

**GENERAL NOTES**

Zoning - SR 400  
Occupancy - H4  
All dimensions and levels to be determined on site prior to commencement of construction  
All work to comply with SANS 10400 regulations  
All construction by registered/responsible persons  
Any deviations to original approved plan will deem not to comply further without consent from the architect/ author of plans and owner is responsible  
Drawing to be read and not scaled  
Drawing to be read in conjunction with Engineers drawing  
All structural work(foundations, fill, surface beds, slabs, ret. walls, waterproofing, walls, oills, lintels, beams, balustrades) to Engineers design and certification  
All plasterbands/ cappings to be 150mm unless otherwise indicated  
Wrought iron fencing and gate by specialist  
All new work to match existing and made good

**PLUMBING NOTES**

All damaged fittings to be replaced  
All gully surrounds to be 150mm  
Sewer to be exposed before commencement of construction  
Manhole covers to be 75mm above ground level  
IE's to all bends and junctions  
Soil pipes to be 110mm dia. uPVC  
Waste pipes to be 50mm dia. uPVC  
Sewer under slab to be ribbed uPVC  
All plumbing by registered/responsible persons  
All pipes and sanitary fittings to be SABS approved  
Connect all new hot and cold water to ex. hot and cold water supply  
Connect all new plumbing to ex. sewer

**SCHEDULE OF AREAS**

|  |                       |
|--|-----------------------|
| site area                                | 668.00 m <sup>2</sup> |
| coverage allowed(50%)                    | 334.00 m <sup>2</sup> |
| existing coverage                        | 180.12 m <sup>2</sup> |
| Proposed coverage                        | 1.98 m <sup>2</sup>   |
| TOTAL COVERAGE                           | 182.10 m <sup>2</sup> |
| f.a.r allowed                            | N/A                   |
| existing f.a.r                           | 300.64 m <sup>2</sup> |
| NO ADDITIONAL F.A.R                      |                       |
| PROPOSED ADDITIONS:                      |                       |
| new garage/slab over stair(subterranean) | 29.88 m <sup>2</sup>  |

**ENERGY EFFICIENCY NOTES**

Water Reticulation :  
All internal copper to be stroke 2  
All external copper to be stroke 0  
All copper from geyser from pressure control valve to be 25mm  
Valve bracket to be min. 350mm above geyser  
Roof Insulation :  
100mm sisoilation to be laid over battening of roof with a min. 100mm overlap  
(woolen cloth - chromadek/metal roofing)

**WINDOW AND DOOR SCHEDULE**

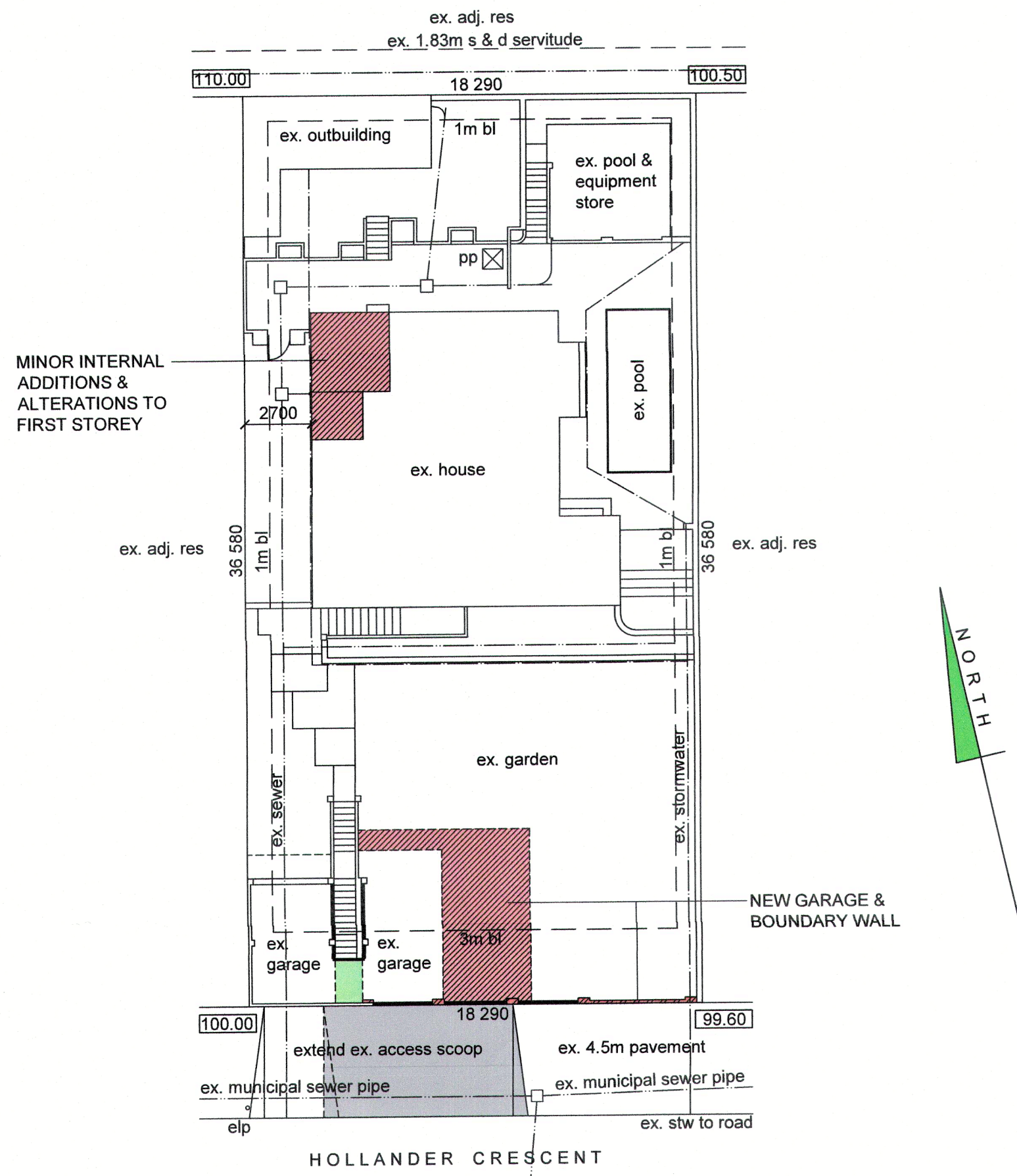
| item no.         | size (mm) | glass   | thickness | frame  |
|------------------|-----------|---------|-----------|--------|
| <b>NEW:</b>      |           |         |           |        |
| w1               | 1100x1500 | clear   | 5mm tsg   | timber |
| <b>EXISTING:</b> |           |         |           |        |
| w2               | 1100x1500 | clear   | 5mm tsg   | timber |
| w3               | 900x 600  | obscure | 6.3mm tsg | timber |

new timber windows to have thermal break framing  
all shower cubicles to have 6.3mm tsg

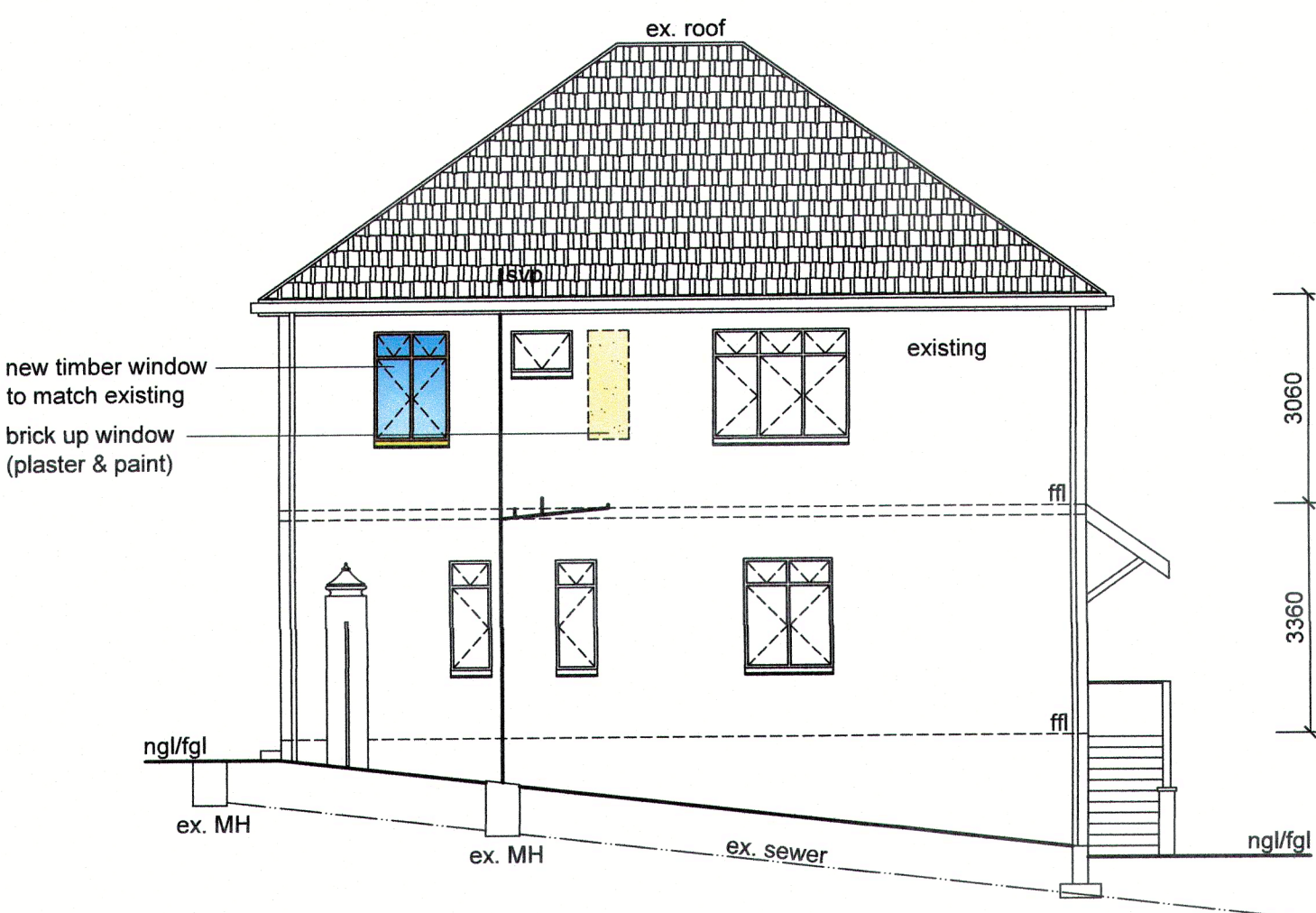
**LEGEND**

|             |           |
|-------------|-----------|
| sewer       | - - - - - |
| stormwater  | - - - - - |
| lighting    | ⊕         |
| water meter | ⊙         |

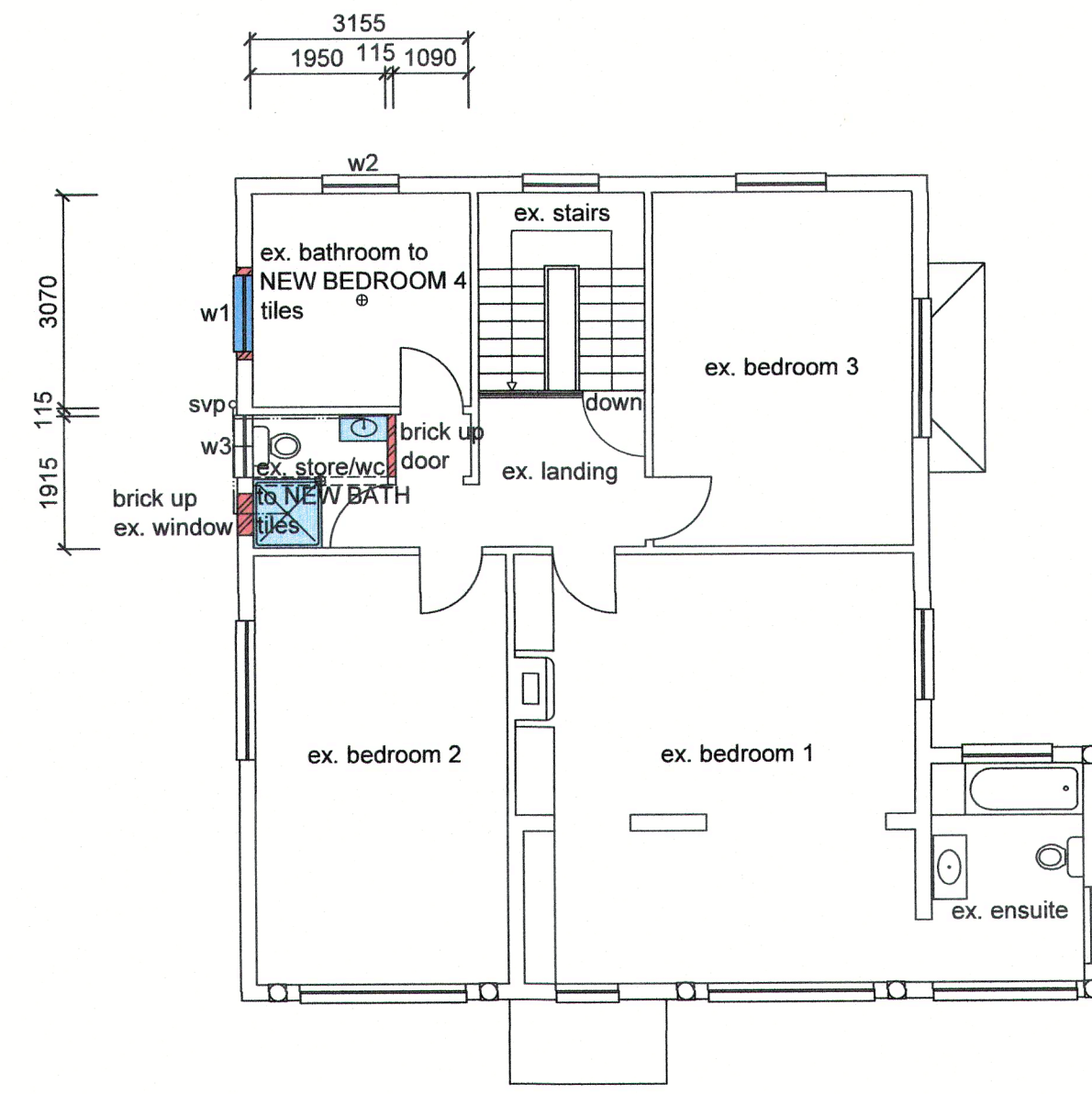
| NAME :         | ADDRESS :           | ID NO :        | CONTACT NO : | SIGNATURE :        |
|----------------|---------------------|----------------|--------------|--------------------|
| ERIC MARITZ    | 157 HOLLANDER CRESC | 6905175125081  | 083 32417373 | <i>[Signature]</i> |
| JANE HOUWER    | 174 Hollander Cres  | 71 06020037208 | 082 379 1570 | <i>[Signature]</i> |
| Brigitte Kubro | 165 Hollander Cres  | 6801030133021  | 082 3214246  | <i>[Signature]</i> |
| RICHARD RAYSON | 39 Goodricke Rd     | 7610205109084  | 0724255299   | <i>[Signature]</i> |



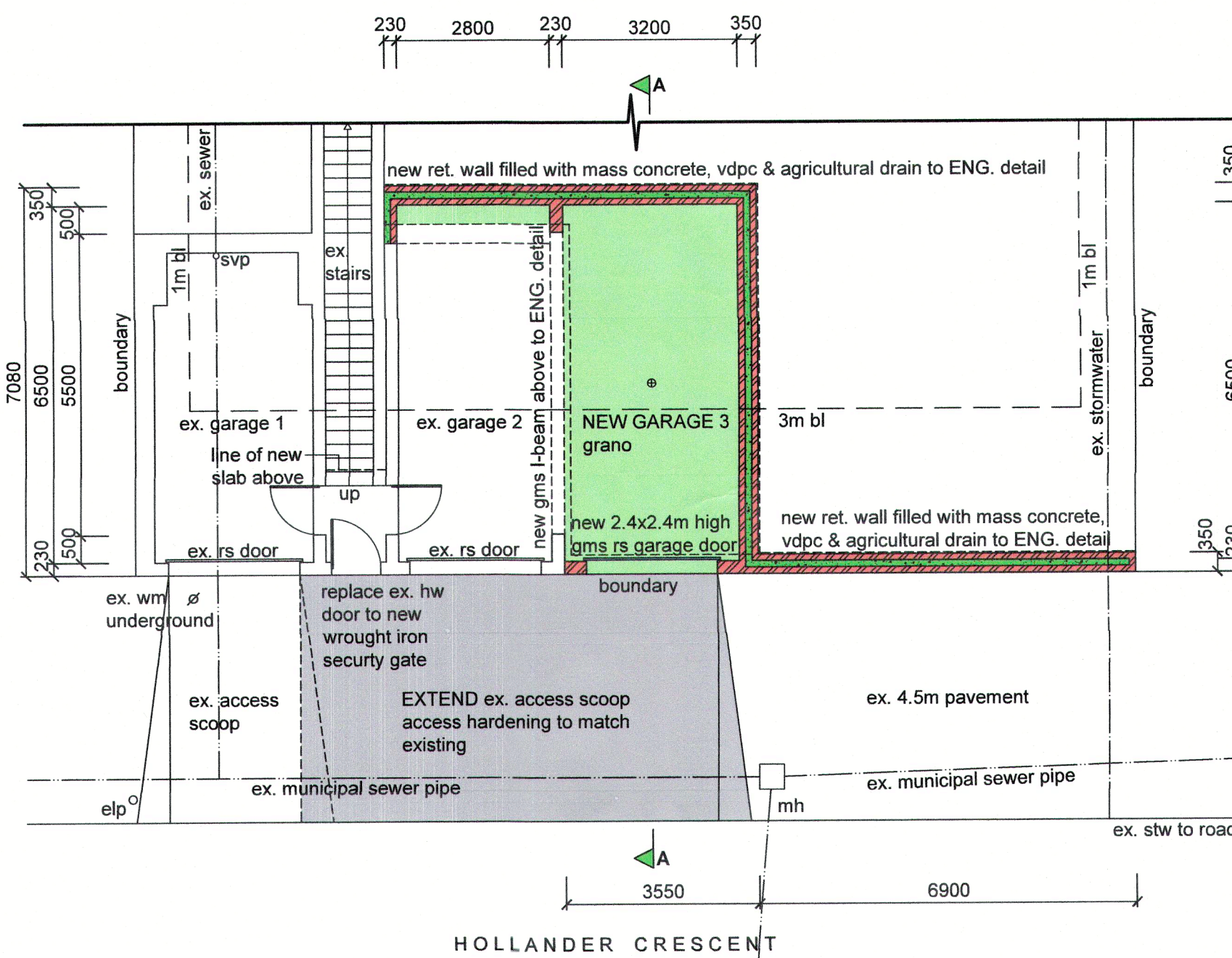
**SITE PLAN (1 : 200)**



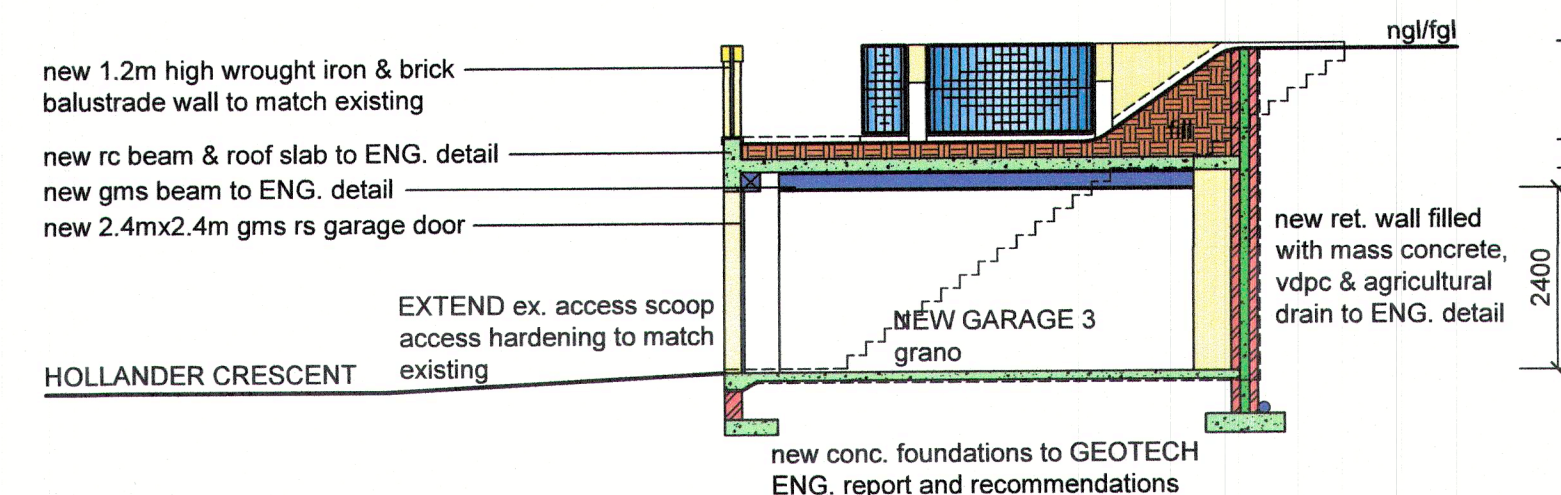
**NORTH WEST ELEVATION**



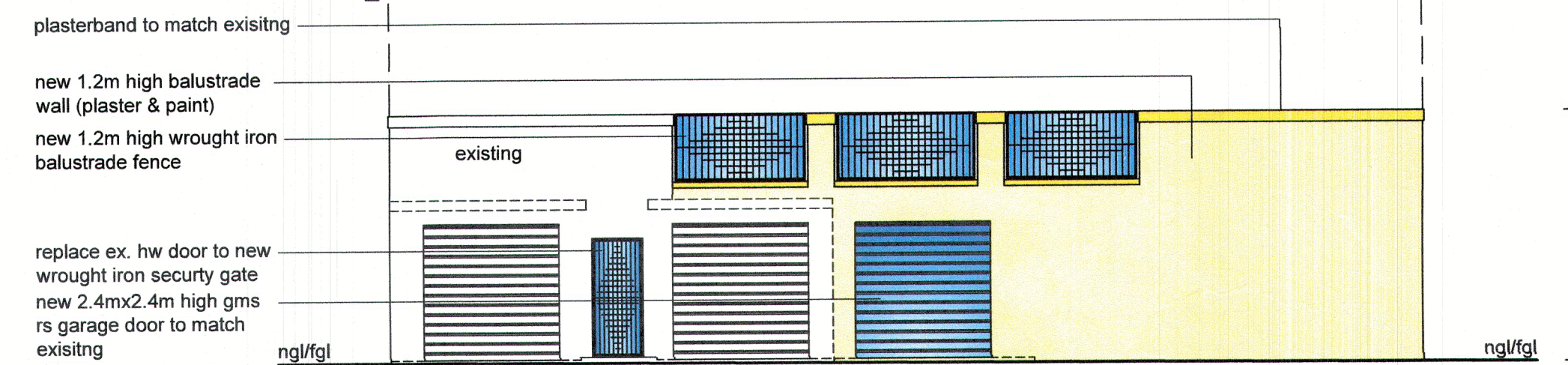
**FIRST STOREY PLAN (1 : 100)**



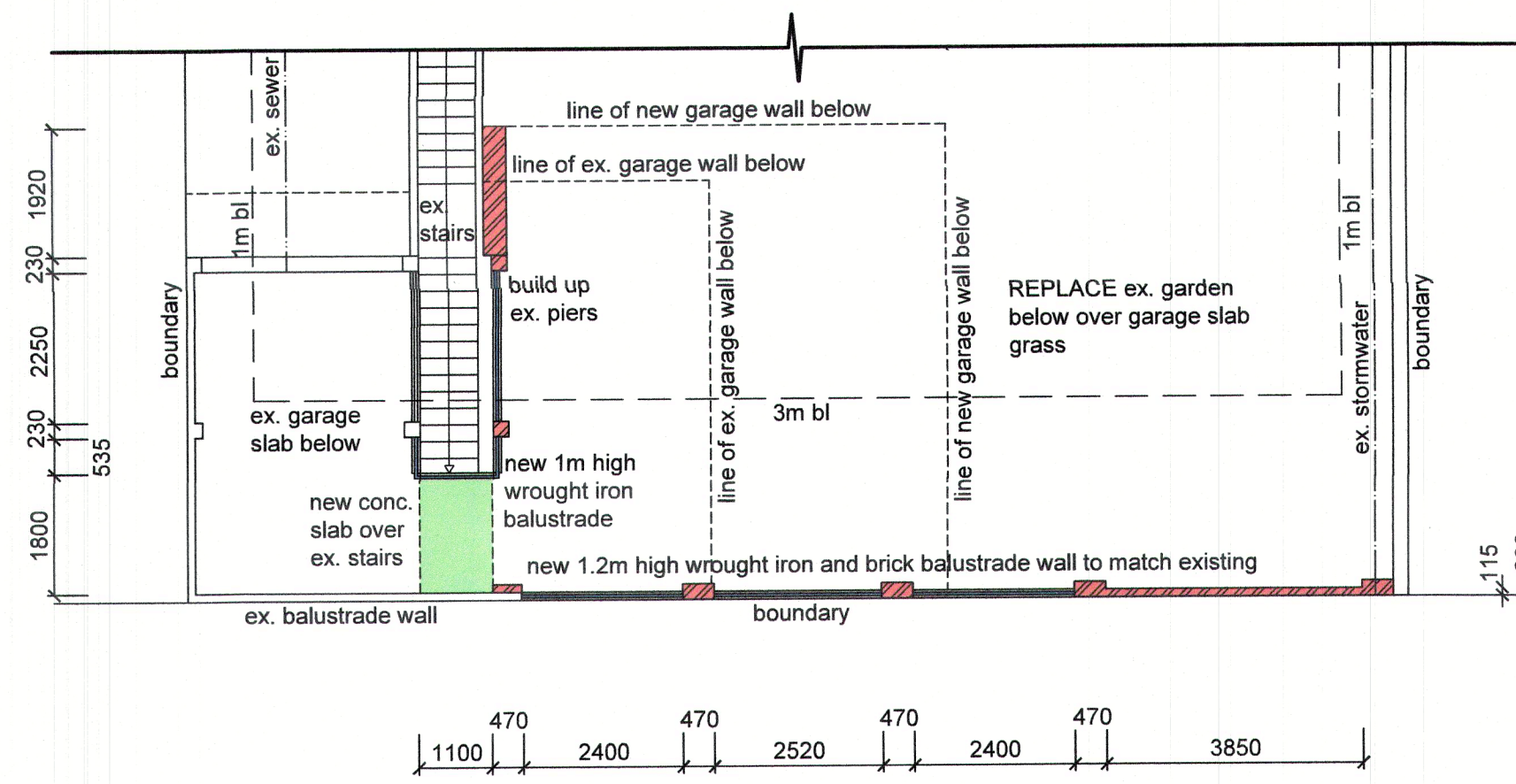
**LOWER GROUND STOREY PLAN (1 : 100)**



**SECTION A - A**



**SOUTH EAST ELEVATION**



**UPPER GROUND STOREY PLAN (1 : 100)**

Total Area = 29.88 m<sup>2</sup>

Client's Signature: *[Signature]* Contact Number: 0823324992  
Rate No. 0367 5006/ 000

**PROPOSED MINOR INTERNAL ADDITIONS AND ALTERATIONS TO EX. FIRST STOREY and NEW GARAGE and BOUNDARY WALL AT 161 HOLLANDER CRESCENT ON ERF 518 DURBAN FOR R. M and A. J. BROUARD**

**GRAHAM BRAUM**

ARCHITECTURAL DESIGNER  
Pr. S. Arch. T  
Reg. No. ST0010

13 Helen Joseph Road  
Durban  
4001  
Tel : 031-2054142  
Cell : 082 454 0441

Email : gpbdesigners@gmail.com

SCALE : 1 : 100 / 1 : 200  
CHECKED : G. P. BRAUM  
DRAWN/DESIGNED : M. R. AZMUTH  
DATE : AUGUST 2022

Drawing No. : 6699/ 22