 PM  
**To:** user3@bokamoso.net  
**Cc:** user1@bokamoso.net  
**Subject:** FW: Olievenhoutbosch Road - Public Participation Process EIA

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**From:** Edu & Edna [<mailto:eduednameyer@gmail.com>]  
**Sent:** 22 October 2013 02:53 PM  
**To:** Bokamoso  
**Subject:** Re: Olievenhoutbosch Road - Public Participation Process EIA

Good Day.

This serves to acknowledge that we have received the relevant notification.

Regards, E H H Meyer (Prof)

Sent from my iPad

On 22 okt. 2013, at 11:22, Bokamoso <[lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)> wrote:

Dear Interested and/or Affected Party Member,

Please refer to the attached Public Notice & Landowner and Tenant Letter regarding the proposed Olievenhoutbosch Road Project.

Hope this finds you well.

Kind Regards/Vriendelike Groete

**Juanita De Beer**

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<image001.jpg>  
**Landscape Architects &  
Environmental Consultants cc.**

T (+27)12 348 3810 | F (+27) 86 570 5658 | E: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)  
3B Lebombo Street, Ashlea Gardens, Pretoria | P. O. Box 11375 Maroelana 0161

Please consider the environment before printing this email

<Public Notice EIA.pdf>

<Landowner & Tenants Letter.pdf>

## Juanita

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**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 12 August 2013 09:39 AM  
**To:** user3@bokamoso.net  
**Subject:** FW: Olievenhoutbosch Road Development

**Flag Status:** Flagged

*Mientjie Coetzee*

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**Landscape Architects &  
Environmental Consultants cc.**

T: (+27)12 346 3810 | F: (+27) 86 570 5659 | E: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | [www.bokamoso.net](http://www.bokamoso.net)  
36 Lebombo Street, Ashlea Gardens, Pretoria | P.O. Box 11375 Maroelana 0161

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**From:** Bokamoso [<mailto:lizelleg@mweb.co.za>]  
**Sent:** 12 August 2013 08:20 AM  
**To:** [mientjie@bokamoso.net](mailto:mientjie@bokamoso.net); [user1@bokamoso.net](mailto:user1@bokamoso.net)  
**Subject:** FW: Olievenhoutbosch Road Development

**From:** Lizelle de Beer [<mailto:wildebeer@gmail.com>]  
**Sent:** 11 August 2013 04:11 PM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** Olievenhoutbosch Road Development

Hi Lizelle,

We recently became aware of the proposed Olievenhoutbosch road development and upon acquiring and reading the Scoping Report for the Olievenhoutbosch Road GAUT: 002/11-12/EO135 we have reservations about the development.

The proposed road (all three alternatives) passes very close (two to three times closer than Nellmapius road) to Cornwall Hill estate (Refer to Figure 2: Aerial Map). According to Figure 16: Visual Assessment Map, the road will also be clearly visible from houses on the estate especially those on the boundary.

The close proximity and local topography of the area overlooking the proposed road will result in a severe impact on noise levels, visuals and hence the qualitative environment from the perspective of the existing home owners on this specific boundary of Cornwall Hill Estate. An impact on property values of houses on the boundary of Cornwall Hill Estate next to the proposed road is a distinct possibility.



In Section 2.4.8 of the report it is stated that the design speed of the road is 80 km/h, but with no specific reserve width stated. Reserve road width will have an effect on the qualitative environment and should be stated in the report.

In Section 8.3.1 mention is made of mitigation measures to reduce noise levels to an acceptable level (50 dBa). It is not stated what these measures will be nor how the effectiveness of the measures will be determined and what recourse there will be if the measures are not effective or even possible.

Due to the aforementioned factors we are an Interested and Effected party and wish our comments to be included as part of the review process of the report.

How do we go about ensuring that we receive all updates and input to the above?

Regards

Marthinus/Lizelle de Beer

(082 805 5242/3)

## Letter

In terms of Section 38 of the National Heritage Resources Act (Act 25 of 1999)

Attention: JR 209 Investments (Pty) Ltd

**Portion 1, Portion 188 and the Remainder of Portion 330; Portion 335 and Portion 5 of the Farm Doornkloof 391 JR; the Road reserve of Nellmapius Drive/M31 and the Road servitude of the R21**

Thank you for your notification regarding this development.

In terms of the National Heritage Resources Act, no 25 of 1999, heritage resources, including archaeological or palaeontological sites over 100 years old, graves older than 60 years, structures older than 60 years are protected. They may not be disturbed without a permit from the relevant heritage resources authority. This means that prior to development it is incumbent on the developer to ensure that a **Heritage Impact Assessment** is done. This must include the archaeological component (Phase 1) and any other applicable heritage components. Appropriate (Phase 2) mitigation, which involves recording, sampling and dating sites that are to be destroyed, must be done as required.

The quickest process to follow for the archaeological component is to contract an accredited specialist (see the web site of the Association of Southern African Professional Archaeologists [www.asapa.org.za](http://www.asapa.org.za)) to provide a Phase 1 Archaeological Impact Assessment Report. This must be done before any large development takes place.

The Phase 1 Impact Assessment Report will identify the archaeological sites and assess their significance. It should also make recommendations (as indicated in section 38) about the process to be followed. For example, there may need to be a mitigation phase (Phase 2) where the specialist will collect or excavate material and date the site. At the end of the process the heritage authority may give permission for destruction of the sites.

Where bedrock is to be affected, or where there are coastal sediments, or marine or river terraces and in potentially fossiliferous superficial deposits, a Palaeontological Desk Top study must be undertaken to assess whether or not the development will impact upon palaeontological resources - or at least a letter of exemption from a Palaeontologist is needed to indicate that this is unnecessary. If the area is deemed sensitive, a full Phase 1 Palaeontological Impact Assessment will be required and if necessary a Phase 2 rescue operation might be necessary.

If the property is very small or disturbed and there is no significant site the heritage specialist may choose to send a letter to the heritage authority to indicate that there is no necessity for any further assessment.





**Olievenhoutbosch Road from Main Road to K54**

**Our Ref: 9/2/258/0044**

Enquiries: Andrew Salomon  
Tel: 021 462 4502  
Email: [asalomon@sahra.org.za](mailto:asalomon@sahra.org.za)  
CaseID: 3915

Date: Wednesday October 30, 2013

Page No: 2



Any other heritage resources that may be impacted such as built structures over 60 years old, sites of cultural significance associated with oral histories, burial grounds and graves, graves of victims of conflict, and cultural landscapes or viewsapes must also be assessed.

Should you have any further queries, please contact the designated official using the case number quoted above in the case header.

Yours faithfully

A handwritten signature in black ink, appearing to read 'A. Salomon'.

Andrew Salomon  
Heritage Officer: Archaeology  
South African Heritage Resources Agency

A handwritten signature in black ink, appearing to read 'C. Scheermeyer'.

Colette Scheermeyer  
SAHRA Head Archaeologist  
South African Heritage Resources Agency

**ADMIN:**

Direct URL to case: <http://www.sahra.org.za/node/136557>  
(GDARD, Ref: Gaut: 002/11-12/E0135)



The South African Heritage Resources Agency

Street Address: 111 Harrington Street, Cape Town 8000 \* Postal Address: PO Box 4837, Cape Town 8000  
\* Tel: +27 21 462 4502 \* Fax: +27 21 462 4509 \* Web: <http://www.sahra.org.za>

## Juanita

---

**From:** Juanita <user3@bokamoso.net>  
**Sent:** 16 July 2013 08:23 AM  
**To:** 'willem6060@gmail.com'  
**Subject:** RE: Fw: Olievenhoutbosch Road - Review Notice Invitation

Geagte Willem Hart,

Neem asseblief kennis dat die verslag eers Môre sal beskikbaar wees.

Jy moet eerstens net registreer vir ons onthalwe op die webtuiste– username en password – na dit kan jy in log.  
Search: Olievenhoutbosch Road.

Ek sien as 'n Raadslid is jy ook geaktiveer op die projek, ek sal jou registreer as belanghebbende persoon.

Hoop alles is in orde.

Kind Regards/Vriendelike Groete

**Juanita De Beer**

---



**Landscape Architects &  
Environmental Consultants cc.**

T: (+27)12 346 3810 | F: (+27) 86 570 5859 | E: [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)  
36 Lebombo Street, Ashlea Gardens, Pretoria | P.O. Box 11375 Maroelana 0161

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**From:** [willem6060@gmail.com](mailto:willem6060@gmail.com) [<mailto:willem6060@gmail.com>] **On Behalf Of** wh  
**Sent:** 15 July 2013 08:41 PM  
**To:** [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za)  
**Subject:** Re: Fw: Olievenhoutbosch Road - Review Notice Invitation

Lizelle,

Waar op die Bokamoso site sal mens dié verslag vind? En wat is sy presiese titel soos hy op die site verskyn?

Groete

Willem Hart



082 900 8292

On 15 July 2013 11:25, <[ward79tshwane@gmail.com](mailto:ward79tshwane@gmail.com)> wrote:  
Fyi. This affects our ward. Regards, Vickey  
Sent via my BlackBerry from Vodacom - let your email find you!

---

**From:** Christa Spoelstra <[mwcspoel@mweb.co.za](mailto:mwcspoel@mweb.co.za)>  
**Date:** Mon, 15 Jul 2013 11:13:29 +0200  
**To:** V A Bosch <[ward79tshwane@gmail.com](mailto:ward79tshwane@gmail.com)>  
**Subject:** FW: Olievenhoutbosch Road - Review Notice Invitation

Hi Another one for you. Both our wards are affected by this road!  
Regards  
C

---

**From:** "Lizelleg@mweb.co.za" <[Lizelleg@mweb.co.za](mailto:Lizelleg@mweb.co.za)>  
**Date:** Mon, 15 Jul 2013 10:53:21 +0200  
**To:** <[james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com)>, <[rrhowarth@gmail.com](mailto:rrhowarth@gmail.com)>, <[tph@tph.co.za](mailto:tph@tph.co.za)>, <[Brian.Melville-Smith@barlowworldmotor.com](mailto:Brian.Melville-Smith@barlowworldmotor.com)>, <[chrisg@bibletruths.co.za](mailto:chrisg@bibletruths.co.za)>, <[ccomrie@mhg.co.za](mailto:ccomrie@mhg.co.za)>, Dirk Heyns <[manager@cornwallhill.co.za](mailto:manager@cornwallhill.co.za)>, <[gill.udal@telkomsa.net](mailto:gill.udal@telkomsa.net)>, <[gorourke@chieftain.ie](mailto:gorourke@chieftain.ie)>, Christa Spoelstra <[mwcspoel@mweb.co.za](mailto:mwcspoel@mweb.co.za)>, <[kobus@dhkthinkspace.co.za](mailto:kobus@dhkthinkspace.co.za)>, <[hiltb@telkomsa.net](mailto:hiltb@telkomsa.net)>, <[dawie@gs2.co.za](mailto:dawie@gs2.co.za)>, <[FawkesMG@eskom.co.za](mailto:FawkesMG@eskom.co.za)>, <[michelle.marais@angloamerican.com](mailto:michelle.marais@angloamerican.com)>, <[dkoa@salbu.co.za](mailto:dkoa@salbu.co.za)>, <[robert@multicat.co.za](mailto:robert@multicat.co.za)>, <[trublet@global.co.za](mailto:trublet@global.co.za)>, <[carlomach@absamail.co.za](mailto:carlomach@absamail.co.za)>, <[tomhannay.sa@gmail.com](mailto:tomhannay.sa@gmail.com)>, <[semmelink@webmail.co.za](mailto:semmelink@webmail.co.za)>  
**Subject:** Olievenhoutbosch Road - Review Notice Invitation

Dear Interested and/or Affected Party Member,

Please refer to the attached Review Notice Invitation regarding the *Final Scoping Report* for the proposed *Olievenhoutbosch Road Project*.

All interested and affected parties are invited to review the development information. Please submit your comments on the Final Scoping Report within 21 days to the Gauteng Department of Agriculture and Rural Development (GDARD) – Attention: Justine Chan (email: [Justine.Chan@gauteng.gov.za](mailto:Justine.Chan@gauteng.gov.za) or fax: 011 355 1000). Please cc your comments to Bokamoso (email: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) or fax: 086 570 5659).

Please note that the Report will be *available from Wednesday, 17 July 2013* at the Lyttleton Library or on our website: [www.bokamoso.biz](http://www.bokamoso.biz)

Hope this finds you well

Kind Regards/Vriendelike Groete

**Juanita De Beer**

---



**Landscape Architects &  
Environmental Consultants cc.**

T. [\(+27\)12 346 3810](tel:+27123463810) | F. [\(+27\) 86 570 5659](tel:+27865705659) | E. [lizellag@rivWeb.co.za](mailto:lizellag@rivWeb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)

36 Lebombo Street, Ashlea Gardens, Pretoria | P.O. Box 11375 Marolana 0181

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**Juanita**

---

**From:** Juanita <user3@bokamoso.net>  
**Sent:** 22 October 2013 02:50 PM  
**To:** RiaanM@tshwane.gov.za  
**Subject:** RE: Olievenhoutbosch Road - Public Participation Process EIA

Dear Riaan Marais,

Thank you for your response, I have already registered Rietvlei Nature Reserve as Interested and/or Affected Party Member for the proposed Olievenhoutbosch Road Project.

We will keep you updated regarding the process in the future.

Hope this finds you well.

Kind Regards/Vriendelike Groete

**Juanita De Beer**

---



**Landscape Architects &  
Environmental Consultants cc.**

**T:** (+27)12 348 3810 | **F:** (+27) 83 570 5659 | **E:** lizalleg@mweb.co.za | **www.bokamoso.biz**  
38 Lebombo Street, Ashlea Gardens, Pretoria | P O Box 11875 Marofelana 0181

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**From:** Riaan Marais [<mailto:RiaanM@TSHWANE.GOV.ZA>]  
**Sent:** 22 October 2013 02:14 PM  
**To:** Bokamoso  
**Subject:** RE: Olievenhoutbosch Road - Public Participation Process EIA



Hi,

Is this road going to replace the Olievenhoutbosch Road?  
Please register Rietvlei Nature Reserve as a interested and affected party.

Regards,



**Riaan Marais** | Functional Head: Rietvlei Nature Reserve

Main Gate | Rietvlei Nature Reserve | Pretoria |  
PO Box 1454 | Pretoria | 0001 | [www.tshwane.gov.za](http://www.tshwane.gov.za)

Tel: 012 358 1810 | Mobile: +27 82 925 5138 | Email: [riaanm@tshwane.gov.za](mailto:riaanm@tshwane.gov.za)

**From:** Bokamoso [<mailto:lizelleg@mweb.co.za>]

**Sent:** 22 October 2013 11:22 AM

**To:** [james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com); [rrhowarth@gmail.com](mailto:rrhowarth@gmail.com); [tph@tph.co.za](mailto:tph@tph.co.za); [Brian.Melville-Smith@barlowworldmotor.com](mailto:Brian.Melville-Smith@barlowworldmotor.com); [chris.manager@cornwallhill.co.za](mailto:chris.manager@cornwallhill.co.za); [gill.udal@telkomsa.net](mailto:gill.udal@telkomsa.net); [gorourke@chieftain.ie](mailto:gorourke@chieftain.ie); [MalulekeJ@dwa.gov.za](mailto:MalulekeJ@dwa.gov.za); [mwcspoe@mweb.co.za](mailto:mwcspoe@mweb.co.za); [kobus@dhkthinkspace.co.za](mailto:kobus@dhkthinkspace.co.za); [hiltb@telkomsa.net](mailto:hiltb@telkomsa.net); [dawie@gs2.co.za](mailto:dawie@gs2.co.za); [FawkesMG@eskom.co.za](mailto:FawkesMG@eskom.co.za); [michelle.marais@angloamer.robert@multicat.co.za](mailto:michelle.marais@angloamer.robert@multicat.co.za); [trublet@global.co.za](mailto:trublet@global.co.za); [carlomach@absamail.co.za](mailto:carlomach@absamail.co.za); [tomhannay.sa@gmail.com](mailto:tomhannay.sa@gmail.com); [semmelink@webmail.c](mailto:semmelink@webmail.c); [Nina.Strydom@up.ac.za](mailto:Nina.Strydom@up.ac.za); Councillor Casper N. McDonald; [manda@soundandimage.co.za](mailto:manda@soundandimage.co.za); [roux@rouxprops.co.za](mailto:roux@rouxprops.co.za); [marese@nkoneigh@randwater.co.za](mailto:marese@nkoneigh@randwater.co.za); [visserliz@mweb.co.za](mailto:visserliz@mweb.co.za); [raj@glencarol.co.za](mailto:raj@glencarol.co.za); [edumeyer@iburst.co.za](mailto:edumeyer@iburst.co.za); [Rschuster@barlowworld-eq](mailto:Rschuster@barlowworld-eq); [Magda.oosthuizen@seeff.com](mailto:Magda.oosthuizen@seeff.com); [Magdafick@yahoo.co.uk](mailto:Magdafick@yahoo.co.uk); [estatemanager@irenefarmvillages.co.za](mailto:estatemanager@irenefarmvillages.co.za); [jaco.vdwesthuizen@me.c](mailto:jaco.vdwesthuizen@me.c); [wildebeer@gmail.com](mailto:wildebeer@gmail.com)

**Subject:** Olievenhoutbosch Road - Public Participation Process EIA

Dear Interested and/or Affected Party Member,

Please refer to the attached Public Notice & Landowner and Tenant Letter regarding the proposed Olievenhoutbosch Road.

Hope this finds you well.

Kind Regards/Vriendelike Groete

**Juanita De Beer**





**Landscape Architects &  
Environmental Consultants cc.**

T: (+27)12 346 3810 | F: (+27) 86 570 5659 | E: [izellag@mweb.co.za](mailto:izellag@mweb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)  
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## Juanita

---

**From:** Juanita <user3@bokamoso.net>  
**Sent:** 22 October 2013 02:55 PM  
**To:** RiaanM@tshwane.gov.za  
**Subject:** RE: Olievenhoutbosch Road - Public Participation Process EIA

Dear Riaan Marais,

No, it is just an additional line in the opposite direction.

Hope this finds you well.

Kind Regards/Vriendelike Groete

# Juanita De Beer

---



**Landscape Architects &  
Environmental Consultants cc.**

T: (+27)12 346 3810 | F: (+27) 86 570 5859 | E: [lizahieg@imweb.co.za](mailto:lizahieg@imweb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)  
36 Lebombo Street, Asphlea Gardens, Pretoria | P.O. Box 11375 Maroelana 0161

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**From:** Riaan Marais [<mailto:RiaanM@TSHWANE.GOV.ZA>]  
**Sent:** 22 October 2013 02:14 PM  
**To:** Bokamoso  
**Subject:** RE: Olievenhoutbosch Road - Public Participation Process EIA



TSHWANE  
Sh'isano! 2055



Hi,



Is this road going to replace the Olievenhoutbosch Road?

Please register Rietvlei Nature Reserve as a interested and affected party.

Regards,



**Riaan Marais** | Functional Head: Rietvlei Nature Reserve

---

Main Gate | Rietvlei Nature Reserve | Pretoria |  
PO Box 1454 | Pretoria | 0001 | [www.tshwane.gov.za](http://www.tshwane.gov.za)

Tel: 012 358 1810 | Mobile: +27 82 925 5138 | Email: [riaanm@tshwane.gov.za](mailto:riaanm@tshwane.gov.za)

---

**From:** Bokamoso [<mailto:lizelleg@mweb.co.za>]

**Sent:** 22 October 2013 11:22 AM

**To:** [james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com); [rrhowarth@gmail.com](mailto:rrhowarth@gmail.com); [tph@tph.co.za](mailto:tph@tph.co.za); [Brian.Melville-Smith@barloworldmotor.com](mailto:Brian.Melville-Smith@barloworldmotor.com); [christian.manager@cornwallhill.co.za](mailto:christian.manager@cornwallhill.co.za); [gill.udal@telkomsa.net](mailto:gill.udal@telkomsa.net); [gorourke@chieftain.ie](mailto:gorourke@chieftain.ie); [MalulekeJ@dwa.gov.za](mailto:MalulekeJ@dwa.gov.za); [mwcspoel@mweb.co.za](mailto:mwcspoel@mweb.co.za); [kobus@dhkthinkspace.co.za](mailto:kobus@dhkthinkspace.co.za); [hiltb@telkomsa.net](mailto:hiltb@telkomsa.net); [dawie@gs2.co.za](mailto:dawie@gs2.co.za); [FawkesMG@eskom.co.za](mailto:FawkesMG@eskom.co.za); [michelle.marais@angloamer.com](mailto:michelle.marais@angloamer.com); [robert@multicat.co.za](mailto:robert@multicat.co.za); [trublet@global.co.za](mailto:trublet@global.co.za); [carlomach@absamail.co.za](mailto:carlomach@absamail.co.za); [tomhannay.sa@gmail.com](mailto:tomhannay.sa@gmail.com); [semmelink@webmail.co.za](mailto:semmelink@webmail.co.za); [Nina.Strydom@up.ac.za](mailto:Nina.Strydom@up.ac.za); Councillor Casper N. McDonald; [manda@soundandimage.co.za](mailto:manda@soundandimage.co.za); [roux@rouxprops.co.za](mailto:roux@rouxprops.co.za); [marese@randkoneigh@randwater.co.za](mailto:marese@randkoneigh@randwater.co.za); [visserliz@mweb.co.za](mailto:visserliz@mweb.co.za); [raj@glencarol.co.za](mailto:raj@glencarol.co.za); [edumeyer@iburst.co.za](mailto:edumeyer@iburst.co.za); [Rschuster@barloworld-eq.com](mailto:Rschuster@barloworld-eq.com); [Magda.oosthuizen@seeff.com](mailto:Magda.oosthuizen@seeff.com); [Magdafick@yahoo.co.uk](mailto:Magdafick@yahoo.co.uk); [estatemanager@irenefarmvillages.co.za](mailto:estatemanager@irenefarmvillages.co.za); [jaco.vdwesthuizen@me.com](mailto:jaco.vdwesthuizen@me.com); [wildebeer@gmail.com](mailto:wildebeer@gmail.com)

**Subject:** Olievenhoutbosch Road - Public Participation Process EIA

Dear Interested and/or Affected Party Member,

Please refer to the attached Public Notice & Landowner and Tenant Letter regarding the proposed Olievenhoutbosch Road.

Hope this finds you well.

Kind Regards/Vriendelike Groete

**Juanita De Beer**

---



**Landscape Architects &  
Environmental Consultants cc.**

T: (+27)12 340 3810 | F: (+27) 86 570 5659 | E: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)  
36 Lebombo Street, Ashtea Gardens, Pretoria | P.O. Box 11375 Marozane 0161

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## Juanita

---

**From:** Juanita <user3@bokamoso.net>  
**Sent:** 23 October 2013 01:56 PM  
**To:** gorourke@chieftain.ie  
**Subject:** RE: Olievenhoutbosch Road - Public Participation Process EIA

Dear Gerard O Rourke,

Thank you for your response, I have noted your comments on our Issues and Comments Register.

Hope this finds you well.

Kind Regards/Vriendelike Groete

**Juanita De Beer**

---



**Landscape Architects &  
Environmental Consultants cc.**

T: (+27)12 346 3810 | F: (+27) 86 570 5658 | E: [izelle@rivweb.co.za](mailto:izelle@rivweb.co.za) | [www.bokamoso.biz](http://www.bokamoso.biz)  
35 Lebonko Street, Ashlea Gardens, Pretoria | P.O. Box 11375, Maroelana 0161

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---

**From:** Gerard O Rourke [<mailto:gorourke@chieftain.ie>]  
**Sent:** 23 October 2013 01:44 PM  
**To:** Bokamoso  
**Subject:** Re: Olievenhoutbosch Road - Public Participation Process EIA

I vote for ALT. 3

Kind Regards

Gerard O Rourke MMII CEO  
Chieftain Real Estate Inc  
Pretoria, South Africa.

Int Cell +353 87 3569 088  
Sa Cell +27 83 87 496 23

[gorourke@chieftain.ie](mailto:gorourke@chieftain.ie)



**Bokamoso**



**Environmental Consultants &  
Landscape Architects**

tel: [011 275 44363](tel:01127544363) / [011 275 44364](tel:01127544364) / [011 275 44365](tel:01127544365)  
36 Le Hambu Road, Ashlea Gardens, Pretoria

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## Juanita

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**From:** Ontvangs  
**Sent:** 18 October 2011 10:25 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

---

**From:** Christa Spoelstra [<mailto:mwcspoel@mweb.co.za>]  
**Sent:** 18 October 2011 09:53 AM  
**To:** [Denis.Emett@gauteng.gov.za](mailto:Denis.Emett@gauteng.gov.za)  
**Cc:** [Lizelle@mweb.co.za](mailto:Lizelle@mweb.co.za)  
**Subject:** Re: Olievenhoutbosch Road from Main Road to K54 - Public Notice

Dear Denis

The residents in Irene are very concerned about the process regarding the planning of the K105 and the bridge over the railway line at Botha/ Olievenhoutbosch.

Can you please indicate when will you be available for a meeting between the ILA, Bokamosa, M&T and Tshwane. I think it is imperative that the different parties meet to be transparent to the residents. I receive e-mails almost everyday concerning the issue. Please let me know of your availability and let me know if there are any maps available at the moment and if there is a map please e-mail it to me?

Beste regards

*CLLr/ Rld Christa Spoelstra*  
*Ward/Wyk 65*  
*Tshwane Metro*  
*082 880 5300*



**City Of Tshwane Tel no Info:**

Waste management complaints : 012 358 0577/9  
Domestic bin complaints: East:012 358 0526 Moot:012 358 6462  
North'West:012 358 0554 , South/: 012 358 1317  
By-law offences (for example, illegal street trading and illegal night club activities):  
012 358 0070 (external) Or toll-free 080 111 1556  
Electricity-related complaints 012 358 9999 Or toll free: 080 111 1556  
Tshwane Bus Services 012 358 0214/0443/0231  
After-hours sewerage complaints: 080 000 4135  
Stormwater drainage, pothole repairs 012 358 0614, [pothole@tshwane.gov.za](mailto:pothole@tshwane.gov.za)  
Reporting of water problems 012 358 2111, Proes Street Depot:012 327 0147  
Power failures: 012 339 9111  
Meter readings :Email to [meterrecords@tshwane.gov.za](mailto:meterrecords@tshwane.gov.za) , Fax to 012 359 6888, five days before billing date only. , Telephone to 012 358 9999: choose option 2 and then option 4  
Power failure reporting by SMS: sms "Power and your acc no." to 0826120333 example: "power 5120369" to 0826120333  
Bins not lifted / emptied: 012 358 9461 or mail to: [andreb@tshwane.gov.za](mailto:andreb@tshwane.gov.za) / 012 358 0592  
FIRE & EMERGENCY MEDICAL – 10177 , 012 358 2124 , 012 310 6200  
Metro Police Accidents Reports 358-7244 / 358-7114  
Traffic Fines Info. 358-7154 / 7157 / 7088 / 7089  
Reporting faulty street lights Tel 080 1111 556, 012 358 9999 or 012 358 2540/1 [streetlights@tshwane.gov.za](mailto:streetlights@tshwane.gov.za)  
Complaints and enquiries [customercare@tshwane.gov.za](mailto:customercare@tshwane.gov.za)



**From:** "Lizelleg@mweb.co.za" <Lizelleg@mweb.co.za>

**Date:** Tue, 18 Oct 2011 09:08:36 +0200

**To:** Christa Spoelstra <mwcspoel@mweb.co.za>, <wandab@tshwane.gov.za>, <gheath@geoscience.org.za>, <njanuary@jhb.sahra.org.za>, <maphata.ramphele@gauteng.gov.za>, <justicem@dwaf.gov.za>, <keetm@dwaf.gov.za>, <central@eskom.co.za>, <paia@eskom.co.za>, <schmidk@nra.co.za>, <chrisbu@gpg.gov.za>, <customerservice@randwater.co.za>, <info@wessanorth.co.za>, <salbu@icon.co.za>, <salbu@email.com>, <dehning@mweb.co.za>

**Subject:** Olievenhoutbosch Road from Main Road to K54 - Public Notice

To whom it may concern

Please refer to the attached public notice for the proposed **Olievenhoutbosch Road from Main Road to K54** project.

Please don't hesitate to contact our offices for any additional information or queries.

Kind regards  
George Gericke



## Juanita

---

**From:** Ontvangs  
**Sent:** 18 October 2011 10:23 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

---

**From:** Christa Spoelstra [<mailto:mwcspoel@mweb.co.za>]  
**Sent:** 18 October 2011 10:00 AM  
**To:** Lizelle Gregory  
**Subject:** Re: Olievenhoutbosch Road from Main Road to K54 - Public Notice

Please register me on your list  
Regards

Cllr/Rld Christa Spoelstra  
Ward/Wyk 65  
Tshwane Metro  
082 880 5300

---

**From:** "[Lizelleg@mweb.co.za](mailto:Lizelleg@mweb.co.za)" <[Lizelleg@mweb.co.za](mailto:Lizelleg@mweb.co.za)>  
**Date:** Tue, 18 Oct 2011 09:22:13 +0200  
**To:** Christa Spoelstra <[mwcspoel@mweb.co.za](mailto:mwcspoel@mweb.co.za)>, <[mayet@kungwinimun.co.za](mailto:mayet@kungwinimun.co.za)>, <[kpea@polka.co.za](mailto:kpea@polka.co.za)>, <[ireneglen@telkomsa.net](mailto:ireneglen@telkomsa.net)>, 'Secretary of Municipal Manager' <[munman@kungwinimun.co.za](mailto:munman@kungwinimun.co.za)>, <[guy@raventp.co.za](mailto:guy@raventp.co.za)>, <[riaanm@tshwane.gov.za](mailto:riaanm@tshwane.gov.za)>, <[b.j.v@mweb.co.za](mailto:b.j.v@mweb.co.za)>, <[pat@salberg.co.za](mailto:pat@salberg.co.za)>, <[alistair.cutts@gmail.com](mailto:alistair.cutts@gmail.com)>, <[gem.village@telkomsa.net](mailto:gem.village@telkomsa.net)>, <[weyers@worldonline.co.za](mailto:weyers@worldonline.co.za)>, <[loubser.dekock@za.saabgroup.com](mailto:loubser.dekock@za.saabgroup.com)>, <[ffouche@vodamail.co.za](mailto:ffouche@vodamail.co.za)>, Clive Napier <[napierc@mweb.co.za](mailto:napierc@mweb.co.za)>, <[janett@vebo.co.za](mailto:janett@vebo.co.za)>, <[barry@thelife.co.za](mailto:barry@thelife.co.za)>, <[chris@mediaventures.co.za](mailto:chris@mediaventures.co.za)>, <[jaz@midrand-estates.co.za](mailto:jaz@midrand-estates.co.za)>, <[henning.schetshe@lantic.net](mailto:henning.schetshe@lantic.net)>, <[lee-ann@enviroblasting.co.za](mailto:lee-ann@enviroblasting.co.za)>, <[sean@centurus.co.za](mailto:sean@centurus.co.za)>, <[kempestate@polka.co.za](mailto:kempestate@polka.co.za)>, <[sterkfonteinbrick3@telkomsa.net](mailto:sterkfonteinbrick3@telkomsa.net)>, <[ronnie.degabriele@corobrik.co.za](mailto:ronnie.degabriele@corobrik.co.za)>, <[piet.ackerman@holcim.com](mailto:piet.ackerman@holcim.com)>  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

To whom it may concern

Please refer to the attached public notice for the proposed **Olievenhoutbosch Road from Main Road to K54** project.

Please don't hesitate to contact our offices for any additional information or queries.

Kind regards  
George Gericke



**Bokamoso**



**Environmental Consultants &  
Landscape Architects**

tel: [www.bokamoso.co.za](http://www.bokamoso.co.za) | t: +27(0)11 546 3936 | f: +27(0)11 546 3939  
56 Lebona Road Ashlea Gardens, Pretoria

## Juanita

---

**From:** Ontvangs  
**Sent:** 18 October 2011 10:10 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice  
**Attachments:** Public Notice Olievenhoutbosch.pdf

---

**From:** Maluleke Justice [<mailto:MalulekeJ@dwa.gov.za>]  
**Sent:** 18 October 2011 09:27 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Cc:** Mathebe Tshepo (GAU)  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

Dear Lizelle

Please send us a copy of the BAR for comments.

**Wisani Justice Maluleke**

**Department of Water Affairs**

**Crocodile/ Marico Water Management Area**

**Tel: 012 392 1409**

**Cell: 082 804 9817**

**Fax: 012 392 1486**

**e-mail: [teo@dwaf.gov.za](mailto:teo@dwaf.gov.za)**

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** 18 October 2011 09:14 AM  
**To:** [ivan@ippartners.co.za](mailto:ivan@ippartners.co.za); [irenemkt@mweb.co.za](mailto:irenemkt@mweb.co.za); [deon@belvedere.co.za](mailto:deon@belvedere.co.za); [fritss@boogertmanpta.co.za](mailto:fritss@boogertmanpta.co.za); [eric@planpractice.co.za](mailto:eric@planpractice.co.za); [rudolph@law.co.za](mailto:rudolph@law.co.za); [wim@mtdevelopment.co.za](mailto:wim@mtdevelopment.co.za); [jerry@civilconcepts.co.za](mailto:jerry@civilconcepts.co.za); [junaid@p-3.co.za](mailto:junaid@p-3.co.za); [jack@centurus.co.za](mailto:jack@centurus.co.za); [jac.botha@route2.co.za](mailto:jac.botha@route2.co.za); [LutzJ@TSHWANE.GOV.ZA](mailto:LutzJ@TSHWANE.GOV.ZA); [lodiO@tshwane.gov.za](mailto:lodiO@tshwane.gov.za); [wandab@tshwane.gov.za](mailto:wandab@tshwane.gov.za); [gheath@geoscience.org.za](mailto:gheath@geoscience.org.za); [njanuary@jhb.sahra.org.za](mailto:njanuary@jhb.sahra.org.za); [maphata.ramphele@gauteng.gov.za](mailto:maphata.ramphele@gauteng.gov.za); Maluleke Justice; Keet Marius (PTA); [central@eskom.co.za](mailto:central@eskom.co.za); [paia@eskom.co.za](mailto:paia@eskom.co.za); [schmidk@nra.co.za](mailto:schmidk@nra.co.za); [chrisbu@gpg.gov.za](mailto:chrisbu@gpg.gov.za); [customerservice@randwater.co.za](mailto:customerservice@randwater.co.za); [info@wessanorth.co.za](mailto:info@wessanorth.co.za); [deon@belvedere.co.za](mailto:deon@belvedere.co.za)  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

To whom it may concern

Please refer to the attached public notice for the proposed **Olievenhoutbosch Road from Main Road to K54** project.



Please don't hesitate to contact our offices for any additional information or queries.

Kind regards  
George Gericke



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## Juanita

---

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**Sent:** 18 October 2011 10:10 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice  
**Attachments:** Public Notice Olievenhoutbosch.pdf

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**Sent:** 18 October 2011 09:27 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Cc:** Mathebe Tshepo (GAU)  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

Dear Lizelle

Please send us a copy of the BAR for comments.

**Wisani Justice Maluleke**

**Department of Water Affairs**

**Crocodile/ Marico Water Management Area**

**Tel: 012 392 1409**

**Cell: 082 804 9817**

**Fax: 012 392 1486**

**e-mail: [teo@dwaf.gov.za](mailto:teo@dwaf.gov.za)**

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** 18 October 2011 09:14 AM  
**To:** [ivan@ippartners.co.za](mailto:ivan@ippartners.co.za); [irenemkt@mweb.co.za](mailto:irenemkt@mweb.co.za); [deon@belvedere.co.za](mailto:deon@belvedere.co.za); [fritss@boogertmanpta.co.za](mailto:fritss@boogertmanpta.co.za); [eric@planpractice.co.za](mailto:eric@planpractice.co.za); [rudolph@law.co.za](mailto:rudolph@law.co.za); [wim@mtdevelopment.co.za](mailto:wim@mtdevelopment.co.za); [jerry@civilconcepts.co.za](mailto:jerry@civilconcepts.co.za); [junaid@p-3.co.za](mailto:junaid@p-3.co.za); [jack@centurus.co.za](mailto:jack@centurus.co.za); [jac.botha@route2.co.za](mailto:jac.botha@route2.co.za); [LutzJ@TSHWANE.GOV.ZA](mailto:LutzJ@TSHWANE.GOV.ZA); [lodiO@tshwane.gov.za](mailto:lodiO@tshwane.gov.za); [wandab@tshwane.gov.za](mailto:wandab@tshwane.gov.za); [gheath@geoscience.org.za](mailto:gheath@geoscience.org.za); [njanuary@jhb.sahra.org.za](mailto:njanuary@jhb.sahra.org.za); [maphata.ramphela@gauteng.gov.za](mailto:maphata.ramphela@gauteng.gov.za); Maluleke Justice; Keet Marius (PTA); [central@eskom.co.za](mailto:central@eskom.co.za); [paia@eskom.co.za](mailto:paia@eskom.co.za); [schmidk@nra.co.za](mailto:schmidk@nra.co.za); [chrisbu@gpg.gov.za](mailto:chrisbu@gpg.gov.za); [customerservice@randwater.co.za](mailto:customerservice@randwater.co.za); [info@wessanorth.co.za](mailto:info@wessanorth.co.za); [deon@belvedere.co.za](mailto:deon@belvedere.co.za)  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

To whom it may concern

Please refer to the attached public notice for the proposed **Olievenhoutbosch Road from Main Road to K54** project.



Please don't hesitate to contact our offices for any additional information or queries.

Kind regards  
George Gericke



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## Juanita

---

**From:** Ontvangs  
**Sent:** 29 November 2011 04:41 PM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - I&APs (Gaut 002/11-12/E0135)

---

**From:** Edu & Edna Meyer [<mailto:edumeyer@iburst.co.za>]  
**Sent:** 29 November 2011 04:36 PM  
**To:** 'Lizelle Gregory'  
**Subject:** RE: Olievenhoutbosch Road from Main Road to K54 - I&APs (Gaut 002/11-12/E0135)

Hallo!

Dankie vir die inligting en toekomstige uitnodigings.

Intussen moet ons vooruit beplan: Gaan ons huis platgeslaan word? (moontlik vir n ander aksie) Want ons wil in die nabye toekoms verkoop en na n aftree-oord naby Rustenburg verhuis. Wie kan help, want ek het gewonder of n instansie n "grondeis" teen ons het ?

Groetnis, Eddie Meyer

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** Tuesday, November 22, 2011 1:10 PM  
**To:** [james.ah.cambell@gmail.com](mailto:james.ah.cambell@gmail.com); [visserliz@mweb.co.za](mailto:visserliz@mweb.co.za); [raj@glencarol.co.za](mailto:raj@glencarol.co.za); [mwcspoel@mweb.co.za](mailto:mwcspoel@mweb.co.za); [edumeyer@iburst.co.za](mailto:edumeyer@iburst.co.za); [Rschuster@barloworld-equipment.com](mailto:Rschuster@barloworld-equipment.com)  
**Subject:** Olievenhoutbosch Road from Main Road to K54 - I&APs (Gaut 002/11-12/E0135)

To whom it may concern

Thank you for your correspondence regarding the proposed Olievenhoutbosch Road from Main Road to K54 project. Please note that you were registered as an Interested and/or Affected Party (I&APs) for the proposed project, and that we will inform you of any public meetings or draft reports that will be made available to all I&APs as soon as possible.

Please don't hesitate to contact our offices for any additional queries in this regard.

Kind regards,

George Gericke



**Bokamoso**



**Environmental Consultants &  
Landscape Architects**

e: [bokamoso@bokamoso.co.za](mailto:bokamoso@bokamoso.co.za) t: 011 735 46 39/38 f: 011 86 49 80 09  
16 Lelembu Road, Ashlea Gardens, Pretoria

## Juanita

---

**From:** Ontvangs  
**Sent:** 30 January 2012 08:18 AM  
**To:** User3  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

---

**From:** Brian Melvill-Smith [<mailto:Brian.Melvill-Smith@barloworldmotor.com>]  
**Sent:** 29 January 2012 05:15 PM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54 - Public Notice

Good afternoon George / Lizelle

Can you please confirm our registration as interested and affected parties?

*Kind regards*

**Brian & Jenny Melvill-Smith**

☎: (w) 011 552-9344 (h) 012 667-2379 📠: (c) 083 645-1504

☎: 086 533-7801

✉: [Brian.Melvill-Smith@BarloworldMotor.com](mailto:Brian.Melvill-Smith@BarloworldMotor.com)

🌐: [www.MyWheels.co.za](http://www.MyWheels.co.za)

🌐: [www.BuyMyCar.co.za](http://www.BuyMyCar.co.za)



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**From:** Brian Melvill-Smith  
**Sent:** 21 October 2011 05:19  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** Olievenhoutbosch Road from Main Road to K54 - Public Notice

Good morning George / Lizelle

Please register us as an interested and affected party with regard to this development.

Please confirm the registration

*Kind regards*

**Brian & Jenny Melvill-Smith**

37 Alexandra Road, Irene, Centurion, 0157

☎: 011 552-9344 (w) 012 667-2379 (h) 📠: 083 645-1504 (c)

☎: 086 533-7801 (f-email)

✉: [Brian.Melvill-Smith@BarloworldMotor.com](mailto:Brian.Melvill-Smith@BarloworldMotor.com)



: [www.MyWheels.co.za](http://www.MyWheels.co.za)

: [www.BuyMyCar.co.za](http://www.BuyMyCar.co.za)

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<http://www.mywheels.co.za/>

<http://www.buymycar.co.za/>

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---

## Juanita

---

**From:** Ontvangs  
**Sent:** 20 October 2011 08:06 AM  
**To:** George Gericke  
**Subject:** FW: OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO K54.

---

**From:** Lisa [<mailto:trublet@global.co.za>]  
**Sent:** 20 October 2011 12:52 AM  
**To:** [lizelleq@mweb.co.za](mailto:lizelleq@mweb.co.za)  
**Subject:** Fw: OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO K54.

**From:** [Lisa](#)  
**Sent:** Thursday, October 20, 2011 12:36 AM  
**To:** [lizelleq@mweb.co.za](mailto:lizelleq@mweb.co.za)[www.bokamoso.net](http://www.bokamoso.net)  
**Subject:** OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO K54.

Dear Sir or Madam:

Please list us as Interested Parties for:

Project Name: OlievenhoutboschRoad from Main Road to K54.  
Reference Number:Gaut002/11-12/E0135

Contact Information: Roger Trublet de Nermont  
[trublet@global.co.za](mailto:trublet@global.co.za)  
082 806 6388

Contact Information: Lisa Trublet de Nermont  
[trublet@global.co.za](mailto:trublet@global.co.za)  
082 885 1554

Interest in the Matter: Cornwall Hill Residents

Thank you very much for your assistance.

Regards,  
Lisa Trublet de Nermont

## Juanita

---

**From:** Ontvangs  
**Sent:** 05 January 2012 08:54 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road from Main Road to K54.

Elsa Viviers  
Namens/on behalf of  
Lizelle Gregory

*Bokamoso*

Environmental Consultants &  
Landscape Architects

t: +27(12) 346 3810 | f: 27 86 570 5659 | c: 083 255 8384  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | 36 Lebombo Road Ashlea Gardens, PTA



---

**From:** At van Niekerk [<mailto:estatemanager@irenefarmvillages.co.za>]  
**Sent:** 03 January 2012 04:20 PM  
**To:** 'Lizelle Gregory'  
**Subject:** RE: Olievenhoutbosch Road from Main Road to K54.

Geagte Dame,

Ek volg net op m.b.t. enige verdere verwickelinge in die aangeleentheid.

Groete.

**At van Niekerk**  
Estate Manager / Landgoedbestuurder  
Irene Farm Villages HOA/HEV

Tel: 012-662-3505 (Reception)  
Tel: 012-662-5601 (Direct)  
Fax: 012-662-5602;  
Mobile: 079 525 9281  
[www.irenefarmvillages.co.za](http://www.irenefarmvillages.co.za)

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** Wednesday, October 19, 2011 7:56 AM  
**To:** [estatemanager@irenefarmvillages.co.za](mailto:estatemanager@irenefarmvillages.co.za)  
**Subject:** Olievenhoutbosch Road from Main Road to K54.

More Mnr. van Niekerk

Vind aangeheg die publieke kennisgewing vir die beplande deel van die Olievenhoutbosch pad soos laas week met jou bespreek. Weereens dankie vir die moeite om die kennisgewings in die Irene Farm Estate te versprei.



Vriendelike groete

George Gericke



**Juanita**

---

**From:** Ontvangs  
**Sent:** 18 October 2011 04:52 PM  
**To:** George Gericke  
**Subject:** FW: OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO K54

---

**From:** Kobus Knoetze [<mailto:kobus@dhkthinkspace.co.za>]  
**Sent:** 18 October 2011 04:49 PM  
**To:** [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za)  
**Subject:** OLIEVENHOUTBOSCH ROAD FROM MAIN ROAD TO K54

Hi Lizelle

As I am a Irene resident (1 Clifford Road), please list me and let me know when the next meeting will be.

Kind Regards


**KOBUS KNOETZE**  
Interior Designer



6th Floor De Waterkant Centre  
9 Somerset Road  
Cape Town 8001  
South Africa  
Tel +27 (0) 21 421 6803  
Fax +27 (0) 21 421 8293  
Mobile +27 (0) 83 633 8922  
Email [kobus@dhkthinkspace.co.za](mailto:kobus@dhkthinkspace.co.za)

1st floor no 3 Melrose Square  
Melrose Arch  
Johannesburg 2169  
South Africa  
Tel +27 (0) 11 684 1234  
Fax +27 (0) 11 684 1673  
Web [www.dhkthinkspace.co.za](http://www.dhkthinkspace.co.za)



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Information from ESET NOD32 Antivirus, version of virus signature database 6553  
(20111018)

The message was checked by ESET NOD32 Antivirus.

<http://www.eset.com>

## Juanita

---

**From:** Ontvangs  
**Sent:** 20 October 2011 08:06 AM  
**To:** George Gericke  
**Subject:** FW: OLIEVENHOUTBOSCHROAD ROAD FROM MAIN ROAD TO K54.

---

**From:** Lisa [<mailto:trublet@global.co.za>]  
**Sent:** 20 October 2011 12:32 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** OLIEVENHOUTBOSCHROAD ROAD FROM MAIN ROAD TO K54.

Dear Sir or Madam:

Please list us as an Interested Parties for:

Project Name: OlievenhoutboschRoad from Main Road to K54.  
Reference Number:Gaut002/11-12/E0135

Roger Trublet de Nermont  
[trublet@global.co.za](mailto:trublet@global.co.za)  
082 806 6388

Lisa Trublet de Nermont  
[trublet@global.co.za](mailto:trublet@global.co.za)  
082 885 1554

Cornwall Hill Residents

Thank you very much for your assistance.

Regards,

Lisa Trublet de Nermont



## Juanita

---

**From:** Ontvangs  
**Sent:** 20 October 2011 08:36 AM  
**To:** George Gericke  
**Subject:** FW: Re. Public Meeting 24 May 2011

---

**From:** James AH Campbell [<mailto:james.ah.campbell@gmail.com>]  
**Sent:** 19 October 2011 04:51 PM  
**To:** 'Lizelle Gregory'  
**Subject:** RE: Re. Public Meeting 24 May 2011

Hi George,

Many thanks. Look forward to reading.

Will you also be able to respond to my other emails?

Best regards,

James

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** 19 October 2011 12:03  
**To:** [james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com)  
**Subject:** RE: Re. Public Meeting 24 May 2011

---

**From:** Ontvangs  
**Sent:** 19 October 2011 08:27 AM  
**To:** George Gericke  
**Subject:** FW: Re. Public Meeting 24 May 2011

Good day James

I apologize that I totally overlooked the fact that I didn't send the minutes to you. Please refer to the attached minutes of the meeting as requested. Also note that we are awaiting information from the traffic engineers at this stage. We will inform you when another meeting takes place, and when the draft reports will be made available to the interested parties. Also note that you were registered as an Interested and/or Affected party for both the proposed k105 project and the recently advertised Olievenhoutbosch Road project. At this stage no additional information is available.

Kind regards,  
George Gericke

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



e: [jahc@bokamoso.co.za](mailto:jahc@bokamoso.co.za) f: +27 83 457 3724 f: +27 86 539 3608  
16 Leandra Road Ashlea Gardens Pretoria

---

**From:** James AH Campbell [<mailto:james.ah.campbell@gmail.com>]

**Sent:** 18 October 2011 04:55 PM

**To:** 'Lizelle Gregory'

**Cc:** 'Heather Maynier'; 'Christa Spoelstra'

**Subject:** Re: Public Meeting 24 May 2011

Hi George,

Further to the attached presentation made at a public meeting on 24 May 2011,

I'd like to state that I received no notices in 2009 and 2011 as per slides 8 and 9 of the attached. I was also not invited to the 24 May 2011 public meeting. I live within 100m of the so-called quarter-link. Further advertising in the Beeld newspaper is irrelevant to me as I do not speak Afrikaans. I also put all of my requests/comments in writing (as requested), but get no reply. Copies of all my emails are available on request. I also attended the public meeting on 1 August 2011 and made a number of written submissions. I have yet to receive any response or minutes from this meeting.

Please kindly advise.

Best regards,

James AH Campbell

Mobile/Cell: +27 83 457 3724

Fax no: +27 86 539 3608

Email: [james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com)

Skype: jahcampbell1

Web: <http://www.linkedin.com/in/jamesahcampbell>

<<...>>

## Juanita

---

**From:** Ontvangs  
**Sent:** 20 October 2011 01:38 PM  
**To:** George Gericke  
**Subject:** FW: Re. Public Meeting 24 May 2011

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**From:** James AH Campbell [<mailto:james.ah.campbell@gmail.com>]  
**Sent:** 20 October 2011 01:11 PM  
**To:** 'Lizelle Gregory'  
**Subject:** RE: Re. Public Meeting 24 May 2011

Hi George,

Have read the minutes and they seem fine to me, many thanks.

Look forward to your response on my other emails.

Best regards,

James

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** 19 October 2011 12:03  
**To:** [james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com)  
**Subject:** RE: Re. Public Meeting 24 May 2011

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**From:** Ontvangs  
**Sent:** 19 October 2011 08:27 AM  
**To:** George Gericke  
**Subject:** FW: Re. Public Meeting 24 May 2011

Good day James

I apologize that I totally overlooked the fact that I didn't send the minutes to you. Please refer to the attached minutes of the meeting as requested. Also note that we are awaiting information from the traffic engineers at this stage. We will inform you when another meeting takes place, and when the draft reports will be made available to the interested parties. Also note that you were registered as an Interested and/or Affected party for both the proposed k105 project and the recently advertised Olievenhoutbosch Road project. At this stage no additional information is available.

Kind regards,  
George Gericke



**Bokamoso**



**Environmental Consultants &  
Landscape Architects**

01021631000  
01021631000  
36 Lehanby Road Ashlea Gardens, Pretoria

---

**From:** James AH Campbell [<mailto:james.ah.campbell@gmail.com>]

**Sent:** 18 October 2011 04:55 PM

**To:** 'Lizelle Gregory'

**Cc:** 'Heather Maynier'; 'Christa Spoelstra'

**Subject:** Re: Public Meeting 24 May 2011

Hi George,

Further to the attached presentation made at a public meeting on 24 May 2011.

I'd like to state that I received no notices in 2009 and 2011 as per slides 8 and 9 of the attached. I was also not invited to the 24 May 2011 public meeting. I live within 100m of the so-called quarter-link. Further advertising in the Beeld newspaper is irrelevant to me as I do not speak Afrikaans. I also put all of my requests/comments in writing (as requested), but get no reply. Copies of all my emails are available on request. I also attended the public meeting on 1 August 2011 and made a number of written submissions. I have yet to receive any response or minutes from this meeting.

Please kindly advise.

Best regards,

James AH Campbell

Mobile/Cell: +27 83 457 3724

Fax no: +27 86 539 3608

Email: [james.ah.campbell@gmail.com](mailto:james.ah.campbell@gmail.com)

Skype: jahcampbell1

Web: <http://www.linkedin.com/in/jamesahcampbell>

<<...>>

**Juanita**

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**From:** Ontvangs  
**Sent:** 09 September 2011 11:13 AM  
**To:** George Gericke  
**Subject:** FW: Registration as an interested and affected party: Preferred Alignment (A) K105

---

**From:** Melonie McKechnie [<mailto:mel@gafrika.com>]  
**Sent:** 09 September 2011 10:58 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** Registration as an interested and affected party: Preferred Alignment (A) K105

Dear Sir/Madam

**Registration as an interested and affected party to: Preferred alignment (A) of the K105 between Olievenhoutbosch Road and Main Rd Intersection.**

As a resident of Irene, I hereby register as an interested and affected party to the preferred alignment(A) of the K105 between Olievenhoutbosch Road and Main Rd Intersection.

Yours sincerely  
**M McKechnie**  
**Irene Resident**  
Tel: 012-667 1376  
Fax: 012-667 5229  
Email: [mel@gafrika.com](mailto:mel@gafrika.com)

## Juanita

---

**From:** Ontvangs  
**Sent:** 24 October 2011 02:36 PM  
**To:** Niel Brink; Thabang Hlongwane; George Gericke  
**Subject:** FW: Registration as IAP: Olievenhoutbosch Road from Main Road to K54

-----Original Message-----

From: Natalie Koneight [<mailto:nkoneigh@randwater.co.za>]  
Sent: 24 October 2011 01:03 PM  
To: [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za)  
Subject: Registration as IAP: Olievenhoutbosch Road from Main Road to K54

Dear Sir/Madam

Rand Water is hereby registering as IAP for the above-mentioned project.

Kindly forward confirmation of registration as IAP to Natalie Koneight at [nkoneigh@randwater.co.za](mailto:nkoneigh@randwater.co.za)

Attached is Rand Water's Wayleaves, for your information.

Rand Water would like to be sure that the development as per the BID have planned adequately for their sewerage removal off site.

Please provide Rand Water with :

1. The detail about the facility that will receive the sewerage.
2. An agreement that the identified sewerage facility is aware of the development and that they have the capacity to accept the sewerage from the site without overloading the facility.
3. Will there be any discharges other than the sewerage system that will increase storm water entering the environment. If so, has the development considered retention and stilling ponds to slow down high peak flows.

If the sewerage facility cannot accept the additional load into their facility then this will have a negative impact on the environment and the pollution load into the river systems



Natalie Koneight  
Secretary to Leslie Hoy

EMS Department, GSSE

[cid:image002.jpg@01CA5626.C30DADC0](#)

T +27-11-724-9366

F +27-11-900-2108

E [nkoneigh@randwater.co.za](mailto:nkoneigh@randwater.co.za) <<mailto:xxx@randwater.co.za>>

[www.randwater.co.za](http://www.randwater.co.za)

**Juanita**

---

**From:** Ontvangs  
**Sent:** 20 October 2011 09:57 AM  
**To:** George Gericke  
**Subject:** FW: Registration as interested party Olivenhoutbosch

---

**From:** Mara Temple [<mailto:Mara.Temple@gpaa.gov.za>]  
**Sent:** 20 October 2011 09:21 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** Registration as interested party Olivenhoutbosch

Olievenhoutbosch road development north of the Estate that will link the R21 to the road that passes Centurion Golf Estate

**Mara Temple**

---

Assistant Manager Payroll: Finance • Government Pensions Administration Agency  
Tel: (012) 319 1004 • Fax: 012 319 3812 • [mara.temple@gpaa.gov.za](mailto:mara.temple@gpaa.gov.za)

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GPAA e-mail Disclaimers and confidential note

This e-mail is intended for the exclusive use of the addressee only. If you are not the intended recipient, you should not use the contents or disclose them to any other person. Please notify the sender immediately and delete the e-mail. This e-mail is not intended nor shall it be taken to create any legal relations, contractual or otherwise.

Legally binding obligations can only arise for the GPAA by means of a written instrument signed by an authorised signatory.

=====  
===

**Juanita**

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**From:** Ontvangs  
**Sent:** 20 April 2012 12:09 PM  
**To:** User3; User4; User5  
**Subject:** FW: Ticket: E1F29914FFE0F Re: Draft Scoping Report - Olievenhoutbosch Road

**From:** [customerservice@randwater.co.za](mailto:customerservice@randwater.co.za) [<mailto:customerservice@randwater.co.za>]  
**Sent:** 20 April 2012 09:15 AM  
**To:** Lizelle Gregory  
**Subject:** Ticket: E1F29914FFE0F Re: Draft Scoping Report - Olievenhoutbosch Road

Thank you for contacting the Rand Water Customer Service Centre, one of our Customer Service Advisors will contact you shortly.

This is a system generated response and ticket number, please do not reply to this email or use it as a reference.



**RAND WATER**

Customer Service Centre

[Customersevice@randwater.co.za](mailto:Customersevice@randwater.co.za)

This email and any accompanying attachments may contain confidential and proprietary information. This information is private and protected by law and, accordingly, if you are not the intended recipient, you are requested to delete this entire communication immediately and are notified that any disclosure, copying or distribution of or taking any action based on this information is prohibited.

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**Juanita**

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 23 April 2012 02:15 PM  
**To:** casperm@tshwane.gov.za  
**Subject:** RE: DKOA: Bokamoso Notice\_Draft Scoping Report - Olievenhoutbosch Road

Hi Casper,

Baie dankie vir die terugvoering, waardeer dit baie.

Ek sal jou op die Registreerde belanghebbende lys registreer en jou ophoogte hou in verband met al die projekte. Daar is ook 'n K56 verslag waarop ons werk, sal jou ook registreer op daardie projek.

Groete

Juanita De Beer



---

**From:** Councillor Casper N. McDonald [<mailto:CasperM@TSHWANE.GOV.ZA>]  
**Sent:** 23 April 2012 10:23 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** RE: DKOA: Bokamoso Notice\_Draft Scoping Report - Olievenhoutbosch Road

Hi Lizelle

Ek is onlangs as die woordvoerder van die DA oor paaie aangestel. Ek was dus nie voorheen by die projek betrokke. Stuur asb vir my alle tersaaklike inligting en plaas my asb op die uitnodigingslys sodat ek my kan instudeer die vergaderings kan bywoon n

Groete

**CASPER MC DONALD**  
**RAADSLID/ COUNCILLOR**  
**DA WOORDVOORDER; PAAIE EN VERVOER**  
**DA SPOKESPERSON; ROADS AND TRANSPORT**

**WYK/ WARD**      **64**

**SEL/CEL**              **082 563 4570**

**FAKS/ FAX**          **086 503 5231**



---

**From:** [dkoa\\_list-bounces@salbu.co.za](mailto:dkoa_list-bounces@salbu.co.za) [mailto:[dkoa\\_list-bounces@salbu.co.za](mailto:dkoa_list-bounces@salbu.co.za)] **On Behalf Of** DKOA\_LIST

**Sent:** Saturday, April 21, 2012 12:23 PM

**To:** DKOA\_LIST (LONG)

**Subject:** DKOA: Bokamoso Notice\_Draft Scoping Report - Olievenhoutbosch Road

Greetings,

**Bokamoso Notice\_Draft Scoping Report - Olievenhoutbosch Road**

**GAUTENG REF NO: GAUT XXXXX**

Please see Bokamoso notice below.

We asked that the Doornkloof Owners Association (DKOA) be registered as an Interested and Affected Party (I&AP).

**For more information contact:**

Juanita De Beer or George Gericke Telephone: 012-346-3810

Bokamoso Landscape Architects and Environmental Consultants

Kind regards,

David Larsen - Salbu

Secretary: Doornkloof Owners Association (DKOA)

For more information see URL: <http://www.salbu.co.za/dkoa>

**PLEASE PASS THIS MESSAGE ON TO THREE NEIGHBOURS  
AND ASK THEM TO DO THE SAME**

Begin forwarded message:

**From:** "Lizelle Gregory" <[lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)>

**Date:** 20 April 2012 12:12:51 GMT+02:00

Dear Interested and Affected Party Member,



To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer



## Olievenhoutbosch Road



All interested and affected parties are invited to review the development information and to register any issues and concerns to be included and addressed in the Final Scoping Report.

**Venue:** Lyttleton Library

**Tel:** 012 644 0382

**Date:** Available until 4 June 2012

**Website:** No access at the moment.

Please do not hesitate to contact us if there are any questions in connection with the above-mentioned development.

Contact Person: Juanita De Beer

Tel (012) 346 3810 Fax (086) 570 5659

E-mail: [info@bokamoso.co.za](mailto:info@bokamoso.co.za)

Website: [www.bokamoso.net](http://www.bokamoso.net)





## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 08:56 AM  
**To:** njanuary@jhb.sahra.org.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

  
**Environmental Consultants &  
Landscape Architects**  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | t: +27(12) 546 3810 | f: +27(26) 570 56 59  
36 Lebombo Road, Addele Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:00 AM  
**To:** maphata.ramphele@gauteng.gov.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | t: +27(0)21 516 4810 | f: +27(0)21 570 56 59  
76 Lebonolo Road, Midway Gardens, Pretoria



## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** customerservice@randwater.co.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



e [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | f +27 12 436 3810 | f +27 36 576 5659  
36 Delonbo Road - Shalea Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** chrisbu@gpg.gov.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



~ lizelleg@mweb.co.za | t: +27(11) 346 3310 | f: +27 86 570 56 59  
30 Echomho Road / Achiba Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** RudzaniM@TSHWANE.GOV.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



© [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | T: +27(0)11 467710 | F: +27(0)11 467759  
36 Edouardo Road - Aldeia Gardens, Pretoria





## GAUTENG PROVINCE

AGRICULTURE AND RURAL DEVELOPMENT  
REPUBLIC OF SOUTH AFRICA

### FAX COVER

Receiver's Details		Sender's Details	
To:	Rethabile Nkosi	From:	Steven Mukhola
Company:	Department of Human Settlements	Section:	EPIA
Fax no.	011 355 4000	Floor:	3 <sup>rd</sup> Floor Diamond Building, 11 Diagonal Street, JHB
Tel no.	011 355 4205	Tel:	(011) 240 - 2572
Date:		Pages:	2 including fax cover
Re:	<p><u>GAUT REFERENCE 002/13-14/E0153</u></p> <p>GRANTING OF ENVIRONMENTAL AUTHORISATION FOR THE PROPOSED CONSTRUCTION OF MIXED USE TOWNSHIP ENCOMPASSING EDUCATIONAL, COMMERCIAL, SHOW ROOMS, BUSINESS, RETAIL, SHOPS PLACE OF AMUSEMENT, RESTAURANT, HOTEL, OFFICES, RESIDENTIAL USES AND ASSOCIATED INFRASTRUCTURE ON PORTIONS 87, 148, 149 AND THE REMAINDER OF PORTION 1 OF THE FARM RIETFontein 61 IR, CITY OF JOHANNESBURG METROPOLITAN MUNICIPALITY</p>		

Cc: GDARD EPIA

Fax: 086 581 0363



## GAUTENG PROVINCE

AGRICULTURE AND RURAL DEVELOPMENT  
REPUBLIC OF SOUTH AFRICA

OFFICE OF THE HEAD OF DEPARTMENT (HOD)  
Diamond Building, 11 Diagonal Street, Newtown  
PO Box 8769, Johannesburg, 2000  
Tel: 011 240 2500  
Fax: 011 240 2700

Reference: Gaut 002/13-14/E0153  
Enquiries: Steven Mukhola  
Telephone: 011 240 25739  
E-mail: [Steven.Mukhola@gauteng.gov.za](mailto:Steven.Mukhola@gauteng.gov.za)

BY FAX: 011 355 4000

BY REGISTERED MAIL

Department of Human Settlements  
P/Bag X 79  
MARSHALLTOWN  
2107

Tel No.: 011 355 4205

Dear Rethabile Nkosi

GDARD  
Office of the HOD  
05 JUN 2015  
000001

**GRANTING OF ENVIRONMENTAL AUTHORISATION FOR THE PROPOSED CONSTRUCTION OF MIXED USE TOWNSHIP ENCOMPASSING EDUCATIONAL, COMMERCIAL, SHOW ROOMS, BUSINESS, RETAIL, SHOPS, PLACE OF AMUSEMENT, RESTAURANTS, HOTEL, OFFICES, RESIDENTIAL USES AND ASSOCIATED INFRASTRUCTURE ON PORTIONS 87,148, 149 AND THE REMAINDER OF PORTION 1 OF THE FARM RIET FONTEIN 61 IR, CITY OF JOHANNESBURG METROPOLITAN MUNICIPALITY**

Your application received by the Department on 19 February 2015 in the above regard refers.

With reference to the above-mentioned application, please be advised that this Department has decided to grant Environmental Authorisation. The Environmental Authorisation and reasons for the decision are attached herewith as Annexure 1.

In terms of Regulation 10 (2) of the Environmental Impact Assessment Regulations, 2010, you are instructed to notify all registered interested and affected parties, in writing and within **twelve (12) calendar days** of the date of this letter, of the Department's decision in respect of your application as well as the provisions regarding the making of appeals that are provided for in the regulations.

Your attention is drawn to Chapter 7 of the Regulations which regulates appeal procedures. Should you wish to appeal any aspect of the decision, you must, *inter alia*, lodge a notice of intention to appeal with the MEC, within **twenty (20) calendar days** of the date of this letter, by means of one of the following methods:

**Postal Address:**

The Appeals Administrator  
Department of Agriculture and Rural Development  
PO Box 8769  
JOHANNESBURG  
2000

**Physical Address:**

The Appeals Administrator  
Department of Agriculture and Rural Development  
11 Diagonal Street  
Diamond Building, 04<sup>th</sup> Floor  
Newtown  
**JOHANNESBURG**  
2000

GDARD  
Office of the HOD  
05 July 2015  
000001


Fax No: 011 240 3158/2700

Email Address: [appeals@gauteng.gov.za](mailto:appeals@gauteng.gov.za)

Your appeal must be submitted in the prescribed appeal form obtainable from the appeal administrator, Ms Tsholofelo Mere at telephone number 011 240 3204 or email address [Tsholofelo.mere@gauteng.gov.za](mailto:Tsholofelo.mere@gauteng.gov.za). The appeal form is also available from our website: [www.gdard.gpg.gov.za](http://www.gdard.gpg.gov.za). Should you have queries or require additional information regarding the appeal process, you can contact the appeal administrator on any of the mentioned contact details.

Should you wish to make further enquiries regarding the content of this Environmental Authorisation, please do not hesitate to contact Steven Mukhola, Impact Management at telephone number 011 240 2573 or email address [Steven.Mukhola@gauteng.gov.za](mailto:Steven.Mukhola@gauteng.gov.za).

Yours faithfully



MS. THANDEKA MBASSA  
HEAD OF DEPARTMENT  
DATE: 05/06/15





**GAUTENG PROVINCE**  
AGRICULTURE AND RURAL DEVELOPMENT  
REPUBLIC OF SOUTH AFRICA

**GDARD**  
Office of the HOD  
05 JUN 2015 09:08

### Environmental Authorisation

**Reference Number:**

Gaut 002/13-14/E0153

**Holder of Environmental Authorisation:**

Department of Human Settlements  
(former Department of Local Government and Housing)

**Location of activities:**

Portions 87, 148, 149 and the Remainder of Portion 1 of the Farm Rietfontein 61 IR

## 1. Decision

The Department is satisfied, on the basis of information available and subject to compliance with the conditions of this Environmental Authorisation, that the application should be authorised to undertake the proposed activity with respect to construction of the development as listed below and associated infrastructure.

## 2. Activities authorised

By virtue of the powers conferred by the National Environmental Management Act, 1998 (Act No. 107 of 1998, as amended) and the Environmental Impact Assessment Regulations, 2010, the Department hereby, subject to compliance with conditions herein, authorises-

**Department of Human Settlements (former Department of Local Government and Housing)**

with the following contact details-

Private Bag X 7910519  
MARSHALLTOWN  
2107

GDARD  
Office of the Hon

05 JUN 2015

000001

Tel No: 011 355 4205

to undertake the activity listed as activity 9, 10, 11, 18, 21, 37 and 39 of Listing Notice 1; activity 15 of Listing Notice 2 and activity 4, 6, 13, 16, of Listing Notice 3 of the Environmental Impact Assessment Regulations, 2010 promulgated in terms of the National Environmental Management Act (NEMA), 1998 (Act No. 107 of 1998, as amended). The development is proposed to be undertaken on Portions 87, 148, 149 and Remainder of Portion 1 of the Farm Rietfontein 61 IR, which falls within the jurisdiction of City of Johannesburg Metropolitan Municipality. ("hereafter referred to as the property").

The granting of this Environmental Authorisation is subject to the conditions set out below.

## 3. Specific Conditions

- 3.1 The three sites identified as burial grounds on the development site must be fenced off, rehabilitated and landscaped. The sites must be accessible to family members of individuals buried in those graves.
- 3.2 No exhumation of the graves maybe undertaken without prior written approval from South African Heritage Resources Association (SAHRA) a-
- 3.3 Should any bones or human and/or animal material be exposed during construction which human and/or animal material or bones could potentially contain anthrax spores, all activities in the vicinity of the area of exposure must stop immediately and a health specialist engaged to determine the existence of such a threat.
- 3.4 The relocation of the Sizwe Hospital is not approved in this Environmental Authorisation. The hospital property must be properly fenced off. Buildings on site that are older than 60 years maybe be demolished or upgraded once written approval/permit from SAHRA is obtained.
- 3.5 The holder of the EA must implement all the services upgrades as determined by the services authorities
- 3.6 Should any of the proposed activities trigger listed activities in terms of National Environmental Management: Air Quality Act, (Act No. 39 of 2004, an Atmospheric Emission License must be obtained from City Of Johannesburg Metropolitan Municipality before commissioning of such activity.
- 3.7 Access roads and the construction of linking roads (outside the authorized site) must be approved by the South African National Road Agency and Gauteng Department of Roads and Transport.



- 3.8 Should there be any hazardous medical waste sites discovered during construction phase, authorities must be contacted immediately and construction within and in the vicinity of the affected area must be suspended until the waste has been properly classified and/or disposed of and the affected area properly treated.
- 3.9 Equipment to be used during the construction phase must be adequately maintained to prevent pollution due to spills of oil, diesel, fuel and/or hydraulic fluids.
- 3.10 Where engine oil, diesel and/or solvent materials are accidentally spilled on the ground, the contaminated soil must be immediately excavated and remediated using appropriate and applicable measures and/or removed to a suitable waste disposal facility.
- 3.11 An independent suitably qualified person must be appointed to act as an Environmental Control Officer and Environmental Auditor
- 3.12 An appropriate management authority (e.g. the body corporate) that must be contractually bound to implement the EMPr and environmental authorisation during the operational phase of the development must be identified and informed of their responsibilities in terms of the EMPr and environmental authorisation. As soon as it is established, the management authority must notify the Department and provide relevant contact details.
- 3.13 All sensitive areas on site must be designated and incorporated into an open space system.
- 3.14 An Ecological Management Plan to manage the open space system must be developed by a suitable qualified person in Natural Science Profession and submitted to this Department prior to the commencement of construction activities at site.
- 3.15 The open space system must be fenced off prior to construction commencing (including site clearing and pegging). All construction-related activities (including service roads, temporary housing, temporary ablution, disturbance of natural habitat, storing of equipment/building materials/vehicles or any other construction activity) must be excluded from the open space system.
- 3.16 Access of vehicles to the open space system must be prevented.
- 3.17 The edge of the wetland must be clearly demarcated in the field with pegs or poles that will last for the duration of the construction phase, colour-coded as follows:  
 o RED - Indicating the edge of the wetland (Note: This includes the permanent, seasonal and temporal wetlands, or parts thereof)  
 o ORANGE - Indicating the edge of the buffer zone (30m)
- 3.18 The edge of the watercourse must be clearly demarcated in the field with pegs or poles that will last for the duration of the construction phase, colour-coded as follows:  
 o RED - Indicating the 1:100 year flood line. These should be placed along the entire length of the property/site.  
 o ORANGE - Indicating the edge of the buffer zone (32m)
- 3.19 The Orange Listed plant on site, namely Trachyandra erythrorrhiza should be relocated to open space area on site by the qualified specialist with the presence of the Departmental scientist.
- 3.20 Indigenous plant species, preferably endemic species, should be used for landscaping on site. As far as possible, plants naturally growing on the development site, but would otherwise be destroyed during clearing for development purposes, should be incorporated into landscaped areas. Forage and host plants required by pollinators should also be planted in landscaped areas.
- 3.21 The wetland, river(s) and a protective buffer zone, beginning from the outer edge of the wetland temporary zone, must be designated as sensitive in a sensitivity map. No development is permitted on the wetland, riparian zones and/or in the buffer zones whatsoever.
- 3.22 A sensitivity map, designating the open space system, wetland and riparian zones and buffers as required by the conditions of this environmental authorisation, location of grave sites, the Sizwe Hospital must be developed, overlain over the site development plan and submitted to this Department for approval prior to the commencement of construction activities on site.
- 3.23 Appropriate erosion control measures must be undertaken to manage erosion on site.
- 3.24 No development activity requiring approval should be undertaken within the water course without prior approval from relevant authorities.



#### 4. Management of the activities

- 4.1 The draft Environmental Management Programme (EMPr) submitted with this application is approved and is considered an extension of this environmental authorization. The EMPr is binding to all contractors and operators on site.
- 4.2 Notwithstanding the approval of the draft EMPr, the holder of environmental authorization must update the draft EMPr, incorporating the conditions of this environmental authorization and must submit to this Department before commencement of construction activities on site.
- 4.3 An updated Waste Management Plan (WMP) must be developed and submitted to the Department within 90 days from the date of signature of the environmental authorisation. The updated WMP must "inter alia" include the following:
- o Separation of waste at source and recycling initiatives during construction and operation phases;
  - o Emergency Plan to deal potential hazardous circumstances which might occur during all the project life cycle and must include the specific emergency centres identified and a list of emergency telephones; and identification of all potential emergencies that could arise (e.g. fire and injury);
  - o Measures to reduce waste disposal. Builder rubble must be recycled before the unrecyclable materials are disposed of at a licensed landfill site. In this regard, the Gauteng Provincial Building and Demolition Guidelines, 2009 must be considered as a reference;
  - o Measures to prevent burning of waste on site;
  - o Litter control measures to be implemented on site to prevent littering during both construction and operation phases;
  - o Measures to ensure that on completion of the construction, all litter and construction debris will be removed from the site immediately;
  - o Indication that all unrecyclable waste will be disposed of at a registered or permitted waste disposal site for the type of waste produced.
- 4.4 A Storm Water Management Plan should be developed and submitted to the City of Johannesburg Metropolitan Municipality for approval.
- 4.5 No effluent may be discharged into any watercourse including groundwater resources without the necessary approval from relevant authorities. Effluent discharged to the municipal sewerage system must comply with the relevant requirements and bylaws set out by the City of Johannesburg Metropolitan Municipality.

#### 5. Monitoring:

- 5.1 Quarterly monitoring reports must be compiled by the ECO for the duration of the construction phase and must be available on request by the authorities.

#### 6 General conditions

- 6.1 Conditions of this Environmental Authorisation are binding on the holder of the Environmental Authorisation, including any person acting on his or her behalf, including but not limited to, an agent, sub-contractor, employee or person rendering a service to the holder of the Environmental Authorisation.
- 6.2 The activities which are authorised may only be carried out at the property or site indicated in the activities location mentioned above.
- 6.3 Any changes to, or deviations from, the project description set out in this authorisation must be approved, in writing, by this Department before such changes or deviations may be effected. In assessing whether to grant such approval or not, this Department may request such information as it deems necessary to evaluate the significance and impacts of such changes or deviations and it may be necessary for the holder of this Environmental Authorisation to apply for further authorisation in terms of the Environmental Impact Assessment Regulations, 2014.

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05 JUN 2015  
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- 6.4 These activities must commence within a period of **ten (10) years** from the date of issue. If commencement of the activities does not occur within that period, and the authorisation lapses, a new application for Environmental Authorisation must be made in order for the activities to be undertaken.
- 6.5 This Environmental Authorisation does not negate the holder of the authorisation's responsibility to comply with any other statutory requirements that may be applicable to the undertaking of the activities.
- 6.6 A copy of this Environmental Authorisation must be kept at the property where the activity will be undertaken. The Environmental Authorisation must be produced to any authorised official of this Department who requests to see it and must be made available for inspection by any employee or agent of the holder of this Environmental Authorisation who works or undertakes work at the property.
- 6.7 Where any of the applicant's contact details change, including the name of the responsible person, the physical or postal address and/ or telephonic details, the applicant must apply to this Department as soon as the new details become known to the applicant.
- 6.8 The holder of this Environmental Authorisation must notify the Department, in writing and within **twenty four (24) hours**, if the conditions of this authorisation cannot be or are not adhered.
- 6.9 Non-compliance with a condition of this authorisation may result in criminal prosecution or other actions provided for in the National Environmental Management Act NEMA, 1998 (Act No. 107 of 1998, as amended).

## 7 Appeal of authorisation

- 7.1 The holder of the Environmental Authorisation must notify all registered interested and affected party, in writing and within 12 days of receiving notice of this Department's decision to authorise the activities.
- 7.2 The notification referred to 7.1 above must –
- 7.2.1 specify the date on which the Environmental Authorisation was issued;
  - 7.2.2 inform the registered interested and affected party of the appeal procedure provided for in Chapter 2 of the National Appeals Regulations, 2014; and
  - 7.2.3 advise the registered interested and affected party that a copy of the Environmental Authorisation and reasons for the decision will be furnished on request.

Date of Environmental Authorisation: 04/06/15

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05 JUN 2015  
000001



## Annexure 1: Reasons for Decision

### 1. Background

The applicant, **Department of Local Government and Housing** applied for authorisation to undertake the proposed development on remainder of portion 1 of the farm Rietfontein 61 HR, as activity listed as activity 9, 11, 18, 21, 37, 39, 37, of Listing Notice 1; activity 15 of Listing Notice 2 and activity 4, 6, 13, 16, of Listing Notice 3 of the Environmental Impact Assessment Regulations, 2010.

The applicant appointed **Bokamoso Environmental** to undertake an Environmental Impact Assessment process.

### 2. Information considered in making the decision

In reaching its decision, the Department took, *inter alia*, the following into consideration –

- a) All the information contained in the Environmental Impact Report dated February 2015 and additional information received on 11 March 2015 and 15 May 2015.
- b) The comments received from the registered interested and affected parties as included in the Environmental Impact Report dated February 2015 and additional comments received from interested and affected parties directly.
- c) Relevant information contained in the Departmental information base including-
  - Gauteng Conservation Plan 3.3;
  - Geographic Information System (GIS).
- d) The objectives and requirements of relevant legislation, policies and guidelines, including Section 2 of the National Environmental Management Act, 1998 (Act No. 107 of 1998, as amended).
- e) The findings of the site inspection undertaken by Steven Mukhola, Anga Yaphi, Lydia Muditambi, Daphney Ngoasheng, Yolanda Ramonisi, Albertina Setsiba, and Lerato Sibiya on 23 April 2015.
- f) Comments of the specialist reviewer appointed by the Department.

### 3. Key factors considered in making the decision

All information presented to this Department was taken into account in the Department's consideration of the application. A summary of the issues which, in the Department's view, were most significant is set out below.

- a) The Public Participation Process carried out include newspaper advert, site notices and notification to surrounding land owners and meetings conducted with Interested and Affected Parties;
- b) The response to the issues raised by Interested and Affected Parties;
- c) Sensitive environmental features such as wetland and water course, three grave sites are excluded from the development site;
- d) The results from the sampled exhumed animal bones did not detect any anthrax spores as highlighted in the specialist reports;
- e) Compatibility of the proposed development with the surrounding land uses;
- f) The upgrading of access roads and increase of lanes in Club, Modderfontein Roads and Linksfield off-ramp to reduce traffic congestion.
- g) The need for houses, and other recreation facilities around the area.
- h) The mitigation measures outlined in the Environmental Impact Assessment Report dated February 2015.
- i) Comments of the specialist reviewer appointed by the Department



#### 4. Findings

After consideration of the information and factors listed above, the Department made the following findings –

- a) The public participation process met the requirements outlined in the Environmental Impact Assessment Regulations 2010.
- b) Whilst there are sensitive environmental features on site which include grave sites, rivers, wetlands and protected species, the mitigation measures recommended in the specialist reports and incorporated in the Environmental Management Programme submitted to this Department are considered to be adequate for the management of the proposed activities.
- c) The project has significant and positive economic and social benefits not just for the vicinity but for the region as a whole.
- d) The finding of the specialist reviewer (National Institute of Communicable Diseases appointed by the Department to review medical specialist reports submitted indicated that the risks associated with communicable diseases are low.
- e) Impacts associated with increased traffic flow in the vicinity of the proposed development are addressed "*inter alia*" by the commitment by the applicant to upgrade the access roads by increasing lanes and construction of a link to the N3 Road subject to approval by the South African National Road Agency and Gauteng Department of Roads and Transport.

In view of the above, this Department is satisfied that, subject to compliance with the conditions contained in the Environmental Authorisation, the activities will not conflict with the general objectives of integrated environmental management laid down in Chapter 5 of the National Environmental Management Act, 1998 (Act No. 107 of 1998) and that any potentially detrimental environmental impacts resulting from the proposed activity can be mitigated to acceptable levels. The Environmental Authorisation is accordingly granted.

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Office of the HOD  
05 JUN 2015  
000001

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** keetm@dwaf.gov.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



<[lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)> | T: +27 (12) 346 3810 | F: +27 (86) 20 56 59  
36 Lebombo Road - Abela Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelle@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** justicem@dwaf.gov.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

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Kind Regards

Juanita De Beer

  
**Bokamoso**  
Environmental Consultants &  
Landscape Architects  
e: [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za) t: +27 12 346 3810 f: +27 30 570 5659  
161 Lehmbo Road - Chibea Gardens, Pretoria



## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** paia@eskom.co.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

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Kind Regards

Juanita De Beer

  
**Bokamoso**  
**Environmental Consultants &**  
**Landscape Architects**  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | t: (+27)12 336 3840 | f: (+27)86 570 56 59  
36 Leleombolo Road - Mibela Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelle@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** central@eskom.co.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

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Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



e: [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za) t: +27 11 46 3310 f: +27 36 520 56 59  
36 Lechombo Road - Jibea Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:04 AM  
**To:** schmidk@nra.co.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

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Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

  
**Environmental Consultants &  
Landscape Architects**  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | t: +27(12) 546 3810 | f: +27(86) 570 56 59  
361 Edumbe Road - Midex Gardens, Pretoria



## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 09:21 AM  
**To:** 'daniel.ramokone@transnet.net'  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

**Bokamoso**  
Environmental Consultants &  
Landscape Architects



[lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | t: +27 12 346 3310 | f: +27 12 346 3650  
16 Echombo Road / Akiba Gardens, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 08:51 AM  
**To:** gheath@geoscience.org.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

Dear Interested and Affected Party Member,

To whom it may concern

Please refer to the attached invitation to review the Draft Scoping Report for the proposed *Olievenhoutbosch Road* project which will be available from **23 April 2012**.

Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer



## Juanita

---

**From:** Lizelle Gregory <lizelle@mweb.co.za>  
**Sent:** 20 April 2012 12:13 PM  
**To:** 'kobus@dhkthinkspace.co.za'; 'hiltb@telkomsa.net'; 'dawie@gs2.co.za';  
FawkesMG@eskom.co.za; 'michelle.marais@angloamerica.com'; dkoa@salbu.co.za;  
'robert@multicat.co.za'; 'trublet@global.co.za'; 'carlomach@absamail.co.za';  
'tomhannay.sa@gmail.com'; 'semmelink@webmail.co.za'  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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To whom it may concern

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Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

  
**Bokamoso**  
Environmental Consultants &  
Landscape Architects  
e: [lizelle@mweb.co.za](mailto:lizelle@mweb.co.za) | t: +27 (0) 11 6 3310 | f: +27 (0) 11 6 3310  
36 Lebonito Road Ashlea Gardens, Pretoria



## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 12:17 PM  
**To:** 'Mara.Temple@gpaa.gov.za'; 'Nina.Strydom@up.ac.za'; casperm@tshwane.gov.za;  
'manda@soundandimage.co.za'; 'roux@rouxprops.co.za';  
'marese@rouxprops.co.za'; bea@tph.co.za; nkoneigh@randwater.co.za;  
james.ah.campbell@gmail.com; 'visserliz@mweb.co.za'; 'raj@glencarol.co.za'  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

Dear Interested and Affected Party Member,

To whom it may concern

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Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

  
**Bokamoso**  
Environmental Consultants &  
Landscape Architects  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) f: +27 (12) 516 5810 t: +27 86 570 56 59  
36 Lebombo Road - Uhlen Gardens - Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 12:19 PM  
**To:** edumeyer@iburst.co.za; 'rschuster@barloworld-equipment.com';  
Magda.oosthuizen@seeff.com; estatemanager@irenefarmvillages.co.za  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

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Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

  
**Environmental Consultants &  
Landscape Architects**  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) t: +27 12 346 3310 f: +27 86 570 56 59  
66 Delonibo Road / 66b Gardeners, Pretoria

## Juanita

---

**From:** Lizelle Gregory <lizelleg@mweb.co.za>  
**Sent:** 20 April 2012 12:09 PM  
**To:** james.ah.campbell@gmail.com; 'rrhowarth@gmail.com'; 'tph@tph.co.za'; Brian.melville-Smith@barlowworldmotor.com; chrisg@bibletruths.co.za; 'ccomrie@mhg.co.za'; manager@cornwallhill.co.za; 'gill.udal@telkomsa.net'; 'gorourke@chieftain.ie'; malulekej@dwa.gov.za; 'mwcspoel@mweb.co.za'; 'riaanm@tshwane.gov.za'  
**Subject:** Draft Scoping Report - Olievenhoutbosch Road  
**Attachments:** Review Notice.ppt  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Interested and Affected Party Member,

To whom it may concern

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Please don't hesitate to contact our offices for any additional information or queries.

Kind Regards

Juanita De Beer

  
**Bokamoso**  
Environmental Consultants &  
Landscape Architects  
e: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za) | t: +27 (12) 346 3810 | f: +27 36 570 5659  
36 Lebombo Road - Athlisa Gardens - Pretoria



## Juanita

---

**From:** Niel Brink  
**Sent:** 07 December 2011 04:13 PM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch Road: Irene Farm Villages HOA.

**Importance:** High

---

**From:** Ontvangs  
**Sent:** 07 December 2011 08:11 AM  
**To:** Niel Brink  
**Subject:** FW: Olievenhoutbosch Road: Irene Farm Villages HOA.  
**Importance:** High

---

**From:** At van Niekerk [<mailto:estatemanager@irenefarmvillages.co.za>]  
**Sent:** 06 December 2011 04:24 PM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** Olievenhoutbosch Road: Irene Farm Villages HOA.  
**Importance:** High

Dear Madam,

Please confirm the status of the Irene Farm Villages HOA and all its Members as interested and or affected parties in the above mentioned project.

It will be appreciated if you can advise us on the next scheduled public meeting and the cutoff date for submissions.

Kind regards.

At van Niekerk  
Estate Manager / Landgoedbestuurder  
Irene Farm Villages HOA/HEV

Tel: 012-662-3505 (Reception)  
Tel: 012-662-5601 (Direct)  
Fax: 012-662-5602;  
Mobile: 079 525 9281  
[www.irenefarmvillages.co.za](http://www.irenefarmvillages.co.za)

## Juanita

---

**From:** Ontvangs  
**Sent:** 31 October 2011 09:12 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch road

---

**From:** Raj Shunmugam [<mailto:raj@glencarol.co.za>]  
**Sent:** 31 October 2011 09:01 AM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Subject:** Olievenhoutbosch road

Hi Lizell

How do I go about registering for the above?

Regards  
Raj Shunmugam  
428 Shillingford Rd  
Cornwall Hill

## Juanita

---

**From:** Ontvangs  
**Sent:** 04 November 2011 03:03 PM  
**To:** George Gericke; Genevieve Tredoux  
**Subject:** FW: Olievenhoutbosch Road

---

**From:** Thomas [<mailto:thomas@viacapital.co.za>]  
**Sent:** 04 November 2011 03:08 PM  
**To:** [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)  
**Cc:** 'Edu & Edna Meyer'  
**Subject:** Olievenhoutbosch Road

Dear George / Genevieve,

Thank you for the attached notification. The owner, resident, and therefore the primary interested party in the matter is my dad who resides at 2 Wellington Road, Irene. I would appreciate if you could therefore note him as such on your data base for future reference.

Eduard H.H. Meyer  
012 667 5996  
082 940 2958  
[edumeyer@iburst.co.za](mailto:edumeyer@iburst.co.za)

Regards,  
Thomas

**Thomas Meyer**  
Reg. nr. 2004/013403/07  
Building 2, Harrowden Office Park  
Vredem Beroep Road  
Woodmead  
South Africa  
PO BOX 25, Vredemands 2110  
Telephone +27 11 313 2007  
Fax +27 11 313 2007  
[thomas.meyer@viacapital.co.za](mailto:thomas.meyer@viacapital.co.za)  
[www.viacapital.co.za](http://www.viacapital.co.za)

---

This email is confidential and intended for the addressee only.  
The following link will take you to Via Capital's email disclaimer.  
<http://www.viacapital.co.za/disclaimer.aspx>



## Juanita

---

**From:** Ontvangs  
**Sent:** 07 October 2009 08:06 AM  
**To:** George Gericke  
**Subject:** FW: Olievenhoutbosch

---

**From:** Cobus Janse van Rensburg [<mailto:Cobus.JvRensburg@pbmr.co.za>]  
**Sent:** 07 October 2009 08:03 AM  
**To:** Lizelle Gregory; Jan Zeederberg  
**Subject:** Olievenhoutbosch

Hallo George en Jan

Ek verstaan dat die Olievenhoutbosch pad nou weer gebou gaan word? Kan jy my laat weet wat aangaan asb.

**Beste groete/Kind regards**

**Cobus**

---

**From:** Lizelle Gregory [<mailto:lizelleg@mweb.co.za>]  
**Sent:** 25 September 2009 08:50 AM  
**To:** Cobus Janse van Rensburg  
**Subject:** K109 Petition

Good morning Cobus

I tried to phone a few times. At the public meeting for the proposed K109 someone mentioned that there were a petition signed by all the people that is for the proposed road. We would deeply appreciate it if you could assist us in this matter by indicating who this person was. We just want to get a hold of the petition to include it in the process.

Please don't hesitate to contact our offices for additional information.

Kind Regards

George Gericke

Bokamoso Landscape Architects and Environmental Consultants

Tel: (012) 346 3810

Fax: 086 570 5659

Information from ESET NOD32 Antivirus, version of virus signature database 4455  
(20090924)

The message was checked by ESET NOD32 Antivirus.

<http://www.eset.com>

The perusal, use, dissemination, copying or storing of this message or its attachments and the opening of attachments is subject to PBMR's standard email disclaimer available at internet address: [Pebble Bed Modular Reactor \(Pty\) Ltd - Disclaimer](#) or on request from the sender.

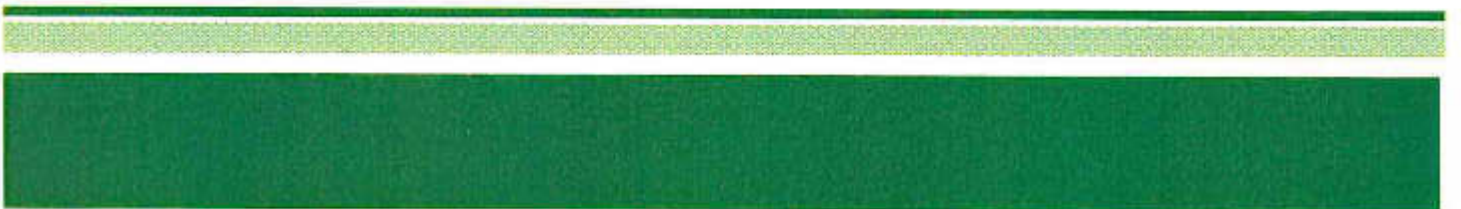
Information from ESET NOD32 Antivirus, version of virus signature database 4485  
(20091006)

The message was checked by ESET NOD32 Antivirus.

<http://www.eset.com>

# **Annexure K(ix)**

Review Notice





# Olievenhoutbosch Rd Draft

## EIA Report for Review

All interested and affected parties are invited to review the development information and to register any issues and concerns to be included and addressed in the Final EIA Report.

**Venue:** Lyttleton Library

**Tel:** 012 644 0382

**Date:** 1 December 2014 – 28 January 2014 (excluding 15 Dec – 2 Jan)

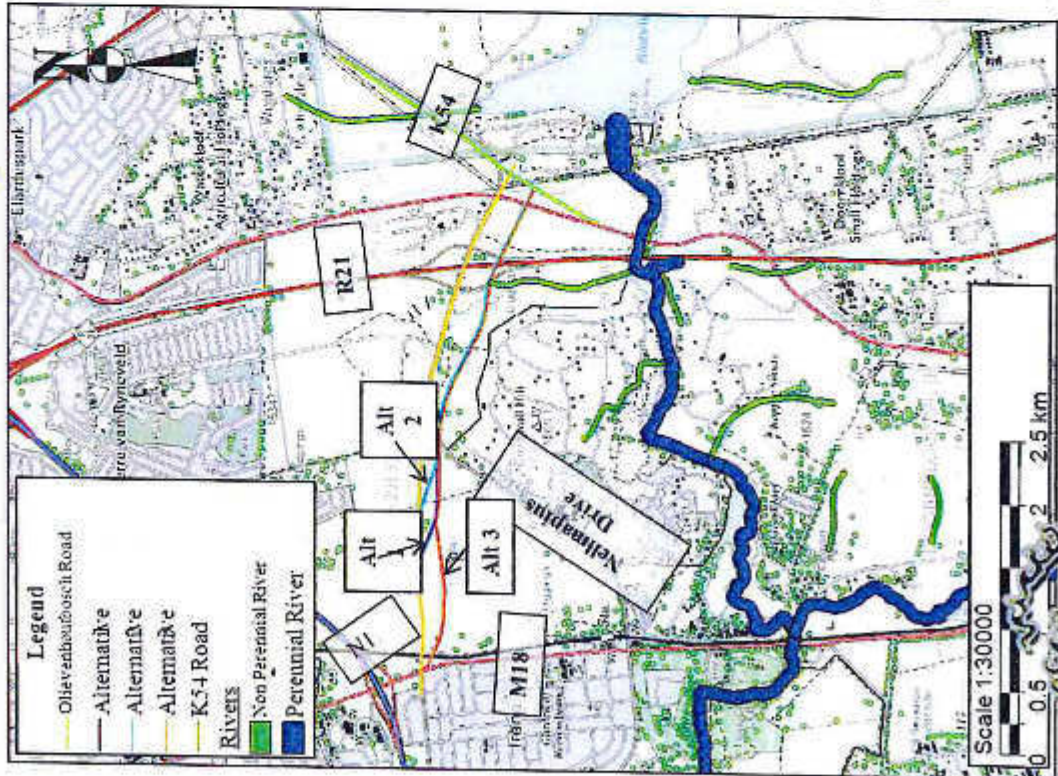
**Website:** [www.bokamoso.biz](http://www.bokamoso.biz)

Please do not hesitate to contact us if there are any questions in connection with the above mentioned development.

Contact person: **Juanita De Beer**

Tel: 012 346 3810 Fax: 086 570 5659

E-mail: [lizelleg@mweb.co.za](mailto:lizelleg@mweb.co.za)



# **Annexure L**

Final Environmental Management Plan





# Final Environmental Management Plan for Olievenhoutbosch Road

**GAUT: 002/11-12/E0135**

**June 2015**



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## 1. Project Outline

### 1.1 Background

**Bokamoso** Environmental Consultants was appointed by M & T Development to compile an Environmental Management plan for the construction of a section of Olievenhoutbosch from Main Road in the west to proposed Road K54 in the east. The Report had been prepared to comply with Section 34 of the National Environmental Management Act (NEMA), 1998 (Act 107 of 1998).

### 1.2 Project description

The section of Olievenhoutbosch is situated from Main Road in the west to proposed Road K54 in the east. **(Refer to Figure 1 for the Locality Map and Figure 2 for the Aerial Map).**

Olievenhoutbosch Road is a planned road situated on Portion 198, Remainder of Portion 330 and Portion 355 of the farm Doornkloof 391-JR. The yellow line in **Figure 1** represents the approved Olievenhoutbosch road that links up with Nellmapius Drive that is currently being constructed; the proposed road under consideration will add additional lanes and thus help with congestion on the currently approved Olievenhoutbosch Road. The proposed alignment traverses approved townships Irene X 89, 90, 91 & 92.

**The EMP will be a binding document for purposes of compliance.**

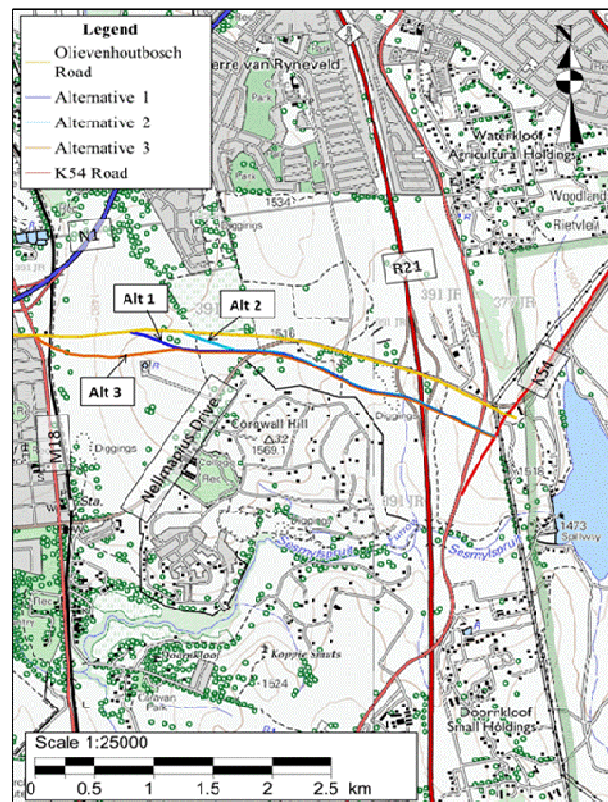


Figure 1 – Locality Map

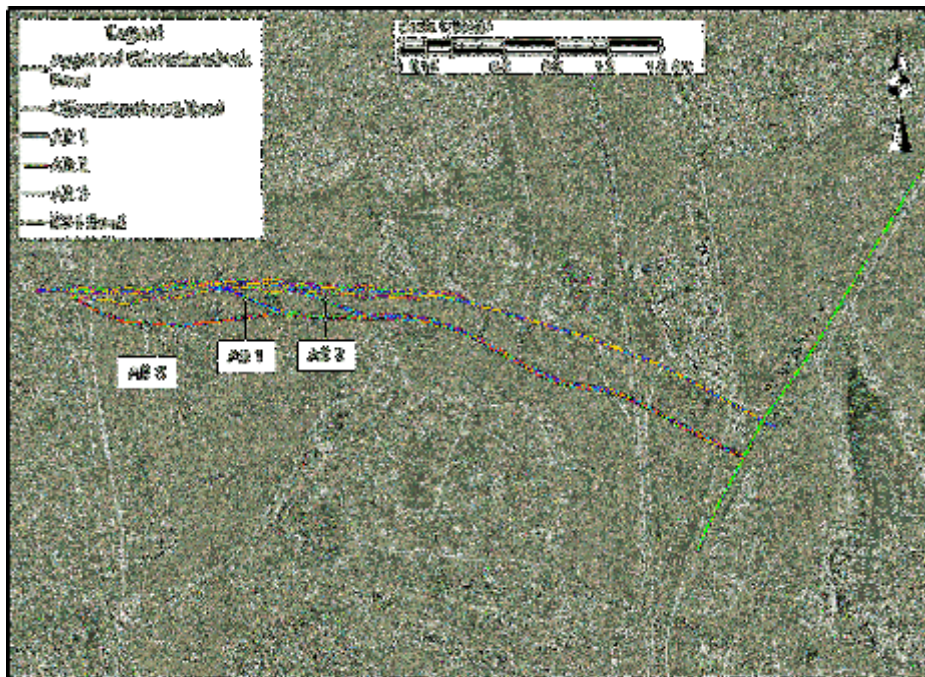


Figure 2 – Aerial

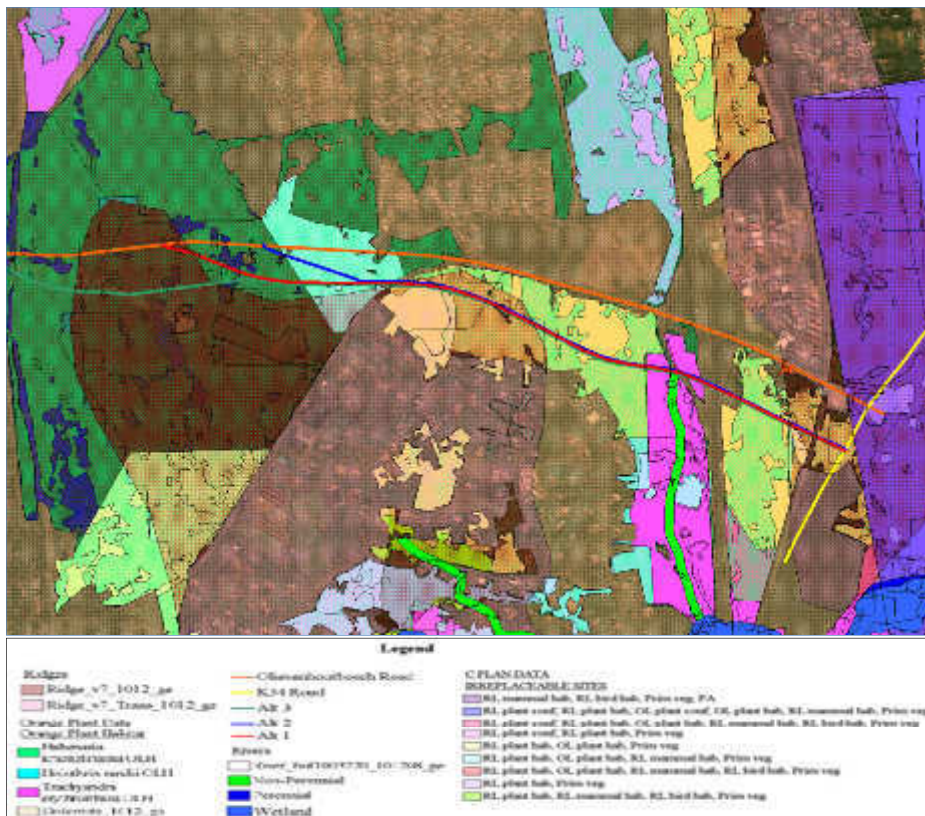


Figure 3 – Sensitivity Map

### 1.3 Receiving Environment

#### Geology:

- A large portion of the route underlain by dolomite which poses the risk of formation of sinkholes and dolines. There is also the possibility of caves present due to the underlying dolomite.

#### Hydrology:

- All three alignments slope towards the Sesmyl Spruit and associated wetland. Groundwater pollution due to the underlying dolomite.

#### Ridges

- This proposed alternative 3 passes the quartzite ridge and the lower dolomitic slopes near areas where a Threatened plant species, *Melolobium subspicatum* are present.

#### Fauna and flora:

- The Red list ***Melolobium subspicatum*** was found in the Mixed grassland on shallow dolomite study unit within 200 meters of the proposed route. The ***Tristachya – Monocymbium chert- Quartz outcrop***, the Quartz slope vegetation and the Mixed grassland on shallow dolomite study units were considered sensitive. From all the biodiversity studies undertaken it is clear that the north-eastern section which mostly covers Alternative 3 of the route is highly sensitive.

#### Cultural /Historical:

- No obvious features, sites or artefacts of cultural significance are present on the site or in the direct vicinity.

#### Visual:

- Due to the topography only sections of the proposed road will be visible from surrounding view-sheds.

#### Noise:

- Pro-active planning in the area had already taken place around the Olievenhoutbosch road alignment. The involved section of the route was taken into



consideration during the layout designs of proposed new developments in the area. If planned correctly, the proposed route should therefore not have a significant noise impact on the surrounding environment (currently and in future).

### **Air Pollution**

- Dust could impact the surrounding residences if the construction will be done during the dry and windy months. It is proposed that regular damping down of the study area must be done if constructed during dry and windy months.

## **2. EMP Objectives and context**

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### **Objectives**

The objectives of this plan are to:

- Identify the possible environmental impacts of the proposed activity;
- Develop measures to minimise, mitigate and manage these impacts;
- Meet the requirements of the Record of Decision of GDARD and other of other Authorities; and
- Monitor the project.

### **EMP context**

This EMP fits into the overall planning process of the project by carrying out the conditions of consent set out by the GDARD. In addition, all mitigation measures recommended in the EIA report are included in the EMP.

This EMP addresses the following phase of the development:

- Planning and Design phase.

### **3. Monitoring**

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In order for the EMP to be successfully implemented all the role players involved must have a clear understanding of their roles and responsibilities in the project.

These role players may include the Authorities (A), other Authorities (OA), Developer/proponent (D), Environmental Control Officer (ECO), Project Manager (PM), Contractors (C), Environmental Assessment Practitioner (EAP) and Environmental Site Officer (ESO). Landowners interested and affected parties and the relevant environmental and project specialists are also important role players.

#### **3.1 Roles and responsibilities**

##### **Developer (D)**

The developer is ultimately accountable for ensuring compliance with the EMP and conditions contained in the RoD. The developer must appoint an independent Environmental Control Officer (ECO), for the duration of the pre-construction and construction phases, to ensure compliance with the requirements of this EMP. The developer must ensure that the ECO is integrated as part of the project team.

##### **Project Manager (PM)**

The project Manager is responsible for the coordination of various activities and ensures compliance with this EMP through delegation of the EMP to the contractors and monitoring of performance as per the Environmental Control Officer's monthly reports.

##### **Environmental Control Officer (ECO)**

An independent Environmental Control Officer (ECO) shall be appointed, for the duration of the pre-construction and construction phase of the services and bulk infrastructure, by the developer to ensure compliance with the requirements of this EMP.

##### **Contact details of appointed ECO**

**ECO details will be available as soon as developer appointed a company.**

- The Environmental Control Officer shall ensure that the contractor is aware of all the specifications pertaining to the project.
- Any damage to the environment must be repaired as soon as possible after consultation between the Environmental Control Officer, Consulting Engineer and Contractor.
- The Environmental Control Officer shall ensure that the developer staff and/or contractor are adhering to all stipulations of the EMP.

- The Environmental Control Officer shall be responsible for monitoring the EMP throughout the project by means of site visits and meetings. This should be documented as part of the site meeting minutes.
- The Environmental Control Officer shall be responsible for the environmental training program.
- The Environmental Control Officer shall ensure that all clean up and rehabilitation or any remedial action required, are completed prior to transfer of properties.
- A post construction environmental audit is to be conducted to ensure that all conditions in the EMP have been adhered to.

**Contractor (C):**

The contractors shall be responsible for ensuring that all activities on site are undertaken in accordance with the environmental provisions detailed in this document and that sub-contractor and laborers are duly informed of their roles and responsibilities in this regard.

The contractor will be required, where specified to provide Method Statements setting out in detail how the management actions contained in the EMP will be implemented.

The contractors will be responsible for the cost of rehabilitation of any environmental damage that may result from non-compliance with the environmental regulations.

**Environmental Site Officer (ESO):**

The ESO is appointed by the developer as his/her environmental representative to monitor, review and verify compliance with the EMP by the contractor. The ESO is not an independent appointment but must be a member of the contractor's management team. The ESO must ensure that he/she is involved at all phases of the construction (from site clearance to rehabilitation).

**Authority (A):**

The authorities are the relevant environmental department that has issued the Environmental Authorisation. The authorities are responsible for ensuring that the monitoring of the EMP and other authorization documentation is carried out by means of reviewing audit reports submitted by the ECO and conducting regular site visits.

**Other Authorities (OA):**

Other authorities are those that may be involved in the approval process of the EMP.

**Environmental Assessment Practitioner (EAP):**

According to section 1 of NEMA the definition of an environmental assessment practitioner is "the individual responsible for the planning, management and coordination of environmental impact assessments, strategic environmental assessments, environmental management plans or any other appropriate environmental instruments through regulations".

**3.2 Lines of Communication**



The Environmental Control Officer in writing should immediately report any breach of the EMP to the Project Manager. The Project Manager should then be responsible for rectifying the problem on-site after discussion with the contractor. Should this require additional cost, then the developer should be notified immediately before any additional steps are taken.

### **3.3 Reporting Procedures to the Developer**

Any pollution incidents must be reported to the Environmental Control Officer immediately (within 12 hours). The Environmental Control Officer shall report to the Developer on a regular basis (site meetings).

### **3.4 Site Instruction Entries**

The site instruction book entries will be used for the recording of general site instructions as they relate to the works on site. There should be issuing of stop work order for the purposes of immediately halting any activities of the contractor that may pose environmental risk.

### **3.5 ESA/ESO (Environmental Site Officer) Diary Entries**

Each of these books must be available in duplicate, with copies for the Engineer and Environmental Site Officer. These books should be available to the authorities for inspection or on request. All spills are to be recorded in the ESA/Environmental Site Officer's diary.

### **3.6 Methods Statements**

Methods statements from the contractor will be required for specific sensitive actions on request of the authorities or ESA/ESO (Environmental Site Officer). All method statements will form part of the EMP documentation and are subject to all terms and conditions contained within the EMP document. For each instance wherein it is requested that the contractor submit a method statement to the satisfaction of ESA/ESO, the format should clearly indicate the following:

- What – a brief description of the work to be undertaken
- How- a detailed description of the process of work, methods and materials
- Where- a description / sketch map of the locality of work; and
- When- the sequencing of actions with due commencement dates and completion date estimate.

The contractor must submit the method statement before any particular construction activity is due to start. Work may not commence until the method statement has been approved by the ESA/ESO.

### **3.7 Record Keeping**

All records related to the implementation of this management plan (e.g. site instruction book, ESA/ESO diary, methods statements etc.) must be kept together in an office where it

is safe and can be retrieved easily. These records should be kept for two years at any time be available for scrutiny by any relevant authorities.

### **3.8 Acts**

#### **1. The National Water Act, 1998 (Act No: 36 of 1998)**

The purpose of this Act is to ensure that the nation's water resources are protected, used, developed, conserved, managed and controlled in ways that take into account, amongst other factors, the following:

- ❑ Meeting the basic human needs of present and future generations;
- ❑ Promoting equitable access to water;
- ❑ Promoting the efficient, sustainable and beneficial use of water in the public interest;
- ❑ Reducing and preventing pollution and degradation of water resources;
- ❑ Facilitating social and economic development; and
- ❑ Providing for the growing demand for water use.

#### **Impact on proposed Road:**

**Not Significant** – Section 21 Water use licenses will not be necessary, as the route does not cross any rivers or wetlands.

#### **2. National Environmental Management: Air Quality Act (Act No. 39 of 2004)**

This act replaced the Atmospheric Pollution Prevention Act (Act No. 45 of 1965), however Part 2 of this act is still applicable. Part 2 of the act is however still applicable and deals with the control of noxious or offensive gases. The proposed development will not release any of the listed gases into the atmosphere and this act is therefore not applicable to the proposed development.

The purpose of the Act is "To reform the law regulating air quality in order to protect the environment by providing reasonable measures for the prevention of pollution and

ecological degradation and for securing ecologically sustainable development while promoting justifiable economic and social development; to provide for national norms and standards regulating air quality monitoring, management and control by all spheres of government; for specific air quality measures; and for matters incidental thereto."

**Impact on proposed road:**

- **Significant** – Parts II of the Atmospheric Pollution Prevention Act (Act No. 45 of 1965), have relevance to the proposed road.

**3. National Environmental Management Act (Act 107 of 1998)**

The NEMA is primarily an enabling Act in that it provides for the development of environmental implementation plans and environmental management plans. The principles listed in the act serve as a general framework within which environmental management and implementation plans must be formulated.

The principles in essence state that environmental management must place people and their needs at the forefront of its concern and that development must be socially, environmentally and economically sustainable.

**Impact on proposed road:**

**Significant** – The proposed section of Olievenhoutbosch road is listed under the activities as regulated under NEMA.

**4. The Municipal Systems Act (Act 32 of 2000)**

This Act was introduced to provide for the core principles, mechanisms and processes that are necessary to enable municipalities to move progressively towards the social and economic upliftment of local communities, and ensure universal access to essential services that are affordable to all.



The proposed development will support the local authority in complying with the principles of the Municipal Systems Act, by assisting in providing the community with essential services, such as water and sewage infrastructure.

**Impact on proposed road:**

**Not-significant** – The proposed section of Olievenhoutbosch road will not contribute to the Municipal system.

### **5. The Draft Red Data Species Policy**

This policy is provided for the protection, conservation and maintenance of Red Data species within the Gauteng Province.

**Impact on proposed road:**

**Significant** – The vegetation study stated that the Red List *Melolobium subspicatum* was found in the Mixed grassland on shallow dolomite study unit within 200 meters of the proposed route.

### **6. National Veld and Forest Fire Act, 1998 (Act No. 101, 1998)**

The purpose of this Act is to prevent and combat veld, forest and mountain fires throughout the Republic. Furthermore the Act provides for a variety of institutions, methods and practices for achieving the prevention of fires.

**Impact on proposed road:**

**Significant** – No open fires will be allowed. It is important that a site development camp be located on a part of the application site that is already disturbed. The camp should not be located in close proximity of natural veld grass areas, and areas that can be easily susceptible for fires.

### **7. National Heritage Resources Act, 1999 (Act No. 25 of 1999)**

The National Heritage Resources Act legislates the necessity and heritage impact assessment in areas earmarked for development, which exceed 0.5ha. The Act makes provision for the potential destruction to existing sites, pending the archaeologist's recommendations through permitting procedures. Permits are administered by the South African Heritage Resources Agency (SAHRA).

**Impact on proposed road:**

**Not significant** – No features of Heritage importance are present on site or within the direct vicinity of the application site. It is although important that if any such features are discovered during construction activities and clearing of the application site, the correct "procedures for an Environmental incident" (at the end of this EMP) must be followed.

**8. Conservation of Agricultural Resources Act (Act No. 43 of 1983)**

This Act provides for control over the utilization of the natural agricultural resources of the Republic in order to promote the conservation of the soil, the water sources and the vegetation and the combating of weeds and invader plants; and for matters connected therewith.

**Impact on proposed road:**

**Not significant** - None of the alignments cut through agricultural land and the Kungwini/Ekurhuleni Agricultural Hub. However, the route traverses areas ranging from moderate to low agricultural potential. Construction of the proposed section of Olievenhoutbosch Road will cause erosion and pollution of water sources if these impacts are not mitigated.

**9. Water Services Act, 1997 (Act No. 108 of 1997)**

This Act provides for the minimum standards and measures of which the following Water Services should adhere to:

- o Basic sanitation
- o Basic water supply

- o Interruption in provision of water services
- o Quality of potable water
- o Control of objectionable substances
- o Disposal of grey water
- o Use of effluent
- o Quantity and quality of industrial effluent discharged into a sewerage system
- o Water services audit as a component in the Water Services Development Plan
- o Water and effluent balance analysis and determination of water losses
- o Repair of leaks
- o Consumer installations other than meters
- o Pressure in reticulation system

**Impact on proposed road:**

**Not-significant** – The proposed section of Olievenhoutbosch Road does not apply to the water services act.

**10. National Environmental Management Act: Biodiversity Act (Act No. 10 of 2004)**

The purpose of the Biodiversity Act is to provide for the management of South Africa's biodiversity within the Framework of the NEMA and the protection of species and ecosystems that warrant National protection. As part of the implementation strategy, the National Spatial Biodiversity Assessment was developed.

**Impact on proposed road:**

**Significant** – The vegetation study stated that the Red List *Melolobium subspicatum* was found in the Mixed grassland on shallow dolomite study unit within 200 meters of the proposed route.

**11. Gauteng Transport Infrastructure Act, 2001**

To consolidate the laws relating to roads and other transport infrastructure in Gauteng; and to provide for the planning, design, development, construction, financing, management,



control, maintenance, protection and rehabilitation of provincial roads, railway lines and other transport infrastructure in Gauteng.

**Impact on proposed road:**

**Significant** – The proposed section of Olievenhoutbosch road is a provincial road.

**12. National Road Traffic Act, 1996 (Act No. 93 of 1996)**

This Act provides for all road traffic matters which shall apply uniformly throughout the Republic and for matters connected therewith.

**Impact on proposed road:**

**Significant** – The proposed section of Olievenhoutbosch road will serve the community and applies directly to the National Road Traffic Act.

**13. Environmental Conservation Act: Noise Regulations, 1989 (Act no.73 of 1989)**

The purpose of this Act is to provide measures and management relating Noise levels. This Act enables Noise levels to be acceptable to standards within a specific area and community.

**Impact on proposed road:**

**Significant** – The proposed development will include some noisy activities with the construction of the proposed section of the road and also during the operational phase.

## 4 Project activities

### 4.1 Pre- Construction Phase

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
<b>Design and planning</b>	<b>Stability of structures and restriction of land use due to geology</b>	To ensure stability of structures	<ul style="list-style-type: none"> <li>• The precautionary measures and foundation design from the involved geotechnical engineers must be implemented to ensure the stability of structures and embankments.</li> <li>• The dolomite stability along the route must be determined.</li> <li>• More detailed foundation investigations should be conducted for structures such as bridges and culverts.</li> </ul>		Engineer
	<b>Storm water design</b>	To prevent and restrict erosion, siltation and groundwater pollution	<ol style="list-style-type: none"> <li>1) A detailed storm water management plan must be approved by the Local Authority and Department of Roads and Stormwater .</li> <li>2) Stormwater management plans must be submitted to the Local Municipality for approval. Such approval must be submitted to DWA together with a copy of the original stormwater plans.</li> <li>3) The storm water design for the proposed development must be designed to: Reduce and/ or prevent siltation, erosion and water pollution.</li> <li>4) Storm water runoff should not be concentrated as far as possible and sheet flow should be implemented.</li> <li>5) Energy dissipaters must be installed on the study area to break the speed of the water.</li> <li>6) Surface storm water generated as a result of the development must not be channeled directly into any natural drainage system or wetland.</li> <li>7) The storm water management plan should be designed in a way that aims to ensure that post development runoff does not exceed</li> </ol>	Compilation and approval of storm water management plan	Engineer

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
			predevelopment values in: - Peak discharge for any given storm; - Total volume of runoff for any given storm; - Frequency of runoff; and - Pollutant and debris concentrations reaching water courses.		
	<b>Light pollution</b>	To minimise light pollution	The generation of light by night events, security lighting and other lighting shall be effectively designed so as not to spill unnecessary outward into the oncoming traffic on the passing R21 Freeway.	Lightning effectively designed.	Engineer
	<b>Visual impact</b>	To minimize the visual impact of the proposed development.	Architectural guidelines to minimize the visual impact: The proposed development will be seen from a distance and therefore the roofs should not reflect the sun or be covered with roofing materials that have bright colours. Black or charcoal coloured roofs will blend in tastefully with the surrounding environment. Suitable plant materials should be used at strategic points to screen off impacts caused by roofs and cars in large parking areas. Existing trees and vegetation clumps should be retained as far as possible. The trees and vegetation will instantly soften the impact of the proposed permanent structures and they will bring the scale of the structures within the urban context down to a more human scale. The colour scheme should be taken from the palette of colours in the natural surroundings.	Architectural guidelines minimizes visual impact	Architect
	<b>Noise impact</b>	To minimize noise impact from the proposed road	The alignment of Olievenhoutbosch road must be taken into consideration during the design of the proposed development.		
<b>Climate</b>	<b>Extreme change in micro climate temperatures</b>	To prevent the extreme change in micro climate temperatures	Where open parking bays are involved, one tree for every two parking bays shall be indicated on the Site Development Plan which shall be approved by the Local Authority and Design Review Committee, if any.	Landscape Development Plan complies	Landscape Architect
<b>Geology and</b>	<b>Unsuitable</b>	To prevent	The special precautionary measures, as indicated	Precautionary	Geotechnical



<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
<b>Soils</b>	<b>Geotechnical conditions</b>	unsuitable Geotechnical conditions	within the Geotechnical Report must be adhered to at all times. 1) A storm water management plan must be implemented on the study area to prevent the erosion of soil. 2) A pro-active maintenance strategy for water bearing services and other infrastructure should be implemented.	measures implemented	engineer Dolomite Risk Manager
<b>Fauna and flora</b>	<b>Floral biodiversity and ecological health</b>	To ensure that the species introduced to the area, are compatible with the current and future quality of the ecological processes.	1) The site development plan for the proposed development shall be submitted to the local authority for approval. 2) It is important that all the plant positions, quantities and coverage per m <sup>2</sup> be indicated on a plan. 3) The proposed planting materials for the areas to be landscaped shall be non-invasive, and preferably indigenous and /or endemic. 4) As much of the existing indigenous trees, vegetation clumps and natural grassland will have to be incorporated within the proposed formal landscaping. 5) The vegetation around the Drainage channel must be retained and rehabilitated where necessary. 6) Buffer zones should be adhered to.	The landscape development plan submitted to the local authority for approval.	Landscape Architect
			The removal of Category 1 Declared invaders from the property is mandatory and Category 2 Declared invaders must be controlled.	Category 1 and 2 declared Invaders removed	Contractor ECO
	<b>Loss of sensitive vegetation</b>	To ensure protection of red listed plants	The Red- listed <i>Melolobium subspicatum</i> should be relocated to a safe, suitable area approved by GDARD.	Red listed plants rescued prior to construction	Qualified specialist
<b>Preparing Site Access</b>	<b>Environmental integrity</b>	To avoid erosion and disturbance to indigenous vegetation	Designated routes shall be determined for the construction vehicles and designated areas for storage of equipment. Clearly mark the site access point and routes on site to be used by construction vehicles and pedestrians. Provide an access map to all contractors whom in	Access to site is erosion free.  Minimum disturbance to surrounding	Contractor

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
			turn must provide copies to the construction workers. Instruct all drivers to use access point and determined route.	vegetation. Vehicles make use of established access routes.	
	<b>Waste storage</b>	To control the temporary storage of waste.	Temporary waste storage points on site shall be determined. These storage points shall be accessible by waste removal trucks and these points should not be located in sensitive areas /areas highly visible from the properties of the surrounding land-owners/tenants/in areas where the wind direction will carry bad odours across the properties of adjacent tenants or landowners.		Contractor ESO
		Ensure waste storage area does not generate pollution	Build a bund around waste storage area to stop overflow into storm water.		Contractor
		To prevent water pollution	-The storage and use of fuel and other chemicals on site must be adequately managed to prevent soil and water pollution. -Containment areas must be provided for handling of potential pollutants at refuelling depots - Transport, storage, handling and disposal of hazardous substances must be adequately controlled and managed.		Developer Contractor
			No wastewater may run freely into any of the surrounding streets or naturally vegetated areas.		Contractor

## 4.2 Construction Phase

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
<b>Contractor's Camp</b>	<b>Loss of Vegetation and topsoil</b>	To minimize damage to and loss of vegetation and retain quality of topsoil	Site to be established under supervision of ECO/ESO.	Minimal vegetation removed/ damaged during site activities.	Contractor
	<b>Surface and ground water pollution</b>	To minimize pollution of surface and Groundwater resources.	<p>1) Sufficient and temporary facilities including ablution facilities must be provided for construction workers operating on the site.</p> <p>2) A minimum of one chemical toilet shall be provided per 10 construction workers. The contractor shall keep the toilets in a clean, neat and hygienic condition. Toilets provided by the contractor must be easily accessible and a maximum of 50m from the works area to ensure they are utilized. The contractor (who must use reputable toilet-servicing company) shall be responsible for the cleaning, maintenance and servicing of the toilets. The contractor (using reputable toilet-servicing company) shall ensure that all toilets are cleaned and emptied before the builders' or other public holidays.</p> <p>3) No person is allowed to use any other area than chemical toilets.</p> <p>4) No French drain systems may be installed.</p> <p>5) No chemical or waste water must be allowed to contaminate the run-off on site. This could possibly contaminate the drainage channel.</p> <p>6) The chemical toilets may not be placed in close proximity of the adjacent dwellings to prevent odors from causing uncomfortable situations.</p> <p>7) Avoid the clearing of the site camp (of specific</p>	<p>Effluents managed Effectively.</p> <p>No pollution of water resources from site.</p> <p>Workforce use toilets provided.</p>	Contractor ESO



<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
			phase) or paved surfaces with soap. This could drain into the drainage channel on site and contaminate to open space system in the area.		
		To minimize pollution of surface and Groundwater resources due to spilling of materials.	<p>1) Drip trays and/ or lined earth bunds must be provided under vehicles and equipment, to contain spills of hazardous materials such as fuel, oil and cement.</p> <p>2) Repair and storage of vehicles only within the demarcated site area.</p> <p>3) Spill kits must be available on site.</p> <p>4) Oils and chemicals must be confined to specific secured areas within the site camp. These areas must be bunded with adequate containment (at least 1.5 times the volume of the fuel) for potential spills or leaks.</p> <p>5) All spilled hazardous substances must be contained in impermeable containers for removal to a licensed hazardous waste site.</p> <p>6) No leaking vehicle shall be allowed on site. The mechanic/ the mechanic of the appointed contractor must supply the environmental officer with a letter of confirmation that the vehicles and equipment are leak proof.</p> <p>7) No bins containing organic solvents such as paints and thinners shall be cleaned on site, unless containers for liquid waste disposal are placed for this purpose on site.</p>	No pollution of the environment	Contractor ESO
		To minimize pollution of surface and groundwater resources by cement	The mixing of concrete shall only be done at specifically selected sites, as close as possible to the entrance, on mortar boards or similar structures to prevent run-off into drainage line, streams and natural vegetation.	No evidence of contaminated soil on the construction site.	Contractor ESO
		To minimize pollution of surface and Groundwater	No effluent (including effluent from any storage areas) may be discharged into any water surface or ground water resource.	No evidence of contaminated water resources.	Contractor ESO

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
		resources due to effluent.			
<b>Construction site</b>	<b>Geology and soils</b>	To prevent the damaging of the existing soils and geology.	1) The top layer of all areas to be excavated for the purposes of construction shall be stripped and stockpiled in areas where this material will not be damaged, removed or compacted. 2) All surfaces that are susceptible to erosion, shall be protected either by cladding with biodegradable material or with the top layer of soil being seeded with grass seed/planted with a suitable groundcover.	Excavated materials correctly stockpiled  No signs of erosion	Contractor
		To prevent the loss of topsoil  To prevent siltation & water pollution.	1) Stockpiling will only be done in designated places where it will not interfere with the natural drainage paths of the environment. 2) In order to minimize erosion and siltation and disturbance to existing vegetation, it is recommended that stockpiling be done/ equipment is stored in already disturbed/exposed areas. 3) Cover stockpiles and surround downhill sides with a sediment fence to stop materials washing away. 4) Remove vegetation only in areas designated during the planning stage and for the purpose of construction. 5) Rehabilitation/ landscaping to be done immediately after the involved works are completed (will prevent erosion of the topsoil layer on site). 6) All compacted areas should be ripped prior to them being rehabilitated/landscaped by the contractor. 7) The top layer of all areas to be excavated must be stripped and stockpiled in areas where this material will not be damaged, removed or compacted. This stockpiled material should be	Excavated materials correctly stockpiled  No visible signs of erosion and sedimentation  Minimal invasive weed growth  Vegetation only removed in designated areas	Contractor of Developer

TYPE	Environmental risk or issue	Objective or requirement	Mitigation measure	Performance indicator	Responsibility
			<p>used for the rehabilitation of the site and for landscaping purposes.</p> <p>8) Strip topsoil at start of works and store in stockpiles no more than 1,5 m high in designated materials storage area.</p> <p>9) During the laying of any cables, pipelines or infrastructure (on or adjacent to the site) topsoil shall be kept aside to cover the disturbed areas immediately after such activities are completed. Rehabilitation of these areas shall be done directly after infill of the trenches. No rocks shall be placed on the topsoil after re-filling.</p>		
	<b>Erosion and siltation</b>	To prevent erosion and siltation	<p>1) It is recommended that the construction of the development be done in phases.</p> <p>2) Each phase should be rehabilitated immediately after the construction for that phase has been completed. The rehabilitated areas should be maintained by the appointed rehabilitation contractor until a vegetative coverage of at least 80% has been achieved.</p> <p>3) Mark out the areas to be excavated.</p> <p>4) Large exposed areas during the construction phases should be limited. Where possible areas earmarked for construction during later phases should remain covered with vegetation coverage until the actual construction phase. This will prevent unnecessary erosion and siltation in these areas.</p> <p>5) Unnecessary clearing of flora resulting in exposed soil prone to erosive conditions should be avoided.</p> <p>6) All embankments must be adequately compacted and planted with grass to stop any excessive soils erosion and scouring of the landscape if required.</p> <p>7) The eradication of alien vegetation should be</p>	<p>No erosion scars</p> <p>No loss of topsoil</p> <p>All damaged areas successfully rehabilitated</p>	Contractor ESO



TYPE	Environmental risk or issue	Objective or requirement	Mitigation measure	Performance indicator	Responsibility
			followed up as soon as possible by replacement with indigenous vegetation to ensure quick and sufficient coverage of exposed areas. 8) Storm water outlets shall be correctly designed to prevent any possible soil erosion. 9) All surface run-offs shall be managed in such a way so as to ensure erosion of soil does not occur.		
	<b>Stability of structures due to geology</b>	To ensure stability of structures.	1) A risk management plan must be designed and implemented. 2)The precautionary measures for construction on dolomite must be implemented 3) The foundation recommendations supplied by the geotechnical engineers must be adhered to. 4) It is recommended that excavations (for foundations and underground services) be inspected on the site to ensure that conditions at variance to that described can be noted and the necessary adjustments made. 5) Detailed foundation inspections should be carried out at the time of construction to identify variances and adjust foundation designs accordingly if need be.		Engineers / Contractor / Individual Developer
	<b>Blasting</b>	Safety during blasting operations	Blasting may only be done by specialists in the field and should be limited to localised areas.  Surrounding land-owners of properties in close proximity of blasting exercises must be informed/ warned (at least one week in advance) of blasting exercises that will take place on the study area.  Warning signs to warn site workers and members of the public of blasting exercises must be	Blasting done by specialists  Surrounding land owners informed in advance	Contractors

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
			erected at strategic points on the study area and the area where the blasting exercises will take place must be fenced off with barrier tape.  Blasting operations should be carefully controlled and the necessary safety precautions must be implemented.	Warning signs erected and barrier tape in place.	
	<b>Hydrology</b>	Groundwater management	1) Ongoing monitoring of groundwater levels on and in the immediate vicinity of the site is recommended.	No deviation from baseline data during regular sampling	Engineer
		To minimise pollution of soil, surface and groundwater	1) Increased run-off during construction must be managed using berms and other suitable structures as required to ensure flow velocities are reduced. 2) The contractor shall ensure that excessive quantities of sand, silt and silted water do not enter the storm water system.	No visible signs of erosion.  No visible signs of pollution	Contractor
	<b>Fauna and flora</b>	To protect the existing fauna and flora.	1) All exotic invaders and weeds must be eradicated on a continuous basis. 2) Exotic invaders must be included in an alien management program for the site. Eradication must occur every 6 months. 3) No plants not indigenous to the area, or exotic plant species, especially lawn grasses and other ground-covering plants, should be introduced in the communal landscaping of the proposed site, as they will drastically interfere with the nature of the area	No exotic plants used for landscaping	Contractor ESO / Design Review Committee
		To protect the existing fauna and flora.	1) Trees that are intended to be retained shall be clearly marked on site. 2) Snaring and hunting of fauna by construction workers on or adjacent to the study area are	No measurable signs of habitat destruction	Contractor ESO

TYPE	Environmental risk or issue	Objective or requirement	Mitigation measure	Performance indicator	Responsibility
			<p>strictly prohibited and offenders shall be prosecuted.</p> <p>3) Should hedgehogs be encountered during the development, these should be relocated to natural grassland areas in the vicinity;</p> <p>4) Should the Harlequin snake be encountered during the construction phase of the development, it must be properly recorded, sent to the Transvaal Museum (if dead) or moved to other areas suitable for its preservation.</p> <p>5) Wood harvesting of any trees or shrubs on the study area or adjacent areas shall not be allowed, especially within the Non-perennial drainage line.</p> <p>6) Where possible, work should be restricted to one area at a time.</p> <p>7) Noise should be kept to a minimum and the development should be done in phases to allow faunal species to temporarily migrate into the conservation areas in the vicinity.</p> <p>8) The contractor must ensure that no fauna species are disturbed, trapped, hunted or killed during the construction phase. Conservation-orientated clauses should be built into contracts for construction personnel, complete with penalty clauses for non-compliance;</p> <p>9) Vegetation clumps and natural grassland areas to be retained and incorporated within the proposed development formal landscaping, must be marked and demarcated before any commencement of construction activities. These areas must be fenced off (will be seen as "No-Go" areas).</p> <p>10) The trenches for the water pipelines and sewage lines should be as narrow as possible. Environmental damage caused by these</p>		



TYPE	Environmental risk or issue	Objective or requirement	Mitigation measure	Performance indicator	Responsibility
			trenches may be kept to a minimum by good forward planning and thereby reducing the actual length of time that they are open. Possible damage to wildlife is in direct proportion to the time that these trenches are open and may destroy amphibian and reptilian species.		
			<ul style="list-style-type: none"> <li>• Alien and invasive plants must be removed from areas to be excluded from development and the area rehabilitated with vegetation endemic to the area;</li> <li>• No plants not indigenous to the area, or exotic plant species, especially lawn grasses and other ground covering plants, should be introduced in the landscaping of the proposed development, as they might spread into the areas of natural vegetation;</li> <li>• Forage and host plants required by pollinator species in the area should also be used in landscaped areas;</li> <li>• Dumping of builder's rubble and other waste in the areas earmarked for exclusion must be prevented through fencing or other management measures;</li> <li>• Entrance by vehicles, especially off-road cars and bakkies, off-road bicycles and quad bikes to the areas to be excluded should be prohibited, both during the construction phase and during the lifespan of the project;</li> <li>• Foot paths should be restricted to areas where erosion can be controlled and damage to vegetation can be kept to</li> </ul>		Contractor ESO

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
			<p>a minimum;</p> <ul style="list-style-type: none"> <li>The areas earmarked for exclusion from development must be fenced off during the construction phase to ensure that the developer and his contractors do not damage these areas or do not cover them with soil, builder's rubble or waste.</li> <li>It is suggested that the building restrictions under the high tension power lines which transect the entire site, be used as a conservation feature by managing the grassland to attain as close as possible climax status;</li> <li>Large indigenous trees should be left as part of the landscaping; and</li> <li>Proper Veld Management Practices, such as fire management, should be implemented in the conservation areas.</li> </ul>		
<b>Social</b>	<b>Noise impact</b>	To maintain noise levels below "disturbing" as defined in the national Noise Regulations.	<ol style="list-style-type: none"> <li>Site workers must comply with the Provincial noise requirements as outlined.</li> <li>Noise activities shall only take place during working hours</li> </ol>	No complaints from surrounding residents and I & AP	Contractor
	<b>Dust impact</b>	Minimise dust from the site	<ol style="list-style-type: none"> <li>Dust pollution could occur during the construction works, especially during the dry months. Regular and effective damping down of working areas (especially during the dry and windy periods) must be carried out to avoid dust pollution that will have a negative impact on the surrounding environment.</li> <li>When necessary, these working areas should be damped down in the mornings and afternoons.</li> </ol>	<p>No visible signs of dust pollution</p> <p>No complaints from surrounding residents and I &amp; AP</p>	Contractor

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
	<b>Safety and security</b>	To ensure the safety and security of the public.	<p>1) Although regarded as a normal practice, it is important to erect proper signs indicating the operations of heavy vehicles in the vicinity of dangerous crossings and access roads or even in the development site if necessary.</p> <p>2) With the exception of the appointed security personnel, no other workers, friend or relatives will be allowed to sleep on the construction site (weekends included)</p> <p>3) Construction vehicles and activities to avoid peak hour traffic times</p> <p>4) Presence of law enforcement officials at strategic places must be ensured</p> <p>5) Following actions would assist in management of safety along the road</p> <ul style="list-style-type: none"> <li>▪ Adequate road marking</li> <li>▪ Adequate roadside recovery areas</li> <li>▪ Allowance for pedestrians and cyclists where necessary</li> <li>▪ Although regarded as a normal practice, it is important to erect proper signs indicating the danger of the excavation in and around the development site. Putting temporary fencing around excavations where possible.</li> </ul>	No incidences reported	Contractor ECO
	<b>Visual impact</b>	In order to minimise the visual impact	<p>1) The disturbed areas shall be rehabilitated immediately after the involved construction works are completed.</p> <p>2) Shade cloth must be used to conceal and minimise the visual impact of the site camps and storage areas</p> <p>3) All equipment and materials should be stored in a designated area indicated by the ECO.</p> <p>4) All areas must be kept neat and tidy and waste should be stored in the designated areas</p>	Visual impacts minimized	Contractor ESO



<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
			and removed on a weekly basis.		
	<b>Vegetation</b>	Landscaping	1) When planting trees, care should be taken to avoid the incorrect positioning of trees and other plants, to prevent the roots of trees planted in close proximity to the line of water-bearing services from causing leaking in, or malfunctioning of the services. 2) The proposed planting materials for the areas to be landscaped should preferably be endemic and indigenous. 3) All new trees and shrubs to be planted on the study area shall be inspected for pests and diseases prior to them being planted. 4) The inspection shall be carried out by the maintenance contractor at the property of the supplier and not on the study area. 5) All trees to be planted shall be in 20L containers with a height of approximately 1,8 metres and a main stem diameter of approximately 300 mm. 6) Rehabilitation of the drainage channel with indigenous vegetation should be done after construction has been completed on site.	Landscaping done according to landscape development plan	Landscape architect Contractor
		Loss of plants	1) Aerate compacted soil and check and correct pH for soils affected by construction activities. 2) Make sure plant material will be matured enough and hardened off ready for planting. Water in plants immediately as planting proceeds. 3) Apply mulch to conserve moisture Plant according to the layout and planting techniques specified by the Landscape Architect in the Landscape Development plans for the site.	Landscaping done according to landscape development plan	Landscape architect Contractor

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Performance indicator</b>	<b>Responsibility</b>
		Spread of weeds	Ensure that materials used for mulching and topsoil/ fertilisers are certified weed free. Collect certifications where available. Control weed growth that appears during construction.	Weed growth controlled	Landscape architect Contractor

### 4.3 Operational Phase

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Responsibility</b>
<b>SITE CLEAN UP AND PREPARED FOR USE</b>	<b>Storm water pollution</b>	Do not allow any materials to wash into the storm water system.	Remove erosion and sediment controls only if all bare soil is sealed, covered or re-vegetated. Sweep roadways clean and remove all debris from kerb and gutter areas. Do not wash into drains.	Contractor
		Minimise waste	Decontaminate and collect waste in storage area ready for off-site recycling or disposal Arrange for final collection and removal of excess and waste materials.	Contractor
<b>MATERIALS FAILURE</b>	<b>Structural damage. Loss of site materials.</b>		Inspect all structures monthly to detect any cracking or structural problems. Confirm with designer if there are design problems. Rectify with materials to match, or other agreed solution.	Contractor
<b>DRAINAGE FAILURE</b>	<b>On-site and downstream drainage pollution or flooding</b>	Storm water management plan	Inspect all site drainage works and repair any failures. Confer with design engineer and to correct site problems.	Contractor
<b>SITE AUDIT</b>	<b>Eventual project failure</b>	Successful project establishment	Routinely audit the works and adjust maintenance schedule accordingly.	Contractor
<b>GENERAL</b>			Open fires and smoking during maintenance works are strictly prohibited.	Contractor
<b>GEOLOGY</b>	<b>Erosion of topsoil</b>	Prevent topsoil erosion	Due to lose topsoil, the soil must be covered by means of re-seeding and vegetation with suitable ground covering.	Engineer / Contractor /
			A risk management plan must be designed and implemented. After completion it will become the responsibility of the Owners' Association. Infrastructure and ground-surface monitoring should be integral part of	Dolomite risk management plan compiled

<b>TYPE</b>	<b>Environmental risk or issue</b>	<b>Objective or requirement</b>	<b>Mitigation measure</b>	<b>Responsibility</b>
			the risk management plan. Maintenance checks of infrastructure, the inspection of buildings, and the detection and repair/remediation of leaking services are amongst the tasks that will need to be undertaken at local council level. Findings should be recorded and entered into a database. Inspectors need to be aware or educated as to what to look for (ponding of water, cracks in the ground). Inspectors should be aware of the procedures to be followed in the event of an emergency.	



## **5 Procedures for environmental incidents**

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### **5.1 Leakages & spills**

- Identify source of problem.
- Stop goods leaking, if safe to do so.
- Contain spilt material, using spills kit or sand.
- Notify Environmental Control Officer
- Remove spilt material and place in sealed container for disposal (if possible).
- Environmental Control Officer to follow Incident Management Plan.

### **5.2 Failure of erosion/sediment control devices**

- Prevent further escape of sediment.
- Contain escaped material using silt fence, hay bales, pipes, etc.
- Notify ECO.
- Repair or replace failed device as appropriate.
- Dig/scrape up escaped material; take care not to damage vegetation.
- Remove escaped material from site.
- ECO to follow Incident Management plan.
- Monitor for effectiveness until re-establishment.

### **5.3 Bank/slope failure**

- Stabilize toe of slope to prevent sediment escape using aggregate bags, silt fence, logs, hay bales, pipes, etc.
- Notify ECO.
- ECO to follow Incident Management plan.
- Divert water upslope from failed fence.
- Protect area from further collapse as appropriate.
- Restore as advised by ECO.
- Monitor for effectiveness until stabilized.

### **5.4 Discovery of rare or endangered species**

- Stop work.
- Notify ECO.
- If a plant is found, mark location of plants.
- If an animal, mark location where sighted.
- ECO to identify or arrange for identification of species and or the relocation of the species if possible.
- If confirmed significant, ECO to liaise with Endangered Wildlife Trust.
- Recommence work when cleared by ECO.

### **5.5 Discovery of archeological or heritage items**

- Stop work.
- Do not further disturb the area.
- Notify ECO.
- ECO to arrange appraisal of specimen.
- If confirmed significant, ECO to liaise with National, Cultural and History Museum.  
P.O. Box 28088  
SUNNYSIDE  
0132  
Contact Mr. J. van Schalkwyk

or  
Mr. Naude

- Recommence work when cleared by ECO.

## **6 EMP review**

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1. The Site supervisor is responsible for ensuring the work crew is complying with procedures, and for informing the work crew of any changes. The site supervisor is responsible for ensuring the work crew is aware of changes that may have been implemented by GDARD before starting any works.
2. If the contractor cannot comply with any of the activities as described above, they should inform the ECO with reasons within 7 working days.





# **Annexure M**

## Transitional Arrangements



LEBOMBO GARDENS  
36 LEBOMBO ROAD  
ASHLEA GARDENS  
0081

P.O. BOX 11375  
MAROELANA  
0161

Tel: (012) 346 3810  
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E-mail: lizelleg@mweb.co.za  
Website: www.Bokamoso.net



Landscape Architects, Environmental Consultants,  
Environmental Auditing, Water License Applications

June 2015

**Annexure M: Olievenhoutbosch road from Main to K54 - Transitional Arrangements as set out in Section 76(3) of the Amended NEMA Regulations of 8 December 2014**

**1) Introduction and Background**

Please take note that the 2010 NEMA EIA Regulations were replaced by the Amended 2014 NEMA EIA Regulations on 4 December 2014, but due to the fact that the application was submitted in terms of the 2010 NEMA EIA Regulations, this application will be dealt with in terms of such Regulations. Once the Decision has been issued in terms of the New 2014 EIA Regulations and all following procedures (i.e Amendment Applications, Appeals ect. must be made/submitted in terms of the 2014 NEMA EIA Regulations. Refer to Chapter 8- Transitional Arrangements and Commencement of the 2014 NEMA EIA Regulations).

Regulations 53 (3) of the 2014 NEMA EIA Regulations furthermore states " Where an application submitted in terms of the previous NEMA EIA Regulations, is pending in relation to the activity of which a component of the same activity was not identified under the previous NEMA EIA Notices, but now identified in terms of sections 24(2) of the Act, the component authority must dispense of such application in terms of the previous NEMA regulations and may authorise the activity identified in terms of Section 24(2) as if it was applied for, on condition that all impacts of the newly identified activity and requirements of these Regulations have also been considered and adequately assessed."

## 2) Comparison between the 2010 and 2014 NEMA Listed Activities

This Environmental Impact Assessment Report submitted for the proposed Olievenhoutbosch Road Development represents an EIA application in terms of Notice R. 982 published in the Government Notice No. 38282 of the National Environmental Management Act, 1998 (Act No. 107 of 1998). In terms of these Regulations the proposed development qualifies for a Scoping and Environmental Impact Assessment Process.

**It is important to note that this application was submitted prior to 4 December 2014**, the date on which the Amended NEMA Regulations came into effect. Chapter 8, Regulation 53 of the 2014 Environmental Impact Assessment Regulations deals with transitional arrangements and requires that pending applications, submitted in terms of the 2010 NEMA Regulations, also take the impacts of the newly listed activities into consideration and adequately assess such activities.

### 2.1 Activities Applied for in terms of the 2010 Regulations and Activities listed in terms of the 2014 Regulations that must be taken into consideration

The 2010 NEMA EIA Regulations consist of two lists of activities (in listing notices GN. R983, R984 and GN. R985). Tables 1 and 2 below list the activities applied for in terms of these regulations. These activities will be thoroughly considered and assessed in the EIA Report.

**Table 1: Listed activities in terms of Notice No. R 544**

Listing No. 1 R. 544, 18 June 2010	Activity 11	The construction of: (i) canals; (ii) channels; (iii) bridges; (iv) dams; (v) weirs; (vi) bulk storm water outlet structures; (vii) marinas (viii) jetties exceeding 50 square meters in size; (ix) slipways exceeding 50 squares meters in size; (x) buildings exceeding 50 square meters in size; or more where such construction occurs within 32 meters of a watercourse, measured from the edge of a watercourse, excluding where such construction will occur behind the development setback line.
Listing No. 1 R.	Activity 18	The Infilling or depositing of any material of more than 5

544, 18 June 2010		<p>cubic metres into, or the dredging, excavation, removal or moving of soil, sand, shells, shell grit, pebbles or rock from:</p> <p>(i) a watercourse;</p> <p>(ii) the sea;</p> <p>(iii) the seashore</p> <p>(iv) the littoral active zone, an estuary or a distance of 100 metres inland of high-water mark of the sea or an estuary, whichever distance is the greater- but excluding where such infilling, depositing, dredging, excavation, removal or moving</p> <p>(i) is for maintenance purposes undertaken in accordance with a management plan agreed to by the relevant environmental authority; or</p> <p>(ii) occurs behind the development setback line</p>
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**Table 2: Listed activities in terms of Notice No. R 545**

Listing No. 2 R. 545, 18 June 2010	Activity 18	<p>The route determination of roads and design of associated physical infrastructure, including roads that have not yet been built for which routes have been determined before 03 July 2006 and which have not been authorized by a competent authority in terms of the Environmental Impact Assessment Regulations, 2006 or 2009, made under section 24(5) of the Act and published in Government Notice No.385 of 2006, -</p> <p>(i) It is a national road as defined in section 40 of the South African National Roads Agency Limited and National Roads Act, 1998 (Act No. 7 of 1998);</p> <p>(ii) It is a road administered by a provincial authority;</p> <p>(iii) The road reserve is wider than 30 meters, or</p> <p>(iv) The road will cater for more than one lane of traffic in both directions.</p>
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**Table 3: Listed activities in terms of Notice No. R 546**

Listing No. 3 R. 546, 18 June 2010	Activity 4	<p>The construction of a road wider than 4 meters with a reserve less than 13.5 meters.</p> <p><b>(b) In Gauteng:</b></p> <p>i. A protected area identified in terms of NEMPAA, excluding conservancies;</p> <p>ii. National Protected Area Expansion Strategy Focus area;</p> <p>iii. Sensitive areas as identified in an environmental management framework as contemplated in chapter 5 of the Act and as adopted by the competent authority;</p> <p>iv. Sites identified in terms of the Ramsar Convention;</p> <p>v. Sites identified as irreplaceable or</p>
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			<p>important in the Gauteng Conservation plan;</p> <p>vi. Areas larger than 2 hectares zoned for use as public open space;</p> <p>vii. Areas zoned for a conservation purpose.</p> <p>viii. Any declared protected area including Municipal or Provincial Nature Reserves as contemplated by the Environmental Conservation Act, 1989 (Act No. 73 of 1989) and the Nature Conservation Ordinance (Ordinance 12 of 1983);</p> <p>Any site identified as land with high agricultural potential located within the Agricultural Hubs or important Agricultural Sites identified in terms of the Gauteng Agricultural Potential Atlas, 2006</p>
<p>Listing No. 3 R. 546, 18 June 2010</p>	<p>Activity 13</p>	<p>The clearance of an area of 1 hectare or more of vegetation where 75% or more of the vegetation cover constitutes indigenous vegetation, except where such removal of vegetation is required for:</p> <p>(1) The undertaking of a process or activity included in the list of waste management activities published in terms of section 19 of the National Management Act, 2008 (Act No. 59 of 2008) in which case the activity is regarded to be excluded from</p>	<p><b>(d) In Gauteng:</b></p> <p>i. A protected area identified in terms of NEMPAA, excluding conservancies;</p> <p>ii. National Protected Area Expansion Strategy Focus areas;</p> <p>iii. Any declared protected area including Municipal or Provincial Nature reserves as contemplated by the Environmental Conservation Act, 1989 (Act No. 73 of 1989), the Nature Conservation Ordinance (Ordinance 12 of 1983);</p> <p>iv. Sensitive areas as identified in an environmental management framework as contemplated in chapter 5 of the Act and as adopted by the competent authority;</p> <p>v. Sites or areas identified in terms of an International Convention</p> <p>vi. Sites identified as irreplaceable or important in the Gauteng Conservation plan;</p>

		<p>this list.  (2)The undertaking of a linear activity falling below the thresholds mentioned in Listing Notice 1 in terms of GN No. 544 of 2010</p>	
<p>Listing No. 3  R. 546, 18  June 2010</p>	<p>Activity 19</p>	<p>The widening of a road by more than 4 meters, or the lengthening of a road by more than 1 kilometer.</p>	<p><b>(b) In Gauteng:</b>  i. A protected area identified in terms of NEMPAA, excluding conservancies;  ii. National Protected Area Expansion Strategy Focus areas;  iii. Sensitive areas as identified in an environmental management framework as contemplated in chapter 5 of the Act and as adopted by the competent authority;  iv. Sites or areas identified in terms of an International Convention;  v. Any site identified as land with high agricultural potential located within the Agricultural Hubs or Important Agricultural Sites identified in terms of the Gauteng Agricultural Potential Atlas, 2006.  vi. All sites identified as irreplaceable or important in the Gauteng Conservation plan;  vii. Any declared protected area including Municipal or Provincial Nature reserves as contemplated by the Environmental Conservation Act, 1989 (Act No. 73 of 1989), the Nature Conservation Ordinance ( Ordinance 12 of 1983) and the NEMPAA.</p>

**Table 4** below lists all the possible activities that could be applicable in terms of the 2014 Amended NEMA Regulations. It is however not necessary for the Department to approve such activities. It is only necessary for the EAP to take these activities into consideration and to assess such activities.

**Table 4: Listed activities in terms of Notice No. R 893**

<p>Listing No. 1 R. 893, December 2014</p>	<p>Activity 12</p>	<p>The development of-</p> <ul style="list-style-type: none"> <li>(i) canals exceeding 100 square metres in size;</li> <li>(ii) channels exceeding 100 square metres in size;</li> <li>(iii) bridges exceeding 100 square metres in size;</li> <li>(iv) dams, where the dam, including infrastructure and water surface area, exceeds 100 square metres in size;</li> <li>(v) weirs, where the weir, including infrastructure and water surface area, exceeds 100 square metres in size;</li> <li>(vi) bulk storm water outlet structures exceeding 100 square metres in size;</li> <li>(vii) marinas exceeding 100 square metres in size;</li> <li>(viii) jetties exceeding 100 square metres in size;</li> <li>(ix) slipways exceeding 100 square metres in size;</li> <li>(xi) buildings exceeding 100 square metres in size;</li> <li>(xi) boardwalks exceeding 100 square metres in size; or</li> <li>(xii) infrastructure or structures with a physical footprint of 100 square metres or more;</li> </ul> <p>where such development occurs-</p> <ul style="list-style-type: none"> <li>(a) within a watercourse;</li> <li>(b) in front of a development setback; or</li> <li>(c) if no development setback exists, within 32 metres of a watercourse, measured from the edge of a watercourse; -</li> </ul> <p>excluding-</p> <ul style="list-style-type: none"> <li>(aa) the development of infrastructure or structures within existing ports or harbours that will not increase the development footprint of the port or harbour;</li> <li>(bb) where such development activities are related to the development of a port or harbour, in which case activity 26 in Listing Notice 2 of 2014 applies;</li> <li>(cc) activities listed in activity 14 in Listing Notice 2 of 2014 or activity 14 in Listing Notice 3 of 2014, in which case that activity applies;</li> <li>(dd) where such development occurs within an urban area; or</li> <li>(ee) where such development occurs within existing roads or road reserves.</li> </ul>
<p>Listing No. 1 R. 893, December 2014</p>	<p>Activity 19</p>	<p>The infilling or depositing of any material of more than 5 cubic metres into, or the dredging, excavation, removal or moving of soil, sand, shells, shell grit, pebbles or rock of more than 5 cubic metres from-</p> <ul style="list-style-type: none"> <li>(i) a watercourse;</li> <li>(ii) the seashore; or</li> <li>(iii) the littoral active zone, an estuary or a distance of 100 metres inland of the high-water mark of the sea or an estuary, whichever distance is the</li> </ul>

		<p>greaterbut  excluding where such infilling, depositing , dredging,  excavation, removal or moving-</p> <p>(a) will occur behind a development setback;  (b) is for maintenance purposes undertaken in accordance  with a maintenance  management plan; or</p> <p>(i) (c) falls within the ambit of activity 21 in this Notice, in  which case that activity applies.</p>
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**Table 5: Listed activities in terms of Notice No. R 984**

Listing No. 2 R,984 December 2014	Activity 15	<p>The clearance of an area of 20 hectares or more of  indigenous vegetation is required for-</p> <p>(i) Linear development activities; or</p> <p>(ii) Maintenance proposes undertaken in  accordance with a maintenance  management plan.</p>
Listing No. 2 R,984 December 2014	Activity 27	<p>The development of -</p> <p>(i) a national road as defined in section 40 of the  South African National Roads Agency  Limited and National Roads Act, 1998 (Act No. 7 of  1998);</p> <p>(ii) a road administered by a provincial authority;  (iii) a road with a reserve wider than 30 metres; or  (iv) a road catering for more than one lane of traffic in  both directions;</p> <p>but excluding the development and related  operation of a road for which an environmental  authorisation was obtained for the route  determination in terms of activity 5 in Government  Notice 387 of 2006 or activity 18 in Government Notice  545 of 2010, in which case activity 24  in Listing Notice 1 of 2014 applies.</p>



**Table 6: Listed activities in terms of Notice No.3 of R 985**

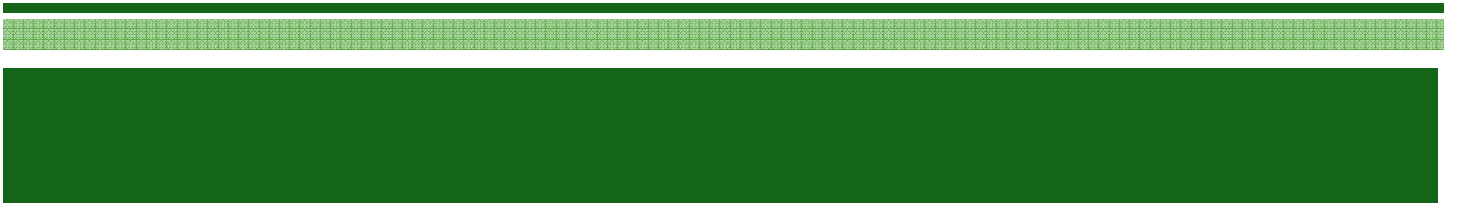
<p>Listing No. 3 R. 985 December 2014</p>	<p>Activity 12</p>	<p>The clearance of an areas of 300 square meters or more of indigenous vegetation except where such clearance of indigenous vegetation is required for maintenance purposes undertaken in accordance with a maintenance management plan.</p>	<p><b>(d)In Gauteng:</b></p> <ul style="list-style-type: none"> <li>i. within any critically endangered or endangered ecosystem listed in terms of section 52 of the NEMBA or prior to the publication of such a list, within an areas that has been identified as critically endangered in the National Spatial Biodiversity Assessment 2004;</li> <li>ii. Within critical biodiversity areas identified in bioregional plans;</li> <li>iii. Within the littoral active zone or 100 metres inland from high water marks of the sea or an estuarine functional zone, whichever distance is the greater, excluding where such removal will occur behind the development setback line on erven in urban areas; or</li> <li>iv. On land, where at the time of the coming into effect of this Notice or thereafter such land was zoned open space, conservation or had an equivalent zoning.</li> </ul>
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### 3. Conclusion

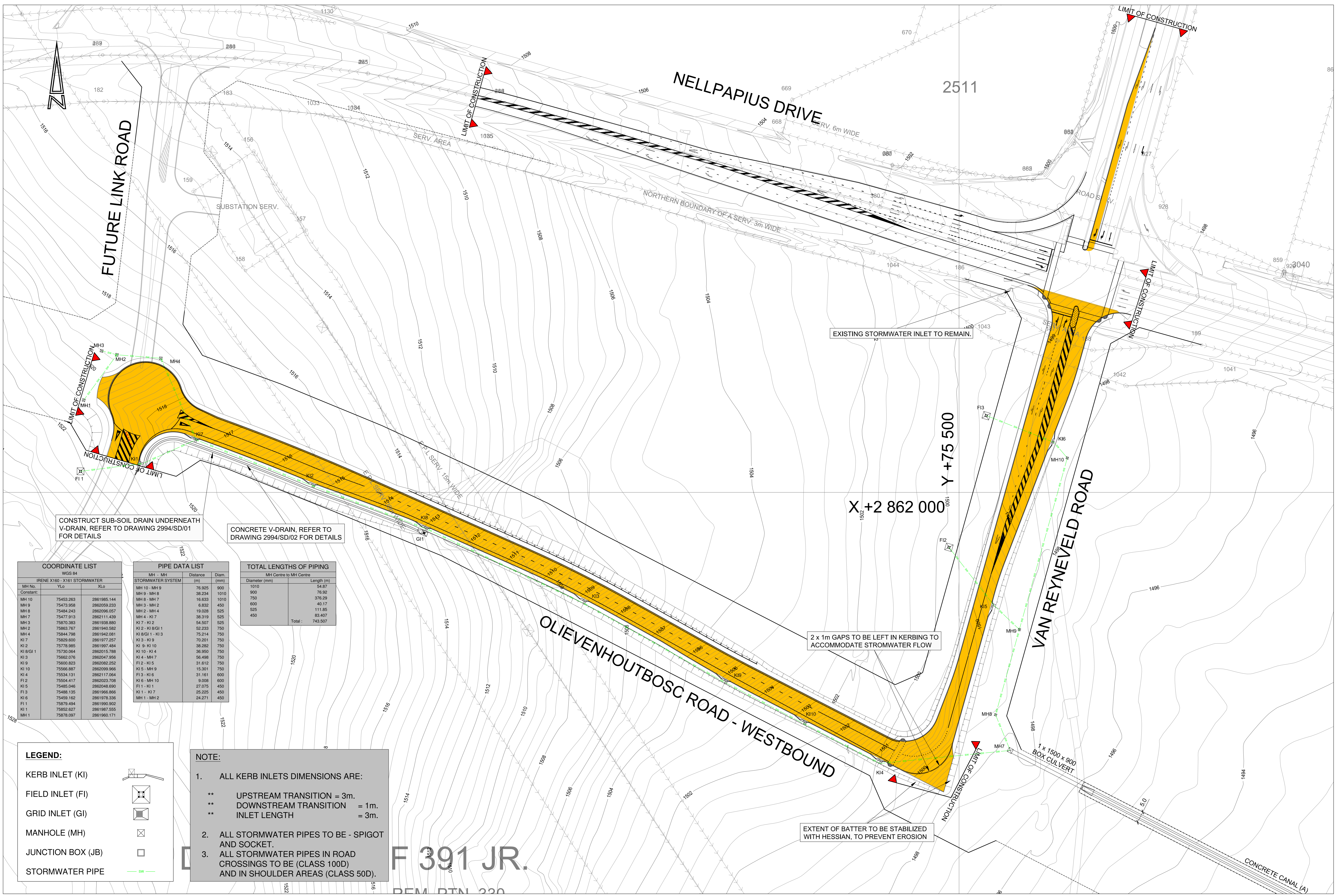
The activities that were regarded as applicable in the Amended NEMA Regulations of 2014 are very similar in nature to the activities already addressed in the EIA Report. It was not regarded as necessary to incorporate separate assessments and no new impacts or issues to address were triggered through the inclusion of these activities. The impacts and issues identified and the mitigation measures supplied in the EIA Report and the EMP already address all the issues.

# **Annexure N**

Engineer drawings for the road







CONSTRUCT SUB-SOIL DRAIN UNDERNEATH V-DRAIN, REFER TO DRAWING 2994/SD/01 FOR DETAILS

CONCRETE V-DRAIN, REFER TO DRAWING 2994/SD/02 FOR DETAILS

2 x 1m GAPS TO BE LEFT IN KERBING TO ACCOMMODATE STORMWATER FLOW

EXTENT OF BATTER TO BE STABILIZED WITH HESSIAN, TO PREVENT EROSION

COORDINATE LIST			
WGS 84			
IRENE X160 - X161 STORMWATER			
MH No.	YLo	XLo	
Constant:			
MH 10	75453.263	2861985.144	
MH 9	75473.958	2862059.233	
MH 8	75484.243	2862096.057	
MH 7	75477.913	2862111.439	
MH 3	75870.383	2861938.880	
MH 2	75863.767	2861840.382	
MH 4	75844.798	2861942.081	
KI 7	75829.800	2861977.257	
KI 2	75778.985	2861997.484	
KI 8/GI 1	75730.064	2862015.788	
KI 3	75692.076	2862047.956	
KI 9	75600.823	2862082.252	
KI 10	75566.887	2862099.966	
KI 4	75534.131	2862117.064	
FI 2	75504.417	2862023.708	
KI 5	75485.046	2862048.690	
FI 3	75488.135	2861966.866	
KI 6	75459.162	2861978.336	
FI 1	75879.494	2861990.902	
KI 1	75852.627	2861987.555	
MH 1	75878.087	2861960.171	

PIPE DATA LIST			
MH - MH	Distance (m)	Diam. (mm)	
MH 10 - MH 9	76.925	900	
MH 9 - MH 8	38.234	1010	
MH 8 - MH 7	16.633	1010	
MH 3 - MH 2	6.832	450	
MH 2 - MH 4	19.028	525	
MH 4 - KI 7	38.319	525	
KI 7 - KI 2	54.507	525	
KI 2 - KI 8/GI 1	52.233	750	
KI 8/GI 1 - KI 3	75.214	750	
KI 3 - KI 9	70.201	750	
KI 9 - KI 10	38.282	750	
KI 10 - KI 4	36.950	750	
KI 4 - MH 7	56.498	750	
FI 2 - KI 5	31.612	750	
KI 5 - MH 9	15.301	750	
FI 3 - KI 6	31.161	600	
KI 6 - MH 10	9.008	600	
FI 1 - KI 1	27.075	450	
KI 1 - KI 7	25.225	450	
MH 1 - MH 2	24.271	450	
<b>Total:</b>	<b>743.507</b>		

TOTAL LENGTHS OF PIPING	
MH Centre to MH Centre	Length (m)
1010	54.87
900	76.92
750	376.29
600	40.17
525	111.85
450	83.407
<b>Total:</b>	<b>743.507</b>

**LEGEND:**

- KERB INLET (KI)
- FIELD INLET (FI)
- GRID INLET (GI)
- MANHOLE (MH)
- JUNCTION BOX (JB)
- STORMWATER PIPE

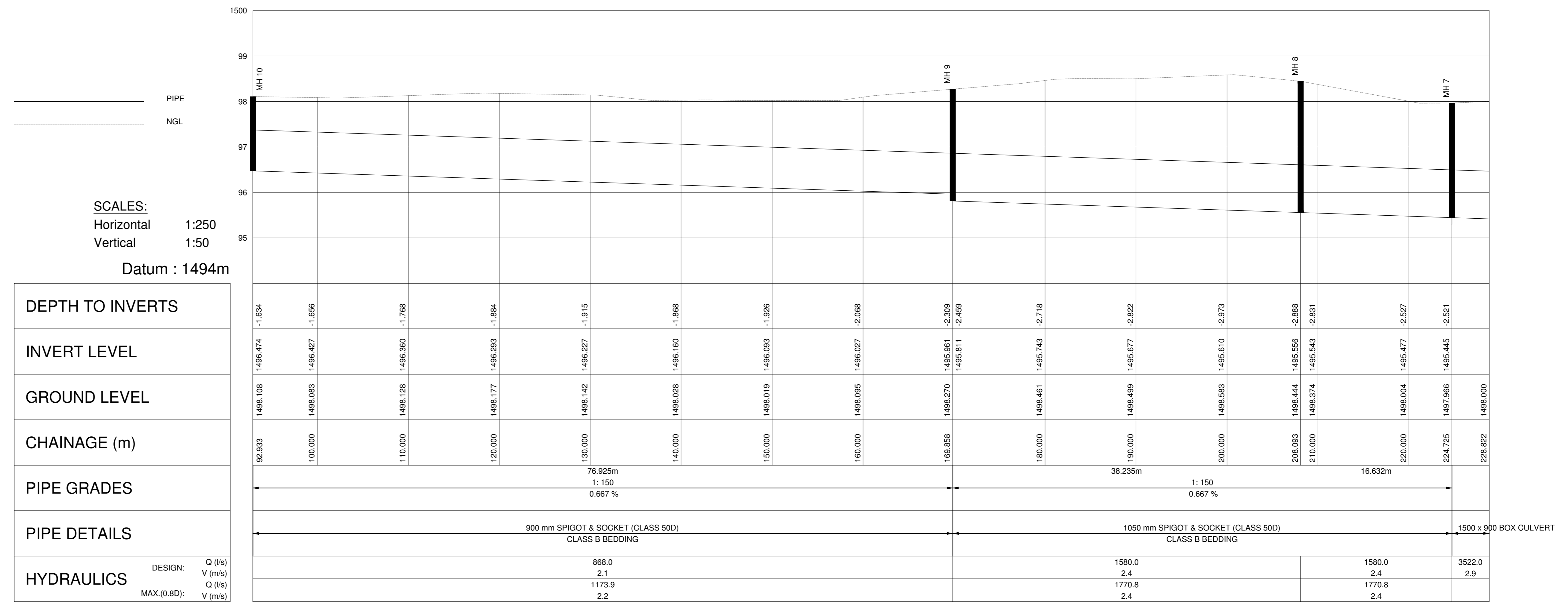
**NOTE:**

- ALL KERB INLETS DIMENSIONS ARE:
  - \*\* UPSTREAM TRANSITION = 3m.
  - \*\* DOWNSTREAM TRANSITION = 1m.
  - \*\* INLET LENGTH = 3m.
- ALL STORMWATER PIPES TO BE - SPIGOT AND SOCKET.
- ALL STORMWATER PIPES IN ROAD CROSSINGS TO BE (CLASS 100D) AND IN SHOULDER AREAS (CLASS 50D).

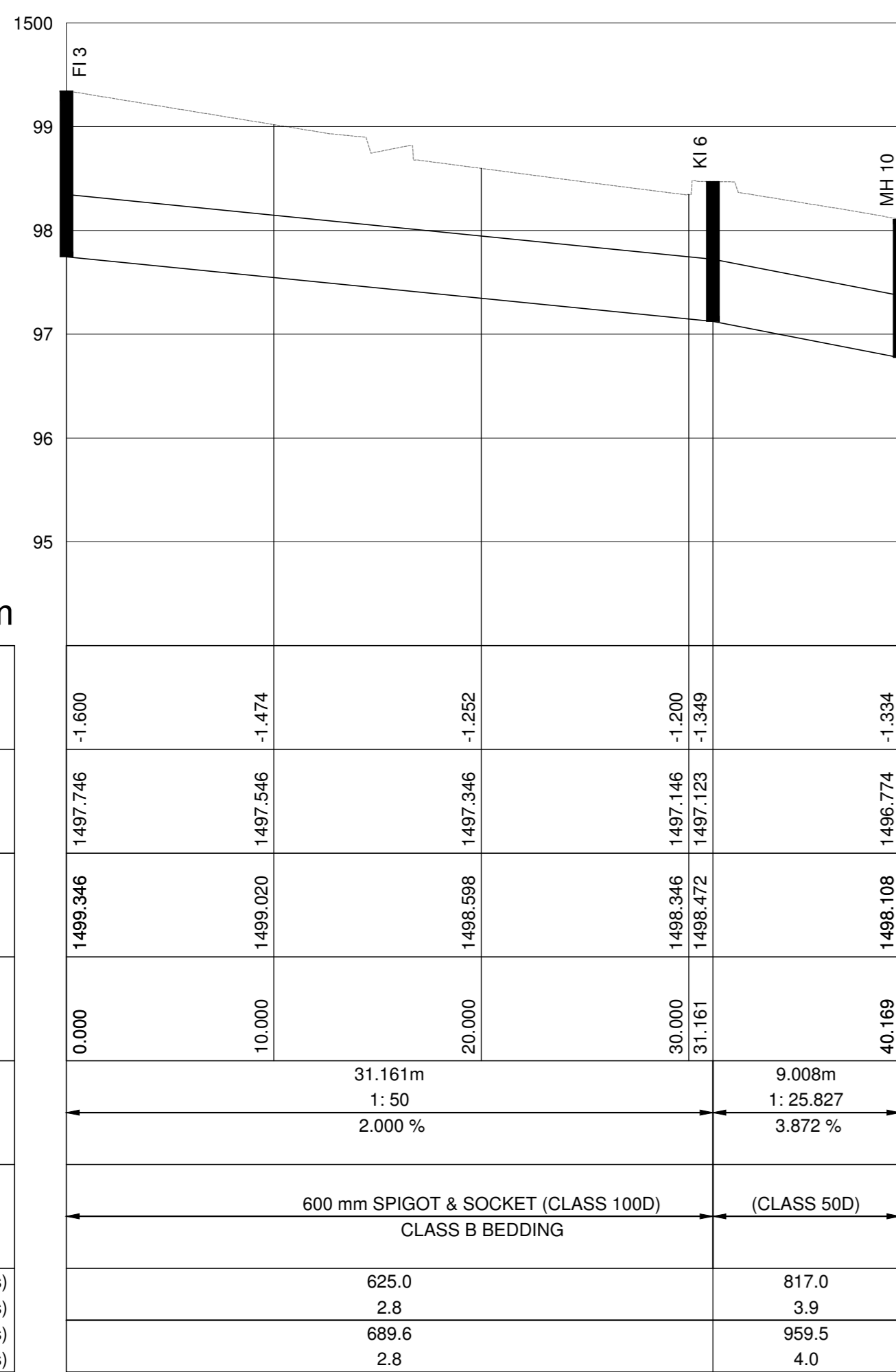




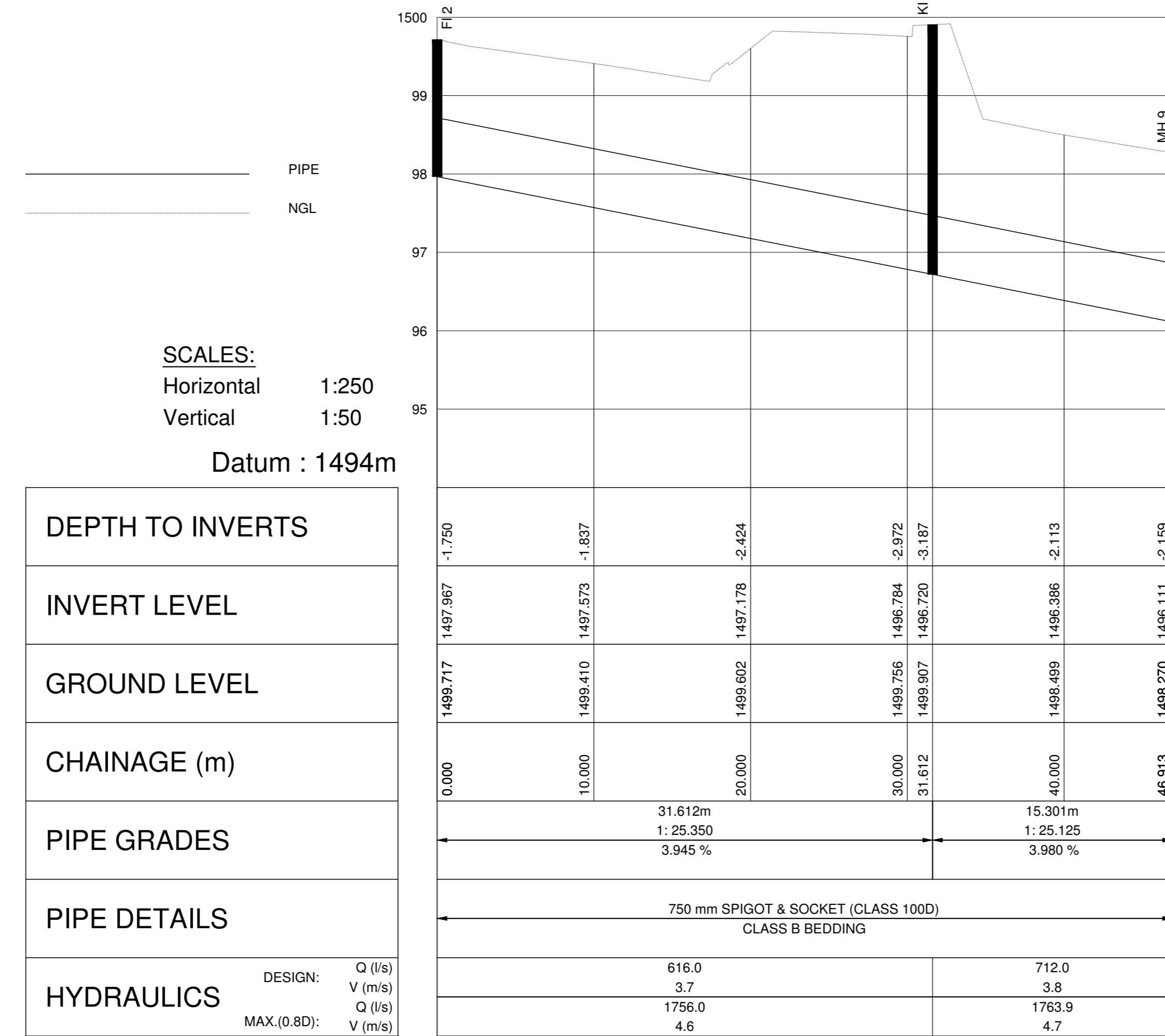




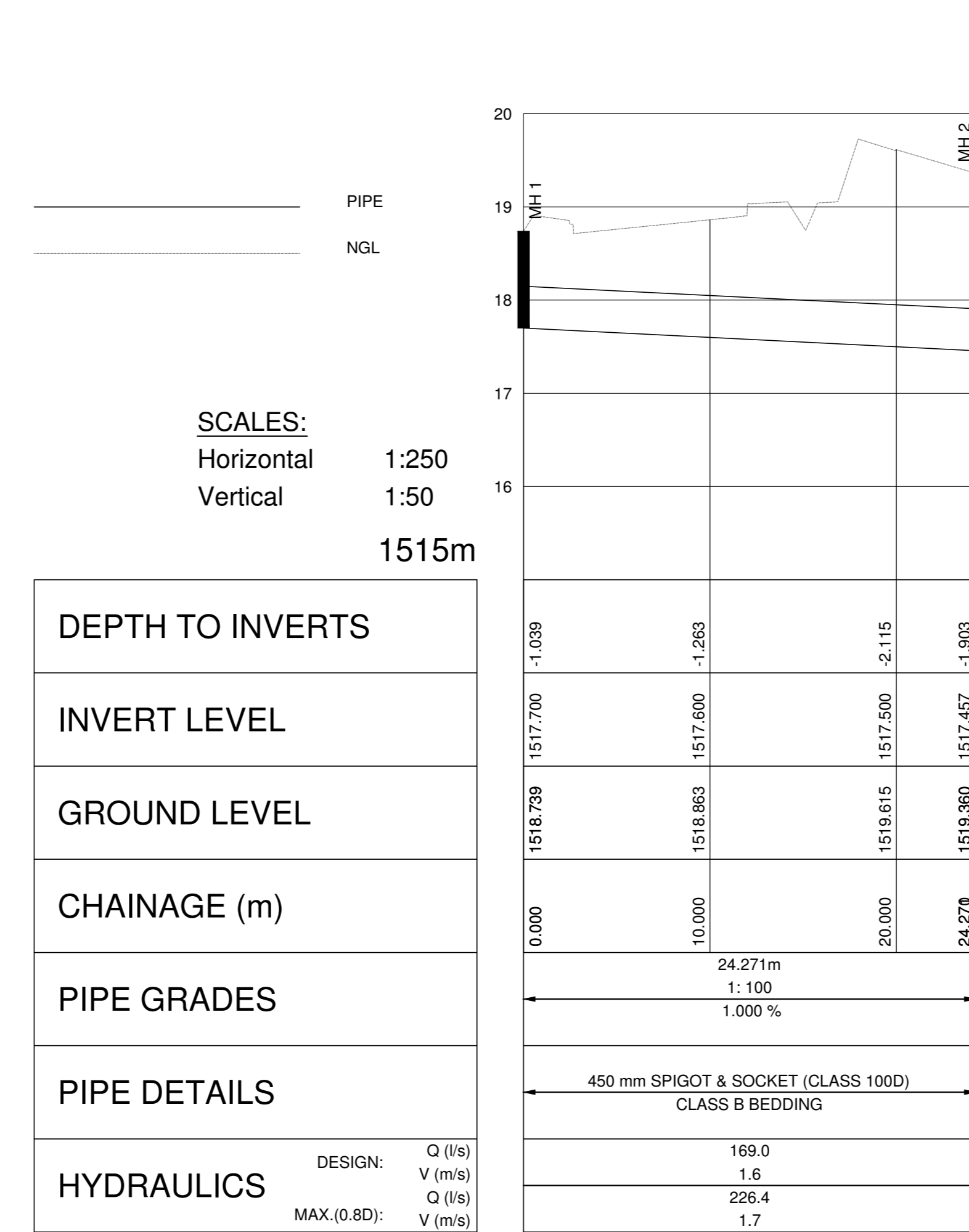
KI 7 - MH 7



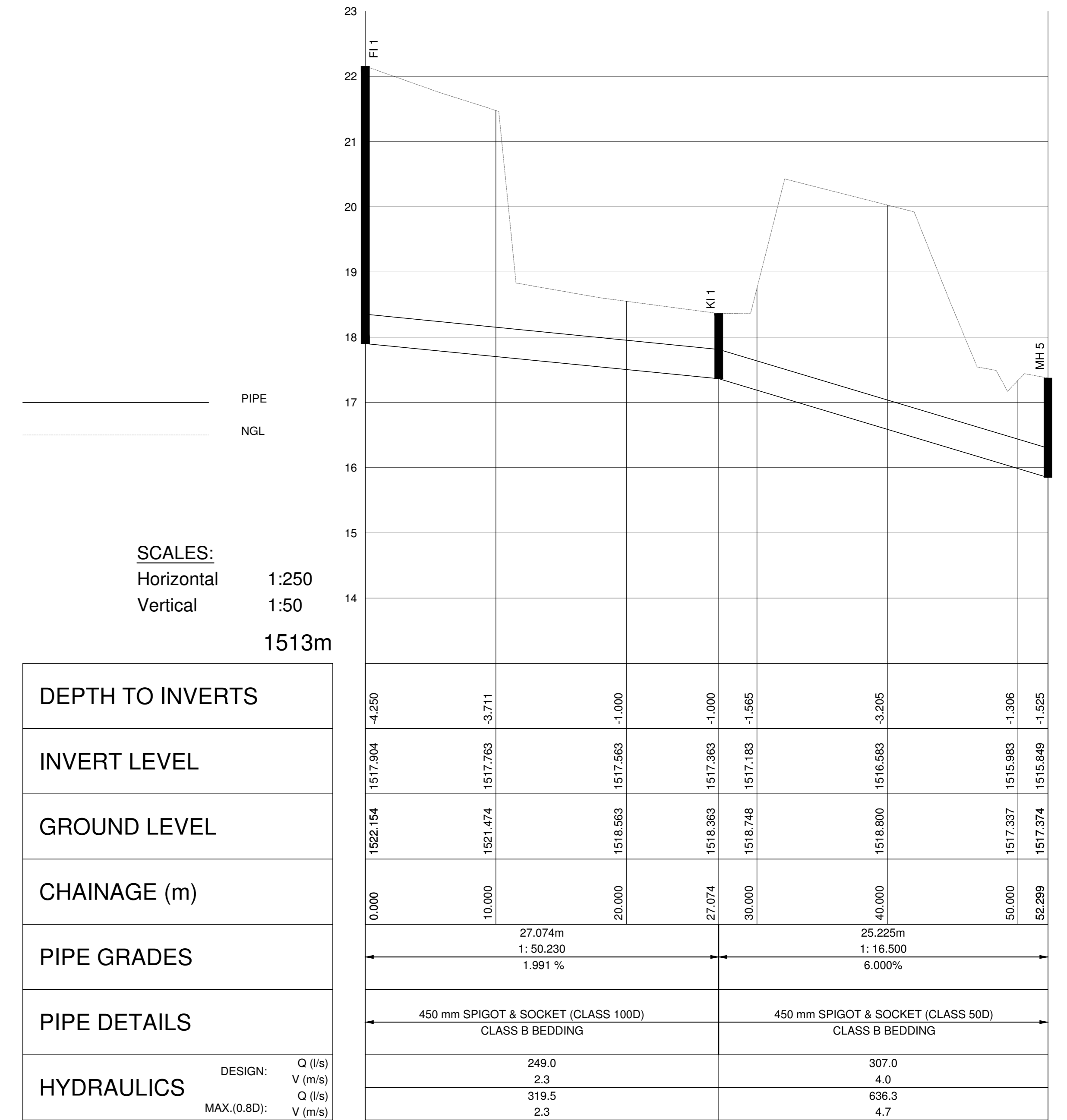
FI 3 - MH 10



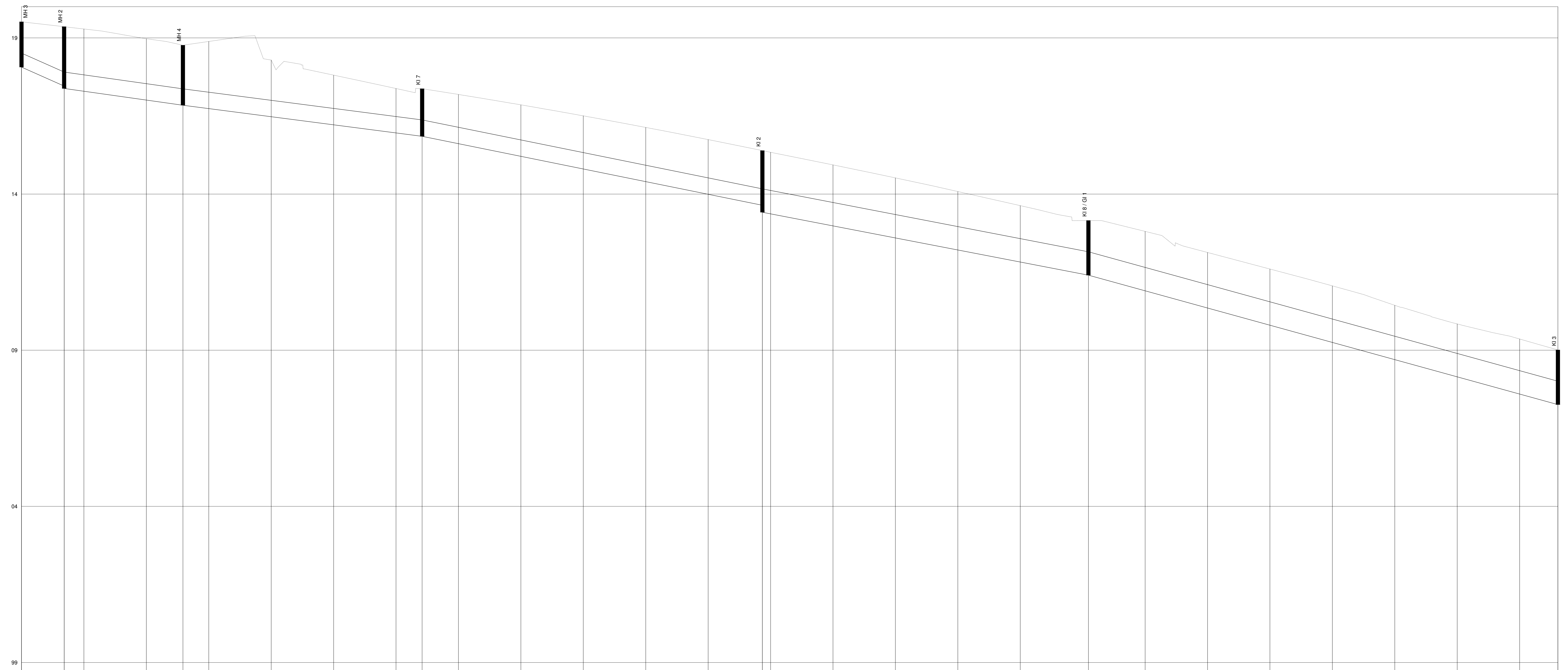
FI 2 - MH 9



MH 1 - MH 2



FI 1 - MH 5



PIPE  
 NGL

SCALES:  
 Horizontal 1:250  
 Vertical 1:50

Datum : 1494m

DEPTH TO INVERTS	INVERT LEVEL	GROUND LEVEL	CHAINAGE (m)	PIPE GRADES	PIPE DETAILS	HYDRAULICS
0.000	1519.615	1519.605	0.000	8.899 %	450 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	DESIGN: Q (l/s) MAX.(0.8D): V (m/s)
6.832	1517.457	1519.300	6.832	1.11237	525 mm SPIGOT & SOCKET (CLASS 100D) CLASS B BEDDING	Q (l/s) V (m/s)
10.000	1517.292	1519.280	10.000	2.828 %		Q (l/s) V (m/s)
25.859	1516.844	1518.874	25.859	2.828 %	525 mm SPIGOT & SOCKET (CLASS 100D) CLASS B BEDDING	Q (l/s) V (m/s)
30.000	1516.726	1518.887	30.000	2.828 %		Q (l/s) V (m/s)
40.000	1516.477	1518.291	40.000	2.597 %	525 mm SPIGOT & SOCKET (CLASS 100D) CLASS B BEDDING	Q (l/s) V (m/s)
50.000	1516.217	1517.808	50.000	2.597 %		Q (l/s) V (m/s)
60.000	1515.958	1517.380	60.000	4.049 %	525 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
64.179	1515.849	1517.274	64.179	4.049 %		Q (l/s) V (m/s)
70.000	1515.613	1517.190	70.000	4.049 %	525 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
80.000	1515.208	1516.856	80.000	4.049 %		Q (l/s) V (m/s)
84.507	1514.804	1516.505	84.507	4.049 %	525 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
90.000	1514.399	1516.134	90.000	4.049 %		Q (l/s) V (m/s)
110.000	1513.994	1515.745	110.000	3.858 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
118.896	1513.842	1515.592	118.896	3.858 %		Q (l/s) V (m/s)
120.000	1513.842	1515.538	120.000	3.858 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
130.000	1512.981	1514.804	130.000	3.858 %		Q (l/s) V (m/s)
140.000	1512.595	1514.519	140.000	3.858 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
150.000	1512.209	1514.081	150.000	3.858 %		Q (l/s) V (m/s)
160.000	1511.823	1513.630	160.000	3.858 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
170.919	1511.462	1513.152	170.919	3.858 %		Q (l/s) V (m/s)
180.000	1510.902	1512.805	180.000	5.510 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
190.000	1510.351	1512.130	190.000	5.510 %		Q (l/s) V (m/s)
200.000	1509.800	1511.999	200.000	5.510 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
210.000	1509.249	1511.090	210.000	5.510 %		Q (l/s) V (m/s)
220.000	1508.688	1510.437	220.000	5.510 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
230.000	1508.147	1509.841	230.000	5.510 %		Q (l/s) V (m/s)
240.000	1507.596	1509.359	240.000	5.510 %	750 mm SPIGOT & SOCKET (CLASS 50D) CLASS B BEDDING	Q (l/s) V (m/s)
246.135	1507.256	1508.008	246.135	5.510 %		Q (l/s) V (m/s)

MH 3 - KI 3



29 De Havilland Crescent  
 Polo Park, Building 1  
 Pennington Technopark  
 Pretoria 0001

Tel: (012) 349 1554  
 Fax: (012) 549 1655

CLIENT:  
 M.T. DEVELOPMENT



APPROVED	SIGNED	DATE

NO.	DATE	REVISION
1	2014-07-17	ISSUED FOR CONSTRUCTION
2	2014-09-26	FOR COT APPROVAL

DESIGNED:	DRAWN:	CHECKED:
J. ERASMUS	J. BECKER	J. ERASMUS

NAME	SIGNED	DATE
J. ERASMUS		
J. BECKER		
J. ERASMUS		

PROJECT:  
 DRAWING TITLE:  
 KOPIEREG VOORBEHOU / COPYRIGHT RESERVED

IRENE X89 - VAN REYNEVELD LINK  
 STORMWATER LONGITUDINAL SECTION - SHEET 2

SCALE: 1:100  
 REV: 1  
 DATE: 2014-07-17  
 DRAWING NUMBER: 2994/SWLS/02



# **Annexure O**

Amended Application Form





# APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]



## Gauteng Department of Agriculture and Rural Development

### Application for authorisation in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended and the Environmental Impact Assessment Regulations, 2010 (Version1)

Kindly note that:

1. This application form is to be completed for both the Basic Assessment process and the Scoping & EIA process.
2. This application form is current as of 2 August 2010. It is the responsibility of the EAP to ascertain whether subsequent versions of the form have been published or produced by the competent authority.
3. The application must be typed within the spaces provided in the form. The sizes of the spaces provided are not necessarily indicative of the amount of information to be provided. It is in the form of a table that can extend itself as each space is filled with typing.
4. Selected boxes must be indicated by a cross and, when the form is completed electronically, must also be highlighted.
5. Incomplete applications may be returned to the applicant for revision.
6. The use of "not applicable" in the report must be done with circumspection because if it is used in respect of material information that is required by the competent authority for assessing the application, it may result in the rejection of the application as provided for in the regulations.
7. Three copies of this form and the attachments must be handed in at the offices of the relevant competent authority as detailed below.
8. No faxed or e-mailed applications shall be accepted. Only hand delivered or posted applications will be accepted.
9. Unless protected by law, and clearly indicated as such, all information filled in on this application will become public information on receipt by the competent authority. The applicant/Environmental Assessment Practitioner (EAP) must provide any Interested and Affected Party (I&AP's) with the information contained in this application on request, during any stage of the application process.
10. Attachments, where applicable, to this document are to be ordered in the following prescribed manner

Annexure - A	Locality map
Annexure - B	a) Proof of notification to the Land owner b) Proof of receipt of such notice by the owner
Annexure - C	List of all organs of state and State Departments of where the draft report will be submitted, their full contact details and contact person

Annexure -D	Property description list
Annexure -E	Current land use zonings list
Addendum-A	Declaration of Independence by EAP to be submitted with the report if the application form was submitted by applicant -

#### DEPARTMENTAL DETAILS

Gauteng Department of Agriculture and Rural Development  
Attention: Administrative Unit of the Sustainable Utilisation of the Environment (SUE) Branch  
P.O. Box 8769  
Johannesburg  
2000

Administrative Unit of the Sustainable Utilisation of the Environment (SUE) Branch  
18<sup>th</sup> floor Glen Cairn Building  
73 Market Street, Johannesburg

Administrative Unit telephone number: (011) 355 1345  
Department central telephone number: (011) 355 1900

**APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]**

(For official use only)

<b>File Reference Number:</b>						
<b>Application Number:</b>						
<b>Date Received:</b>						

**1. NATURE OF THE ACTIVITY**

Construction of a section of Olievenhoutbosch Road from Main Road to K54.

Select the appropriate box with regards to the application form submission

An application for conducting a basic assessment (as defined in the regulations)?	<input type="checkbox"/>	A resubmission of an application for conducting a basic assessment (as defined in the regulations)?	<input type="checkbox"/>
An application for conducting a Scoping & EIA process (as defined in the regulations)	<input checked="" type="checkbox"/>	A resubmission of an application for conducting a SR & EIA process (as defined in the regulations)	<input type="checkbox"/>

**Please note: A section of Olievenhoutbosch Road from Main Road to Nellmapius Drive had already been approved (Gaut:002/03-04/52) Refer to Locality Map attached as Annexure A.**

If this is a class application, has a copy of approval letter to undertake such an application been attached as such application may/shall not be undertaken without an approval from this Department

Has this project or a substantial similar project which has been previously submitted by the applicant been denied authorisation by the relevant authority in the last three (3) years

YES	NO x
YES	NO

If yes will the application contain new or additional material not submitted previously  
To be noted that Regulation 68 of EIA Regulations, 2010 states that no applicant may resubmit an application which is substantially similar to an application previously denied authorisation by the relevant authority unless 3 years has lapsed since the refusal or new material is to be presented

**2. PROJECT DETAILS**

**Project title:** Olievenhoutbosch Road from Main Road to K54.

To be noted that the project will be registered under this title and this title must be duplicated through the application life of the project

**Local authority(les) in whose jurisdiction the proposed application will fall** City of Tshwane.

**3. ACTIVITY POSITION**

Indicate the position of the activity using the latitude and longitude of the centre point of the site for each alternative site. The co-ordinates should be in decimal degrees. The degrees should have at least six decimals to ensure adequate accuracy. The projection that must be used in all cases is the WGS84 spheroid in a national or local projection.

**Alternative:**

<b>Latitude (S):</b>	<b>Longitude (E):</b>

**In the case of linear activities:**

**Alternative:**

- Starting point of the activity

<b>Latitude (S):</b>	<b>Longitude (E):</b>
°	°



# APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]

- Middle point of the activity
- End point of the activity

0	0
0	0

For route alternatives that are longer than 500m, please provide co-ordinates taken every 250 meters along the route and attached in the appropriate Appendix

Addendum of route alternatives attached

Yes

**Property description:**

Portion 1, Portion 188, Remainder of Portion 330, Portion 335 and Portion 5 of the farm Doornkloof 391-JR. Road reserve of Nelmapius Drive/M31 and road servitude of the R21.

(Farm name, portion etc.) Where a large number of properties (including alternatives) are involved (e.g. linear activities), please attach a list of the property descriptions to this application.

## 4. ACTIVITIES APPLIED FOR

Describe the activity and associated infrastructure, which is being applied for, in detail

Construction of a section of Olievenhoutbosch Road (from Main Road to K54) and associated infrastructure.

Which Listing Notice is the activity(ies) listed under?

Listing Notice 1

X

Listing Notice 2

X

Listing Notice 3

X

If "or also" listed under Listing Notice 3, describe the Geographical Area triggering the activity and its regional, provincial, national & international significance

The proposed route traverses **irreplaceable sites**.

An application may be made for more than one listed or specified activity that, together, make up one development proposal. All the listed activities that make up this application must be listed.

**Indicate the number and date of the relevant Government Notice:**

**Activity No (s) (in terms of the relevant notice): e.g. Listing notices 1, 2 or 3**

**Describe each listed activity as per the wording in the relevant listing notice:**

Listing No. 1R 544, 18 June 2010	Activity 11	<p>The construction of:</p> <ul style="list-style-type: none"> <li>(i) canals;</li> <li>(ii) channels;</li> <li>(iii) bridges;</li> <li>(iv) dams;</li> <li>(v) weirs;</li> <li>(vi) bulk storm water outlet structures;</li> <li>(vii) marinas</li> <li>(viii) jetties exceeding 50 square meters in size;</li> <li>(ix) slipways exceeding 50 squares meters in size;</li> <li>(x) buildings exceeding 50 square meters in size; or more</li> </ul> <p>where such construction occurs within 32 meters of a watercourse, measured from the edge of a watercourse, excluding where such construction will occur behind the development setback line.</p>
Listing No. 1 R, 544, 18 June 2010	Activity 18	<p>The infilling or depositing of any material of more than 5 cubic metres into, or the dredging, excavation, removal or moving of soil, sand, shells, shell grit, pebbles or rock from:</p> <ul style="list-style-type: none"> <li>(i) a watercourse;</li> <li>(ii) the sea;</li> <li>(iii) the seashore</li> <li>(iv) the littoral active zone, an estuary or a distance of 100 metres inland of high-water mark of the sea or an estuary, whichever distance is the</li> </ul>



**APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]**

		<p>greater- but excluding where such infilling, depositing, dredging, excavation, removal or moving</p> <p>(i) is for maintenance purposes undertaken in accordance with a management plan agreed to by the relevant environmental authority; or occurs behind the development setback line</p>
Listing No. 2 R. 545, 18 June 2010	Activity 18	<p>The route determination of roads and design of associated physical infrastructure, including roads that have not yet been built for which routes have been determined before 03 July 2006 and which have not been authorized by a competent authority in terms of the Environmental Impact Assessment Regulations, 2006 or 2009, made under section 24(5) of the Act and published in Government Notice No. 385 of 2006, -</p> <p>(i) It is a national road as defined in section 40 of the South African National Roads Agency Limited and National Roads Act, 1998 (Act No. 7 of 1998);</p> <p>(ii) It is a road administered by a provincial authority;</p> <p>(iii) The road reserve is wider than 30 metres, or</p> <p>(iv) The road will cater for more than one lane of traffic in both directions.</p>
Listing No. 3 R. 546, 18 June 2010	Activity 4	<p>The construction of a road wider than 4 metres with a reserve less than 13.5 metres.</p> <p><b>(b) In Gauteng:</b></p> <p>i. A protected area identified in terms of NEMPAA, excluding conservancies;</p> <p>ii. National Protected Area Expansion Strategy Focus area;</p> <p>iii. Sensitive areas as identified in an environmental management framework as contemplated in chapter 5 of the Act and as adopted by the competent authority;</p> <p>iv. Sites identified in terms of the Rasmus Convention;</p> <p><b>v. Sites identified as irreplaceable or important in the Gauteng Conservation plan;</b></p> <p>vi. Areas larger than 2 hectares zoned for use as public open space;</p> <p>vii. Areas zoned for a conservation purpose.</p> <p>viii. Any declared protected area including Municipal or Provincial Nature Reserves as contemplated by the Environmental Conservation Act, 1989 (Act No. 73 of 1989) and the Nature Conservation Ordinance (Ordinance 12 of 1983);</p> <p>Any site identified as land with high agricultural potential located within the Agricultural Hubs or important Agricultural Sites identified in terms of the Gauteng Agricultural Potential</p>

**APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]**

<p>Listing No. 3 R. 546, 18 June 2010</p>	<p>Activity 13</p>	<p>The clearance of an area of 1 hectare or more of vegetation where 75% or more of the vegetative cover constitutes indigenous</p>	<p>Atlas, 2006. <b>d)in Gauteng</b> i. A protected area identified in terms a of NEMPAA, excluding conservancies; ii. National Protected Area Expansion Strategy Focus areas; iii. Any declared protected area including Municipal or Provincial Nature Reserves as contemplated by the Environment Conservation Act, 1989 [Act No. 73 of 1989], the Nature Conservation Ordinance (Ordinance 12 of 1983); (v) Sensitive areas as identified in an environmental management framework as contemplated in chapter 5 of the Act and as adopted by the competent authority; iv. Sites or areas identified in terms of an international convection; v. Sites identified as irreplaceable or important in the Gauteng Conservation Plan.</p>
<p>Listing No. 3 R. 546, 18 June 2010</p>	<p>Activity 19</p>	<p>The widening of a road by more than 4 metres, or the lengthening of a road by more than 1 kilometre.</p>	<p><b>(b) In Gauteng</b> i. A protected area identified in terms of NEMPAA, excluding conservancies; ii. National Protected Area Expansion Strategy Focus areas; iii. Sensitive areas as identified in an environmental management framework as contemplated in chapter 5 of the Act and as adopted by the competent authority; iv. Sites or areas identified in terms of an International Convention; v. Any site identified as land with high agricultural potential located within the Agricultural Hubs or important Agricultural Potential Atlas, 2006; vi. All sites identified as irreplaceable or important in terms of the applicable Gauteng Conservation Plan; vii. Any declared protected area including Municipal or Provincial Nature Reserves as contemplated by the Environment Conservation Act, 1989 (Act No. 73 of</p>



**APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]**

			1989), the Nature Conservation Ordinance (Ordinance 12 of 1983) and the NEMPAA.
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Please note that any authorisation that may result from this application will only cover activities specifically applied for.

**5. OTHER AUTHORISATIONS REQUIRED**

**5.1 DO YOU NEED ANY AUTHORISATIONS IN TERMS OF ANY OF THE FOLLOWING LAWS?**

4.1.1 National Environmental Management: Waste Act	Yes/No
4.1.2 National Environmental Management: Air Quality Act	Yes/No
4.1.3 National Environmental Management: Protected Areas Act	Yes/No
4.1.4 National Environmental Management: Biodiversity Act	Yes/No
4.1.5 Mineral Petroleum Development Resources Act	Yes/No
4.1.6 National Water Act	Yes/No
4.1.7 National Heritage Resources Act	Yes/No
4.1.8 Other (please specify)	Yes/No
4.2 Have such applications been lodged already?	Yes/No

**6. BACKGROUND INFORMATION**

<b>Project applicant:</b>	JR 209 Investments (Pty) Ltd		
<b>Trading name (if any):</b>	M&T Development		
<b>Contact person:</b>	Mr. Cobus Cronje		
<b>Physical address:</b>	Witch-hazel Avenue 340, Eco Court Building, Highveld, Centurion, 0046		
<b>Postal address:</b>	P O Box 39727, Faerie Glen		
<b>Postal code:</b>	0043	<b>Cell:</b>	
<b>Telephone:</b>	(012) 676 8592	<b>Fax:</b>	086 623 5451
<b>E-mail:</b>	Cobus.cronje@m-t.co.za		
<b>Project Environmental Assessment Practitioner:</b>	Bokamoso Landscape Architects & Environmental Consultants		
<b>Contact person:</b>	Lizelle Gregory		
<b>Postal address:</b>	P.O. Box 11375, Maroelana,		
<b>Postal code:</b>	0161	<b>Cell:</b>	083 255 8384
<b>Telephone:</b>	(012) 346 3810	<b>Fax:</b>	086 570 5659
<b>E-mail:</b>	lizelleg@mweb.co.za		
<b>EAP qualifications &amp; relevant experience</b>	Registered Landscape Architect & Environmental Consultant (degree obtained from the University of Pretoria) , with more than 18 years experience in: <ul style="list-style-type: none"> <li>• The compilation of Environmental Evaluation Reports,</li> <li>• Environmental Management Plans,</li> <li>• Strategic Environmental Assessments;</li> <li>• All stages of Environmental Input;</li> <li>• EIA under the ECA and the new and amended NEMA Regulations; and</li> <li>• Various other Environmental Reports and documents.</li> </ul>		
<b>Professional affiliation(s) (if any)</b>	The South African Council of the Landscape Architects Profession (SACLAP); Institute for Landscape Architects in South Africa (ILASA); and Institute for Environmental Management and Assessment (IEMAS)		
<b>Landowner:</b>	JR 209 Investments (Pty) Ltd		



**APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]**

<b>Contact person:</b>	Mr. Cobus Cronje		
<b>Postal address:</b>	P O Box 39727, Faerie Glen		
<b>Postal code:</b>	0043	<b>Cell:</b>	
<b>Telephone:</b>	(012) 676 8592	<b>Fax:</b>	086 623 5451
<b>E-mail:</b>	<a href="mailto:Cobus.cronje@m-t.co.za">Cobus.cronje@m-t.co.za</a>		

In instances where there is more than one landowner (including for alternative sites), please attach a list of landowners with their contact details to this application.

In instances where the landowner is not the applicant –attach proof of notification of the landowner and a proof of receipt of such notice by the owner, manager or person in control of the land.

List of the land owner is attached	<b>NO</b>
Landowner notification proof is attached	<b>NO</b>
Landowner proof of receipt of such notification is attached	<b>NO</b>

<b>Local authority in whose jurisdiction the proposed activity will fall:</b>	City of Tshwane		
<b>Contact person:</b>	Livhuwani Siphuma		
<b>Postal address:</b>	Private Bag 1454, PRETORIA		
<b>Postal code:</b>	0001	<b>Cell:</b>	
<b>Telephone:</b>	012 358 8871	<b>Fax:</b>	012 358 8934
<b>E-mail:</b>	<a href="mailto:livhuwanis@tshwane.gov.za">livhuwanis@tshwane.gov.za</a>		

In instances where there is more than one local authority involved (including for alternative sites), please attach a list of local authorities with their contact details to this application.

List of local authorities is attached

List of properties is attached

<b>Town(s) or district(s):</b>	City of Tshwane
<b>Street/Physical address:</b>	

In instances where there is more than one town or district involved, please attach a list of towns or districts to this application.

List of towns or districts is attached

<b>State Departments administering a law affecting the environment:</b>	Department of Water Affairs		
<b>Contact person:</b>	Mr. Justice Maluleke		
<b>Postal address:</b>	Private Bag X313, Pretoria		
<b>Postal code:</b>	0001	<b>Cell:</b>	
<b>Telephone:</b>	012 336 6507	<b>Fax:</b>	012 336 8311
<b>E-mail:</b>	<a href="mailto:MalulekeJ@dwa.gov.za">MalulekeJ@dwa.gov.za</a>		

In instances where there is more than one State Department involved, please attach a list of all State Departments with their contact details.

<b>Current land-use zoning:</b>	Agricultural
---------------------------------	--------------

In instances where there is more than one current land-use zoning (including alternatives), please attach a list of current land use zonings that also indicate which portions each use pertains to , to this application.

# APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]

List of current land use zonings is attached NO

**Locality map:**

A locality map(s) (including alternatives) must be attached to the back of this document, as Annexure A. The scale of the locality map must be between 1:10 000 and 1:50 000. The scale must be indicated on the map. The map must indicate the following:

- an accurate indication of the project site position as well as the positions of the alternative sites, if any;
- road access from all major roads in the area;
- road names or numbers of all major roads as well as the roads that provide access to the site(s);
- all roads within a 1km radius of the site or alternative sites;
- all rivers within a 1km radius of the site or alternative sites; and
- a north arrow.

## 7. COMPLIANCE WITH CONDITIONS

Have you ever been in non-compliance with a condition of an authorisation or exemption issued by this Department or any other provincial or national environmental department in terms of the Environment Conservation Act (No 73 of 1989) or the National Environmental Management Act (No 107 of 1998) as amended?

YES	NO
	X

If yes, indicate details of non-compliance together with reasons for non-compliance:

N/A

Attach all relevant documentation e.g. compliance audit reports, pre-directives, directives, compliance notices

## 8. ACTIVITY INFORMATION

**Socio-economic value of the activity**

What is the expected capital value of the activity on completion?

What is the expected yearly income that will be generated by or as a result of the activity?

Will the activity contribute to service infrastructure?

Will the activity contribute to a public amenity

Total number of new employment opportunities to be created in the development phase of this activity.

Of these opportunities how many are:

Women

People with disabilities

Female

Male

Youth

Female

Male

What is the expected value of the employment opportunities during the development phase?

What percentage of this will accrue to previously disadvantaged individuals?

Total number of new employment opportunities to be created in the operational phase of this activity.

Of these opportunities how many are:

Women

People with disabilities

Female

Male

50 Million	
N/A	
YES	NO
X	
YES	NO
	X
200	
5%	

1%
1%

0
0
3.6 million
90%
None
0
0
0
0



# APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]

Youth

Female

Male

What is the expected current value of the employment opportunities during the first 10 years?

What percentage of this will accrue to previously disadvantaged individuals?

0
0
0
3.6 million
90%

## Need and desirability of the activity

Motivate and explain the need and desirability of the activity (including demand for the activity):

To alleviate traffic congestion on the major roads.

Indicate any benefits that the activity will have for society in general:

Job creation. Road congestion will be alleviated in the surrounding area.

Indicate any benefits that the activity will have for the local communities where the activity will be located:

The proposed route will create jobs during the construction and operational phase and will provide a residential development in the area.

## 9. DECLARATIONS

The Applicant

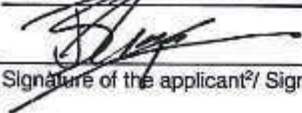
I, Cobus Cronje, declare that I -

- am<sup>1</sup>, the applicant in this application for **OLIEVENHOUTBOSCH ROAD from Main Road to K54**
- have appointed an environmental assessment practitioner to act as the independent environmental assessment practitioner for this application;
- will provide the environmental assessment practitioner and the competent authority with access to all information at my disposal that is relevant to the application;
- will be responsible for the costs incurred in complying with the Environmental Impact Assessment Regulations, 2010, including but not limited to –
  - costs incurred in connection with the appointment of the environmental assessment practitioner or any person contracted by the environmental assessment practitioner;
  - costs incurred in respect of the undertaking of any process required in terms of the Regulations;
  - costs in respect of any fee prescribed by the Minister or MEC in respect of the Regulations;
  - costs in respect of specialist reviews, if the competent authority decides to recover costs; and
  - the provision of security to ensure compliance with conditions attached to an environmental authorisation, should it be required by the competent authority;
- will ensure that the environmental assessment practitioner is competent to comply with the requirements of these Regulations and will take reasonable steps to verify whether the EAP complies with the Regulations;
- will inform all registered interested and affected parties of any suspension of the application as well as of any decisions taken by the competent authority in this regard;
- am responsible for complying with the conditions of any environmental authorisation issued by the competent authority;
- hereby indemnify the Government of the Republic, the competent authority and all its officers, agents and employees, from any liability arising out of the content of any report, any procedure or any action which the applicant or environmental assessment practitioner is responsible for in terms of these Regulations;
- will not hold the competent authority responsible for any costs that may be incurred by the applicant in proceeding with an activity prior to obtaining an environmental authorisation or prior to an appeal being decided in terms of these Regulations;
- will perform all other obligations as expected from an applicant in terms of the Regulations;
- all the particulars furnished by me in this form are true and correct; and
- I am aware that a false declaration is an offence in terms of regulation 71 and is punishable in terms of section 24F of the Act.

<sup>1</sup> If this is signed on behalf of the applicant, proof of such authority from the applicant must be attached.



APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]

  
Signature of the applicant<sup>2</sup>/ Signature on behalf of the applicant:

Name of company (if applicable):

Date:

Signature of the Commissioner of Oaths:

Date:


Designation:

Commissioner of Oaths Official stamp (below)

GESERTIFISEER 'N WARE AFSKRIF  
VAN DIE OORSPRONKLIKE  
CERTIFIED A TRUE COPY OF THE ORIGINAL

**ADDENDUM A**

**10. DECLARATIONS<sup>3</sup>**

  
R. SWART  
Commissioner of Oaths / Kommissaris van Ede  
Professionele Rekenmeester (SARPA) Lic.no : 8140  
Chris Hougaardstr 262, Wierdapark, 0149

The Environmental Assessment Practitioner;

- I, Lizelle Gregory, declare under oath that I –
- I act as the independent environmental practitioner for this application **OLIEVENHOUTBOSCH ROAD**
  - I will perform the work relating to the application in an objective manner, even if this results in views and findings that are not favourable to the applicant;
  - I declare that there are no circumstances that may compromise my objectivity in performing such work;
  - I have expertise in conducting environmental impact assessments, including knowledge of the Act, regulations and any guidelines that have relevance to the proposed activity;
  - I will comply with the Act, regulations and all other applicable legislation;
  - I will take into account, to the extent possible, the matters listed in regulation 8 of the regulations when preparing the application and any report relating to the application;
  - I have no, and will not engage in, conflicting interests in the undertaking of the activity;
  - I undertake to disclose to the applicant and the competent authority all material information in my possession that reasonably has or may have the potential of influencing - any decision to be taken with respect to the application by the competent authority; and - the objectivity of any report, plan or document to be prepared by myself for submission to the competent authority;
  - I will ensure that information containing all relevant facts in respect of the application is distributed or made available to interested and affected parties and the public and that participation by interested and affected parties is facilitated in such a manner that all interested and affected parties will be provided with a reasonable opportunity to participate and to provide comments on documents that are produced to support the application;
  - I will ensure that the comments of all interested and affected parties are considered and recorded in reports that are submitted to the competent authority in respect of the application, provided that comments that are made by interested and affected parties in respect of a final report that will be submitted to the competent authority may be attached to the report without further amendment to the report;
  - I will keep a register of all interested and affected parties that participated in a public participation process; and
  - I will provide the competent authority with access to all information at my disposal regarding the application, whether such information is favourable to the applicant or not
  - all the particulars furnished by me in this form are true and correct;
  - will perform all other obligations as expected from an environmental assessment practitioner in terms of the Regulations; and
  - I realise that a false declaration is an offence in terms of regulation 71 and is punishable in terms of section 24F of the Act.

For Scoping/ EIA applications I further declare under oath that

<sup>2</sup> If the applicant is a juristic person, a signature on behalf of the applicant is required as well as proof of such authority.

<sup>3</sup> Addendum A must be completed and submitted with the report if application form was done and submitted by the applicant.

APPLICATION FORM [REGULATION 12 (1)&(2)(A)(B)(I)(II)]

- I will fix the site notice(s) in a conspicuous place, on the property(ies) where it is intended to undertake the activity(ies)
- I will place a notice in the required newspaper(s)
- I will provide the following with all the project information and give I&AP's an opportunity to register as an I&AP
  - landowners and occupiers of adjacent land
  - landowners and occupiers of land within 100 metres of the boundary of the property
  - the ward councillor
  - any organisation that represents the community in the area of the application
  - the municipality which has jurisdiction over the area in which the proposed activity will be undertaken
  - any organ of state that may have jurisdiction over any aspect of the activity of the applicant's intention to submit an application to the competent authority; and
- I will include on the register all persons as required per Regulation 55 (1) (c)
- The Reports as submitted will contain the same information (including layout, project design and mitigation) as provided to the registered I&APs for comment.
- All issues raised by the I&APs during the public participation process will be included in the Comments and Response Report as attached.

Signature of the Environmental Assessment Practitioner:

BOLANIGO LANDSCAPE ARCHITECTS & ENVIRONMENTAL CONSULTANTS CC.  
Name of company:

10/6/2015  
Date:

Signature of the Commissioner of Oaths:

10/6/2015  
Date:

Designation:

Commissioner of Oaths Official stamp (below)

GESERTIFISEER 'N WARE AFSKRIF  
VAN DIE OORSPRONKLIKE  
CERTIFIED A TRUE COPY OF THE ORIGINAL

AR SVERT

Commissioner of Oaths/Commissaris van Ede.  
Professionele Rekeningskaster (SAIPA). Lid no : 8140  
Chris Hougaardstr 262, Wierdspark, 0149

**11. CHECKLIST**

To ensure that all information that the Department needs to be able to process this application, please check that:

- > Where requested, supporting documentation has been attached;
- > All relevant sections of the form have been completed; and
- > The form has been signed by the applicant, by the EAP or both.

## List of Annexures

- Annexure A: Locality Map
- Annexure B: List of Organs of State and State  
Departments
- Annexure C: Addendum of route alternatives

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List of Annexure A

Locality Map



MV

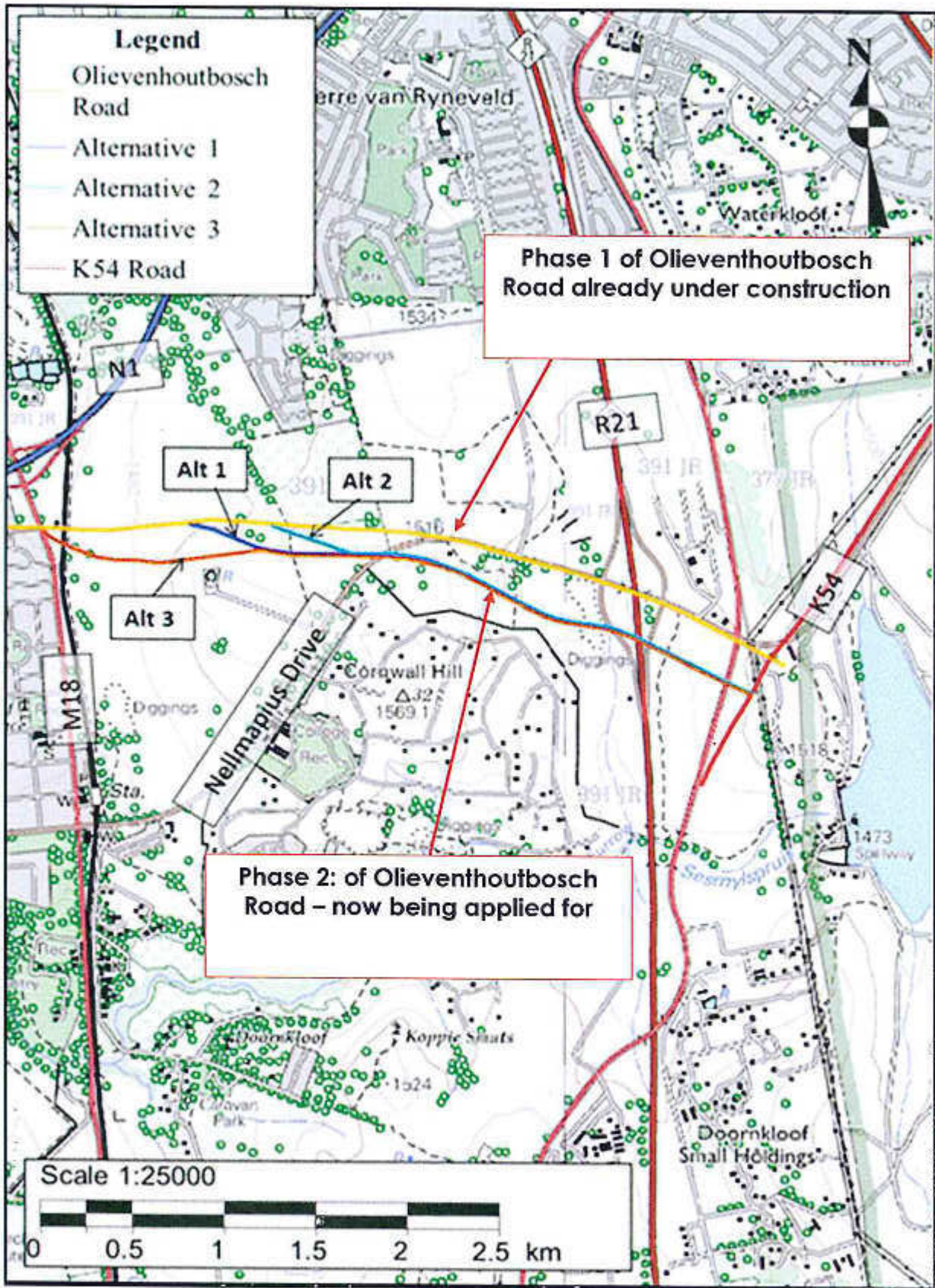


Fig 1: Locality Map

Olievenhoutbosch Road  
(Main Road to K54)



**Annexure B**

**List of Organs of State and State Departments**

*[Handwritten signature]*



**Department of Water Affairs**

<b>Contact person:</b>	Mr. Justice Maluleke		
<b>Postal address:</b>	Private Bag X313, Pretoria		
<b>Postal code:</b>	0001	<b>Cell:</b>	
<b>Telephone:</b>	012 336 6507	<b>Fax:</b>	012 336 8311
<b>E-mail:</b>	<a href="mailto:Maluleke.J@dwa.gov.za">Maluleke.J@dwa.gov.za</a>		

**City of Tshwane Metropolitan Municipality**

<b>Contact person:</b>	Livhuwani Siphuma		
<b>Postal address:</b>	Private Bag 1454, PRETORIA		
<b>Postal code:</b>	0001	<b>Cell:</b>	
<b>Telephone:</b>	012 358 8871	<b>Fax:</b>	012 358 8934
<b>E-mail:</b>	<a href="mailto:livhuwanis@tshwane.gov.za">livhuwanis@tshwane.gov.za</a>		

**Department of Transport**

<b>Contact person:</b>	Mr Mangisi George Mahlaele		
<b>Postal address:</b>	Private Bag X193, PRETORIA		
<b>Postal code:</b>	0001	<b>Cell:</b>	
<b>Telephone:</b>	(012) 309 3698	<b>Fax:</b>	(012) 328 3370
<b>E-mail:</b>			

**Department of Economic Development**

<b>Contact person:</b>	<a href="#">Mr Ebrahim Patel</a>		
<b>Postal address:</b>	Private Bag X149, PRETORIA		
<b>Postal code:</b>	0001	<b>Cell:</b>	
<b>Telephone:</b>	(012) 394 1008	<b>Fax:</b>	(012) 394 0255
<b>E-mail:</b>			



Annexure C

Addendum of route alternatives

A handwritten signature in black ink, consisting of several stylized, overlapping strokes, located in the bottom right corner of the page.

**Alternative 1**

25.861674°S; 28.229424°E  
25.862326°S; 28.231812°E  
25.862978°S; 28.2342°E  
25.863198°S; 28.236684°E  
25.863198°S; 28.23918°E  
25.863418°S; 28.241664°E  
25.86407°S; 28.244052°E  
25.86493°S; 28.246358°E  
25.866177°S; 28.248433°E  
25.866615°S; 28.250881°E  
25.867267°S; 28.253269°E  
25.868127°S; 28.255575°E  
25.869185°S; 28.257776°E  
25.870244°S; 28.259978°E

**Alternative 2**

25.861643°S; 28.233914°E  
25.862503°S; 28.23622°E  
25.863155°S; 28.238608°E  
25.863154°S; 28.241104°E  
25.863806°S; 28.243492°E  
25.864666°S; 28.245798°E  
25.865724°S; 28.247999°E  
25.866584°S; 28.250305°E  
25.867022°S; 28.252753°E  
25.867881°S; 28.255059°E  
25.86894°S; 28.25726°E  
25.869999°S; 28.259461°E

**Alternative 3**

25.862125°S; 28.221571°E  
25.863184°S; 28.223772°E  
25.863622°S; 28.22622°E  
25.863622°S; 28.228715°E  
25.863184°S; 28.231163°E  
25.862964°S; 28.233647°E  
25.863184°S; 28.236131°E  
25.863184°S; 28.238627°E  
25.863379°S; 28.241186°E  
25.863818°S; 28.243634°E





25.864876°S; 28.245835°E  
25.865935°S; 28.248036°E  
25.866794°S; 28.250342°E  
25.867014°S; 28.252826°E  
25.868032°S; 28.255061°E  
25.868892°S; 28.257367°E  
25.86995°S; 28.259568°E

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/ *Handwritten initials*