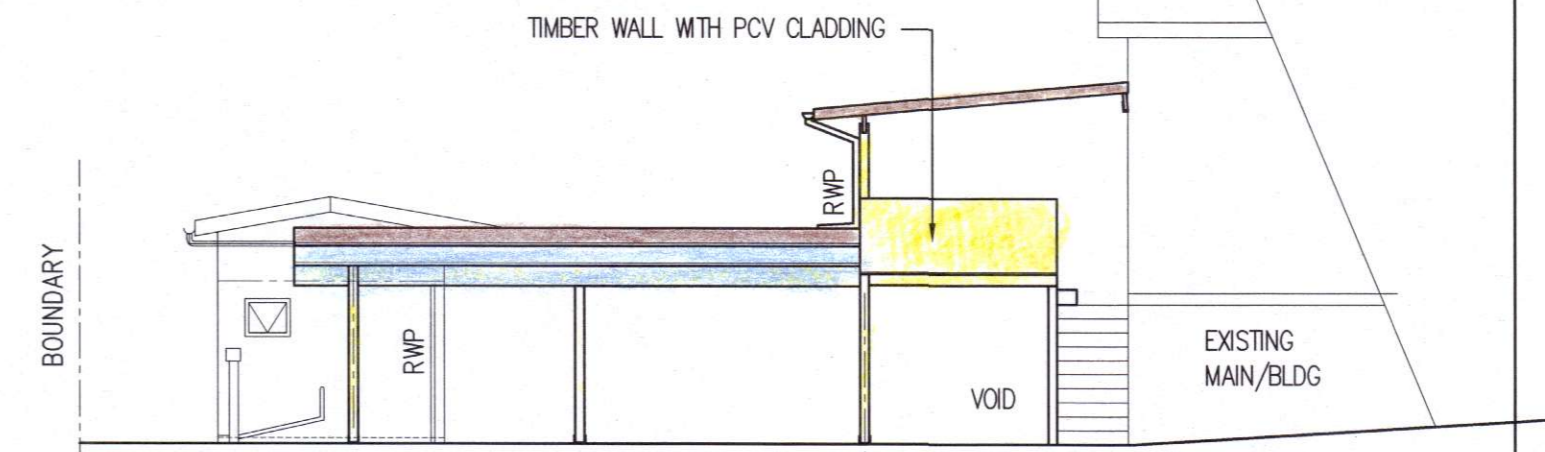
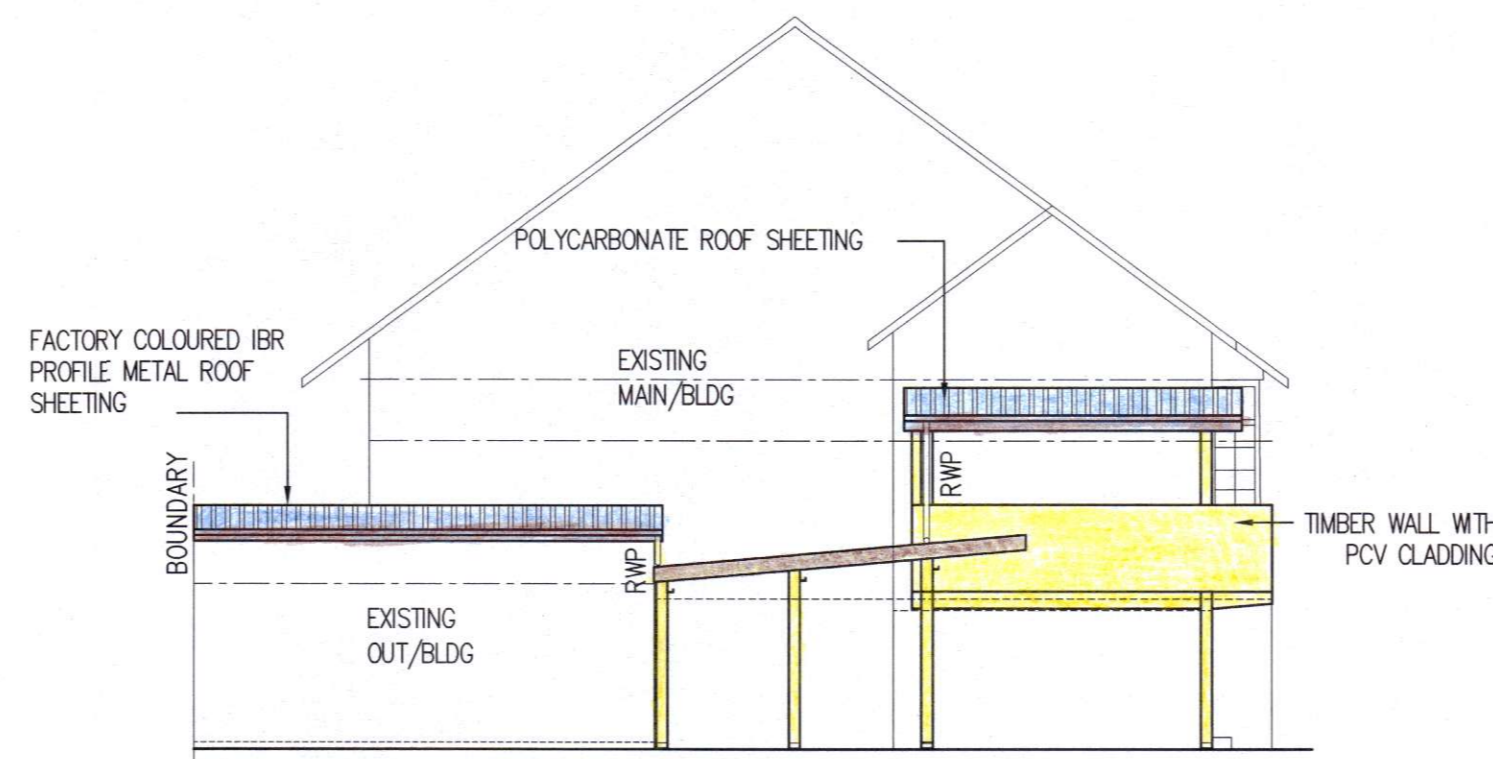
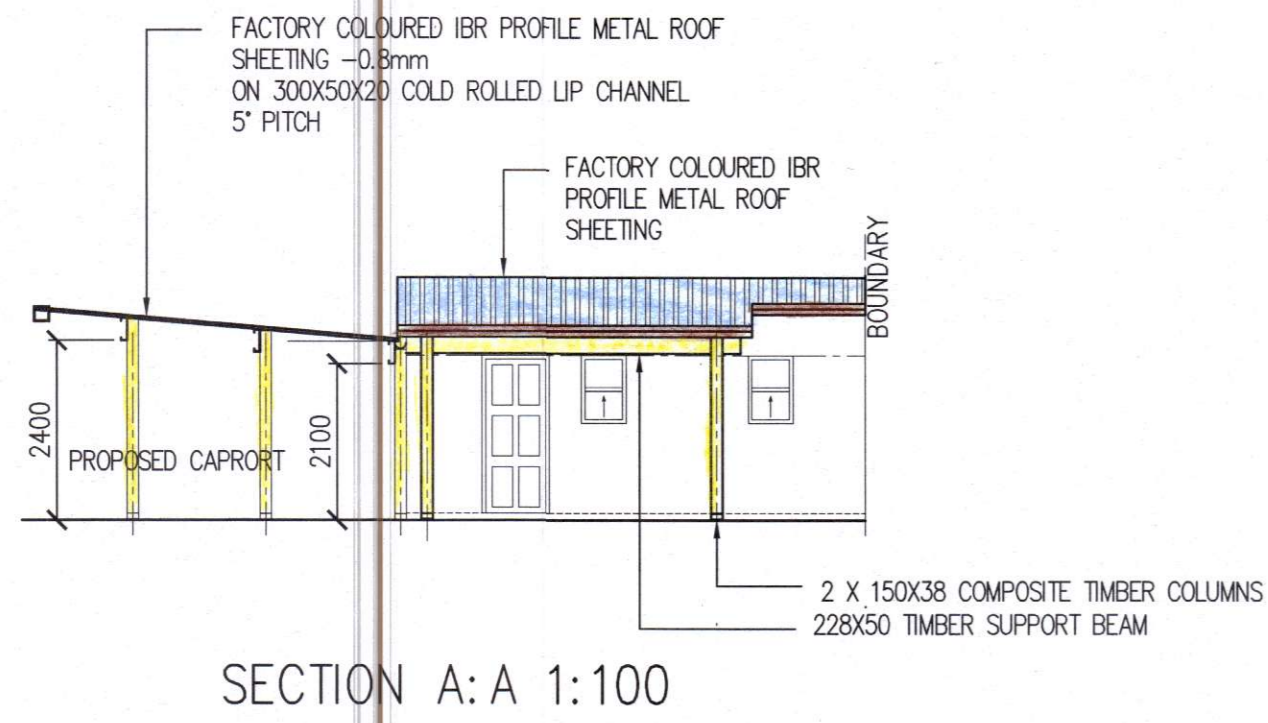
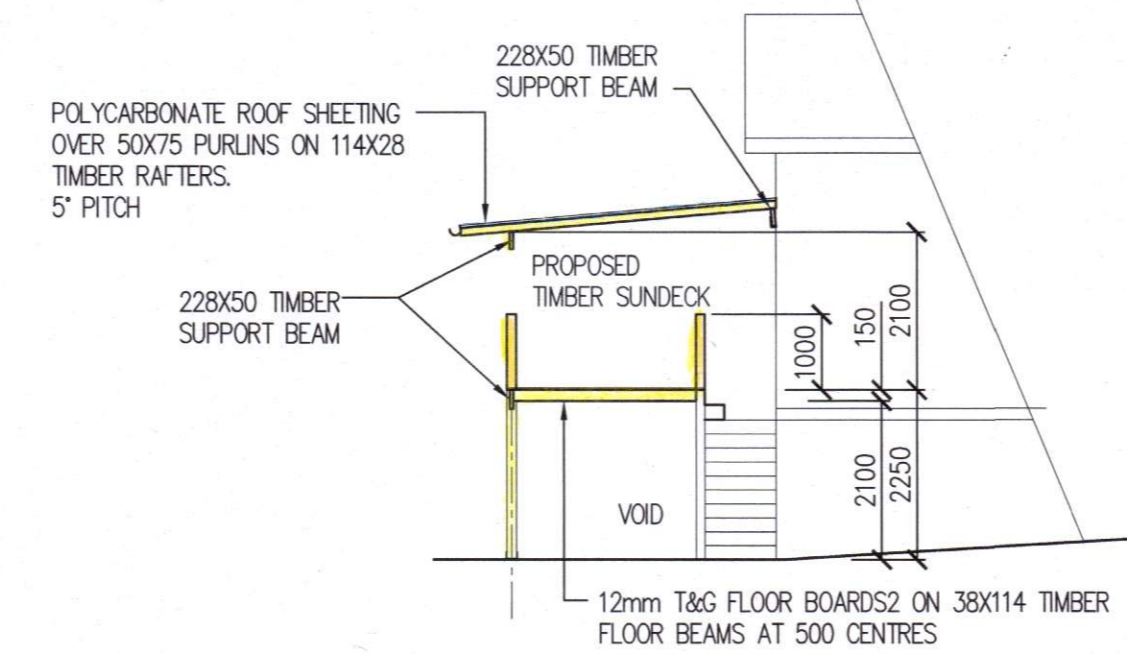
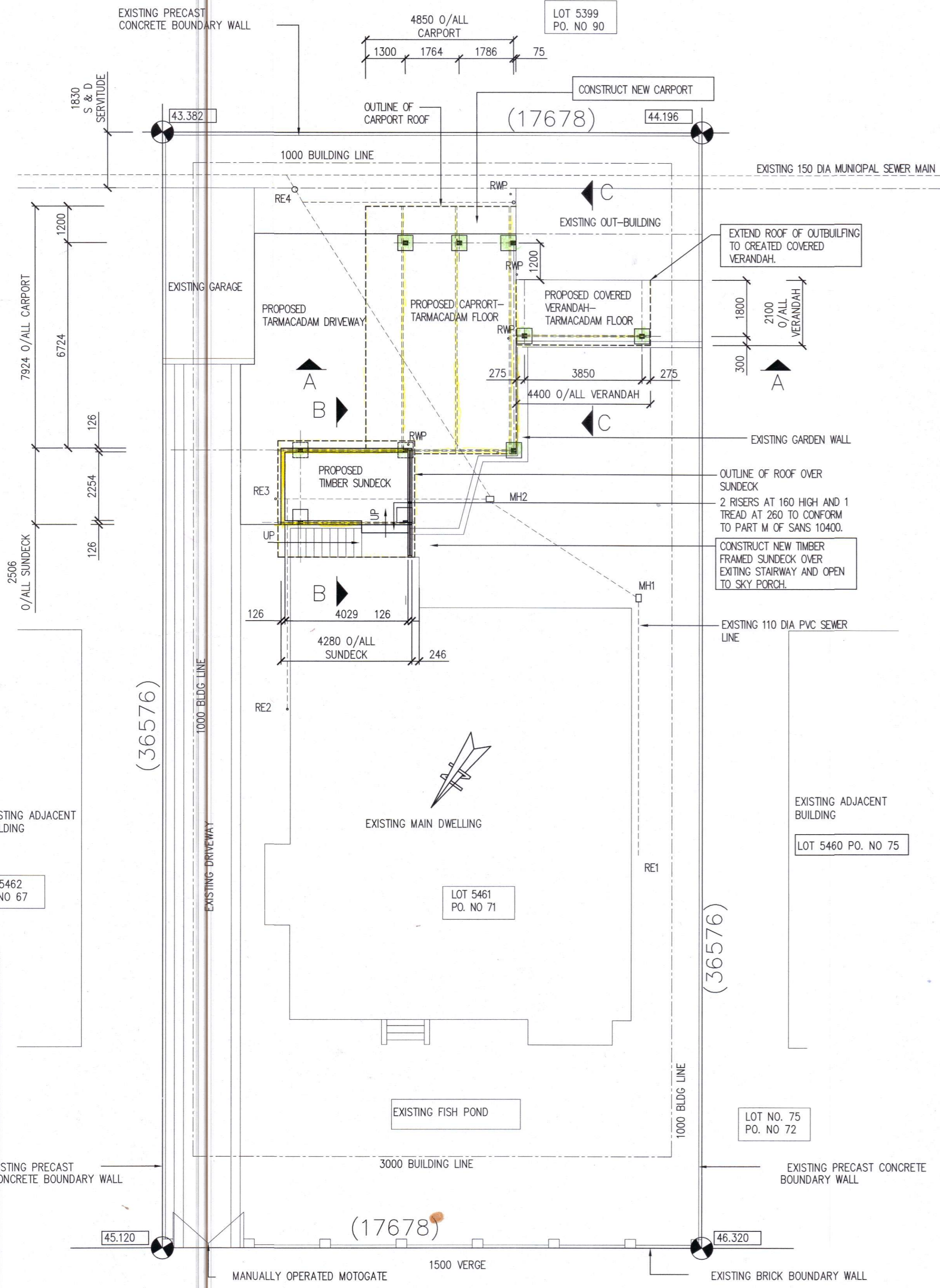


APPROVALS

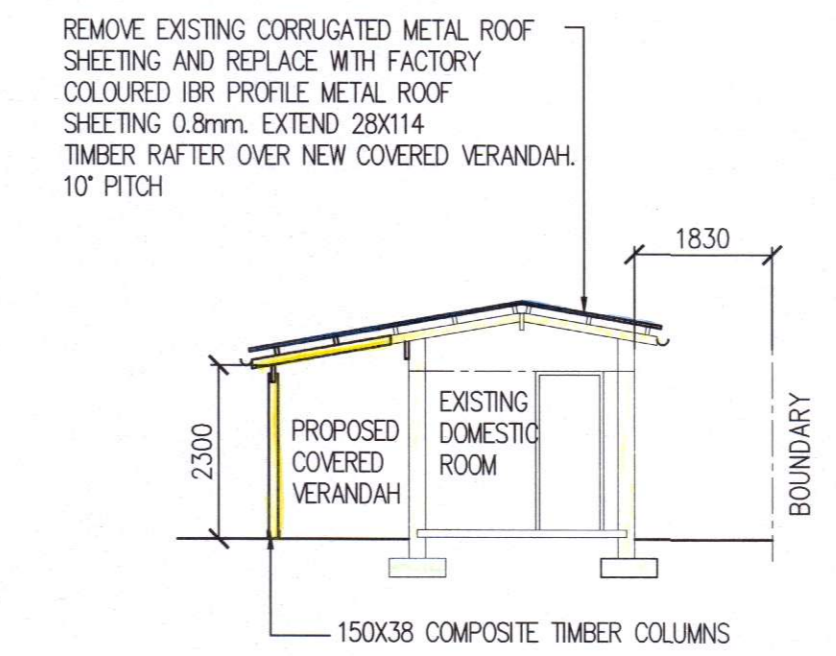


SOUTH EAST ELEVATION 1:100

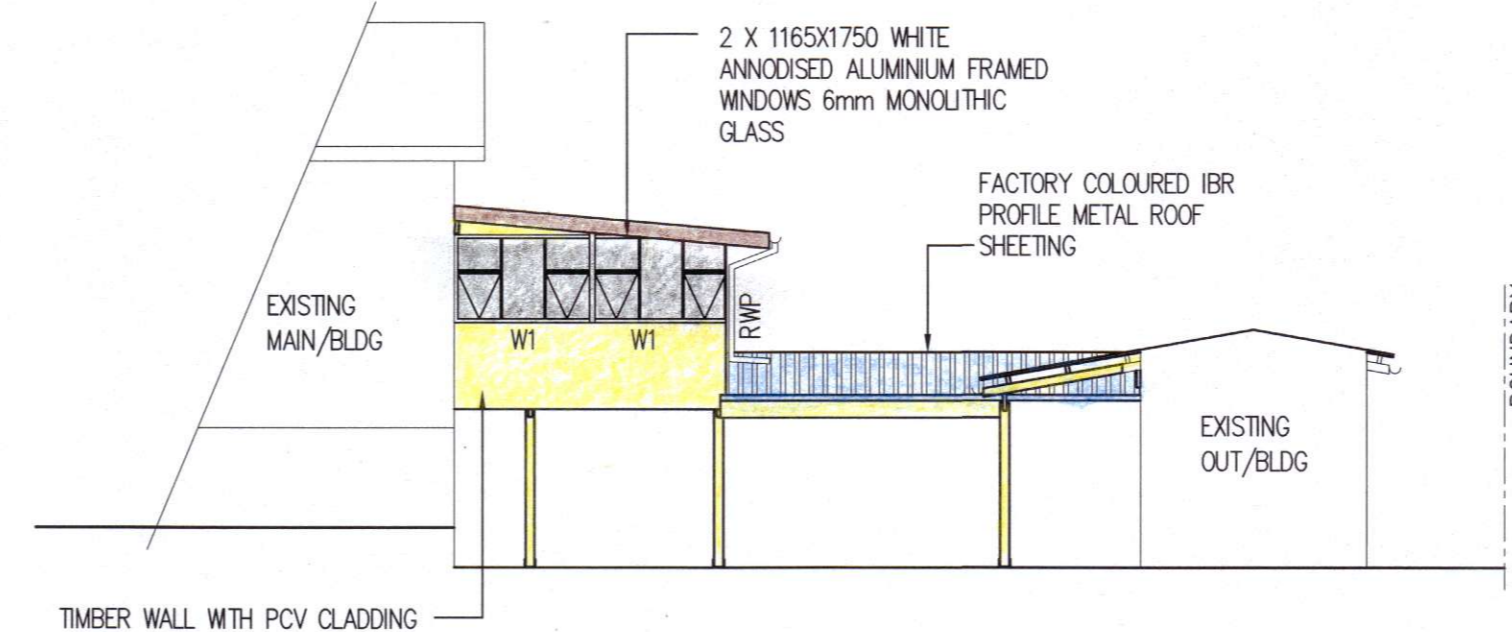
NORTH EAST ELEVATION 1:100



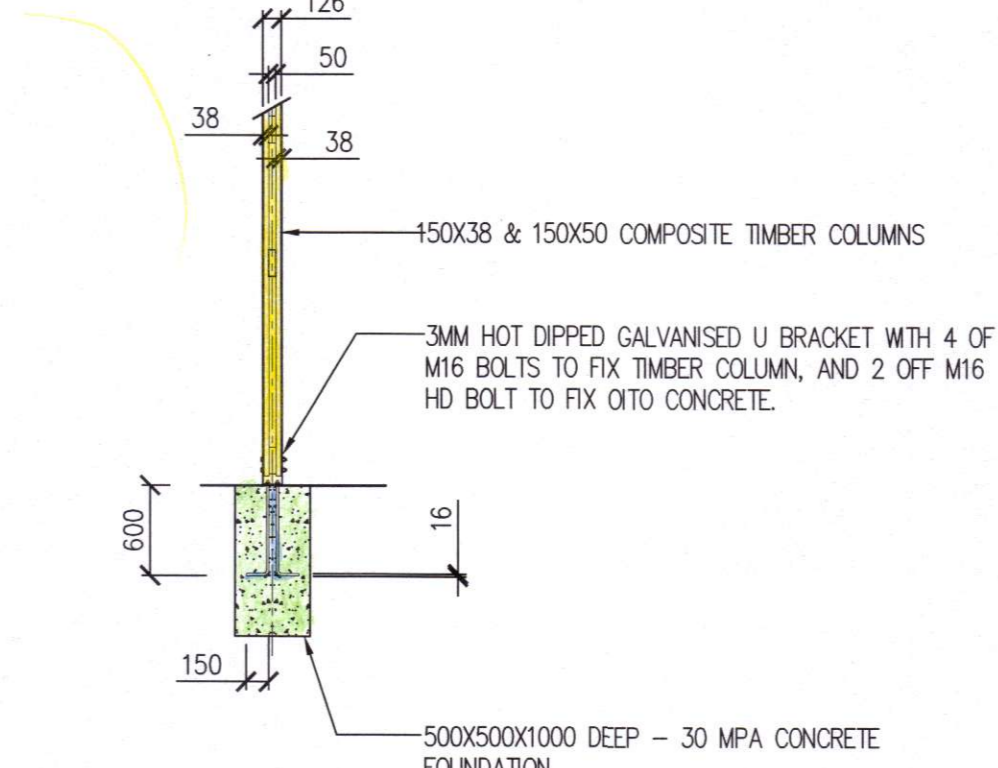
SECTION B:B 1:100



SECTION C:C 1:100



SOUTH WEST ELEVATION 1:100



FOUNDATION DETAIL FOR COMPOSITE TIMBER COLUMNS 1:50

- NO ADDITIONAL WATER CONSUMPTION
- NO ADDITIONAL ELECTRICITY CONSUMPTION
- NO ADDITIONAL FAR
- TOWN PLANNING SCHEME SPECIAL RESIDENTIAL SR400
- OCCUPANCY CLASSIFICATION - H4

PROFESSIONAL ARCHITECTURAL TECHNOLOGIST
SACAP PROFESSIONAL REG. T1021
V.L. REDDY - NCT MECH. ENG. DIP. PURCHASING M.
CM II CERT. HCERT PM, BUSINESS LEADERSHIP
(UNISA SBL), PR. ARCT. TECHNOLOGIST.

SCHEDULE OF AREAS.

	m2	%
SITE AREA	647	
PERMITTED FAR	NA	
EXISTING AREAS		
MAIN BUILDING	162.5	
GARAGE	20.9	
OUTBUILDING	18.3	
TOTAL EXISTING	201.7	
PROPOSED		
CARPORT	36.6	
COVERED VERANDAH TO OUTBUILDING	9.24	
COVERED SUNDECK	16.2	
TOTAL PROPOSED	62.04	
FAR ON HAND	NA	
PERMITTED COVERAGE	332.5	
EXISTING COVERAGE	201.7	
PROPOSED COVERAGE	62.04	
TOTAL COVERAGE	263.74	
COVERAGE ON HAND	68.76	

SITE & GROUND STOREY PLAN, ELEVATION & SECTIONS

TITLE : PROPOSED ADDITIONS AND ALTERATIONS FOR OLDHAM PROPERTIES AT 71 EDMONDS ROAD, GLENWOOD, DURBAN

CADASTRAL DESC: ERF 5461 DURBAN

MUNICIPAL RATE NUMBER : _____

VOL. NO. : _____ RATE NO. : _____ SUB CODE : _____

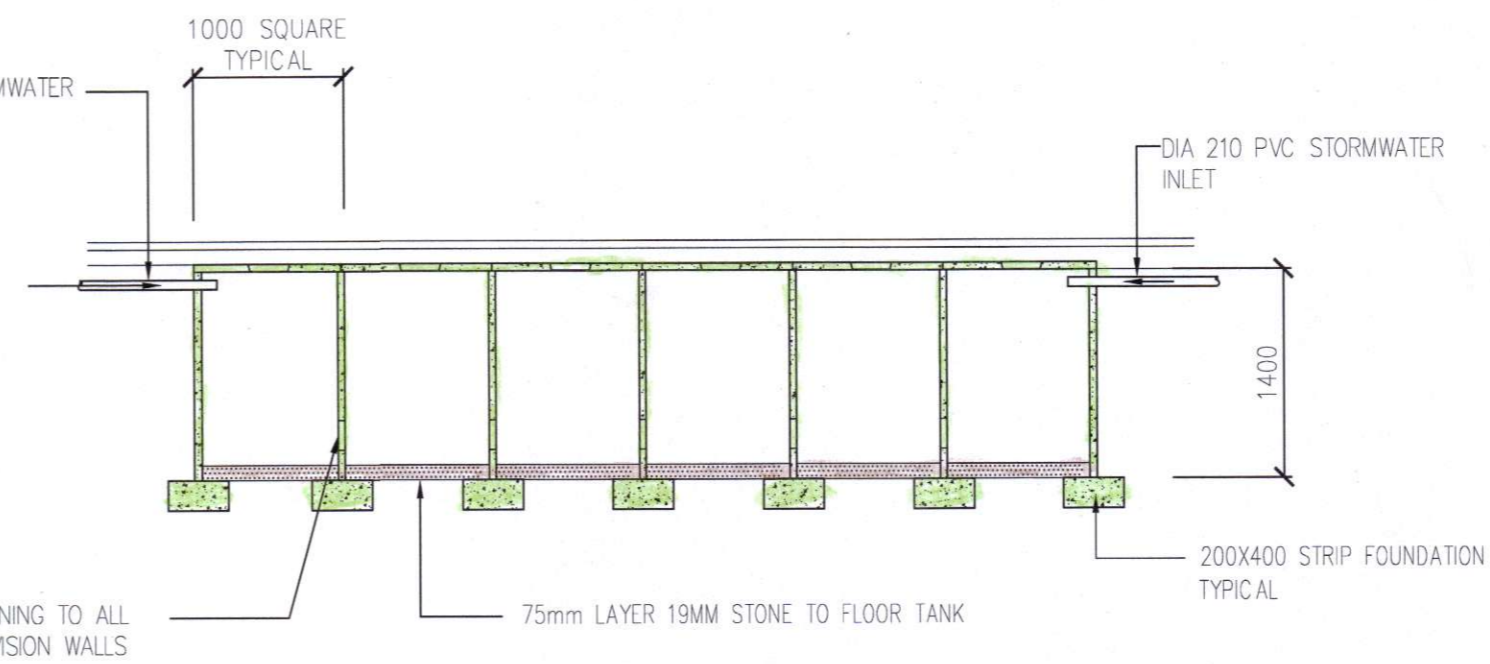
CLIENT : _____

AUTHOR	NERISA REDDY	DWG NO.	E2021-09-1	SCALE :	AS SHOWN
DATE	09-08-21			SHT	1 OF 2

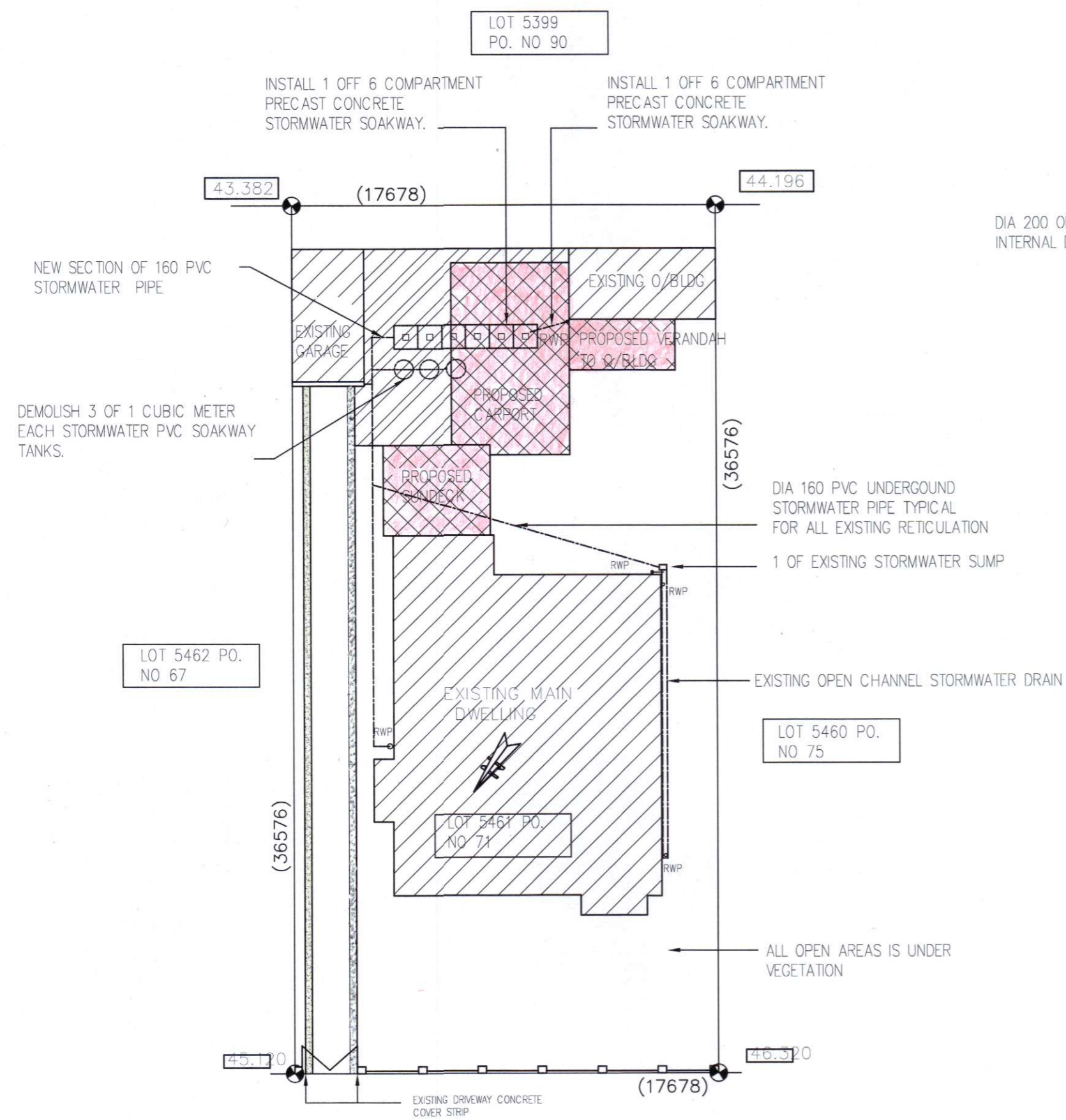
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SECTION THROUGH STORMWATER SOAKPIT 1:50



EDMONDS ROAD

SITE PLAN 1:200

LEGEND

-  EXISTING ROOFED AREA
-  PROPOSED ROOFED AREA
-  PROPOSED HARDENED AREA
-  PROPOSED HARDENED AREA

STORMWATER CALCULATIONS

ROOFED AREA	
EXISTING HOUSE:	162 M ²
EXISTING DRIVEWAY CONCRETE STRIP	23 M ²
EXISTING OUT BUILDING	17 M ²
EXISTING GARAGE	20.9 M ²
PROPOSED CARPORT	36.6 M ²
PROPOSED VERANDAH TO O/BLD	9.2 M ²
PROPOSED COVERED SUNDECK:	16.2 M ²
PROPOSED DRIVEWAY	29.3 M ²
TOTAL AREA:	314.2 M²
REQUIRED SOAKWAY CAPACITY:	314.2/40 = 7.86 M ³
NEW SOAKWAY CAPACITY	8.4 M ³
EXCESS CAPACITY	0.54 M ³

STORMWATER MANAGEMENT PLAN

TITLE : PROPOSED ADDITIONS AND ALTERATIONS FOR OLDHAM PROPERTIES AT 71 EDMONDS ROAD, GLENWOOD, DURBAN

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SHT 2 OF 2

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