

ROOF PLAN
SCALE 1:100

DETAIL DESIGN

NOTES

PORTAL FRAME

- Roof ridge capping to be removed and replaced with new 0.58mm corrugated ridge capping, cranked to suit profile, fixed to sheeting and purlin by dry screws as per manufacturers specifications.
- Roof sheeting and steel purlins to be removed and replaced with new as per engineers details.
- New IBR 0.58mm thick chromodek (light grey) roof sheeting to be 11°
- New translucent sheeting to be laid 1 meter on either side of the ridge capping
- new 200Ø aluminium gutters rain water down pipes as per the engineers recommendation

HIP ROOF

- Existing ridge cap to be removed and replaced with new to match existing as per manufacturers specifications
- Existing concrete roof tiles to be removed, cleaned and stored on site to be reused, to be fixed with tile nails on to 38 x 38mm s.a.pine purlins @ max. 320mm c/c battens, on sabs approved underlay of 400microns, on 152 x 38mm s.a. pine trusses @ max 760mm c/c at 26 degree slope, tiling and fixing to comply with sabs 062 :1991 code of practice, and must be re-installed according manufactures specifications.
- Existing trusses to be removed and replaced with 152 x 38mm s.a. pine factory manufactured trusses similar or equal to gangnail trusses at max.760mm centres fixed, leveled and aligned on 114 x 38mm s.a. pine wall plate fixed on wall by means of 4mm Ø galvanised wire, double winded, built into brickwork for min 5 brick coases below wallplate level, trusses to be designed and certified by a registered engineer, and a engineer's certificate must be issued after installation.
- New fibre cement barge boards size 250 x 80 x 12mm, fixed to 38 x 38mm timber batten and purlin twice screwed with 12 x 40mm brass countersunk screws with aluminum h-profile barge board joiners between boards and at roof apex.
- New 225 x 12mm fibre cement fascia boards countersunk heads to 38 x 38 soffit nailed to side of rafter. Finish with 3 coats contractors white pva.

- 0.58 thick IBR translucent sheeting
- 0.58mm IBR Chromodek sheeting (light grey)
- concrete roof tiles
- concrete roof slabs

REVISION STATUS				
Rev.	Date	Description	By	Checked

GENERAL NOTES:

- CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK.
- DO NOT SCALE FROM THE DRAWINGS.
- ANY QUERIES TO BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- ALL STRUCTURAL STEEL, CONCRETE STRENGTH AND TIMBER SPECIFICATION ARE TO BE IN ACCORDANCE WITH ENGINEER'S DETAILS.
- DRAWINGS FOR INFORMATION PURPOSES ONLY

CLIENT

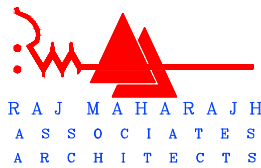
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PROJECT NAME: MLB BUILDING

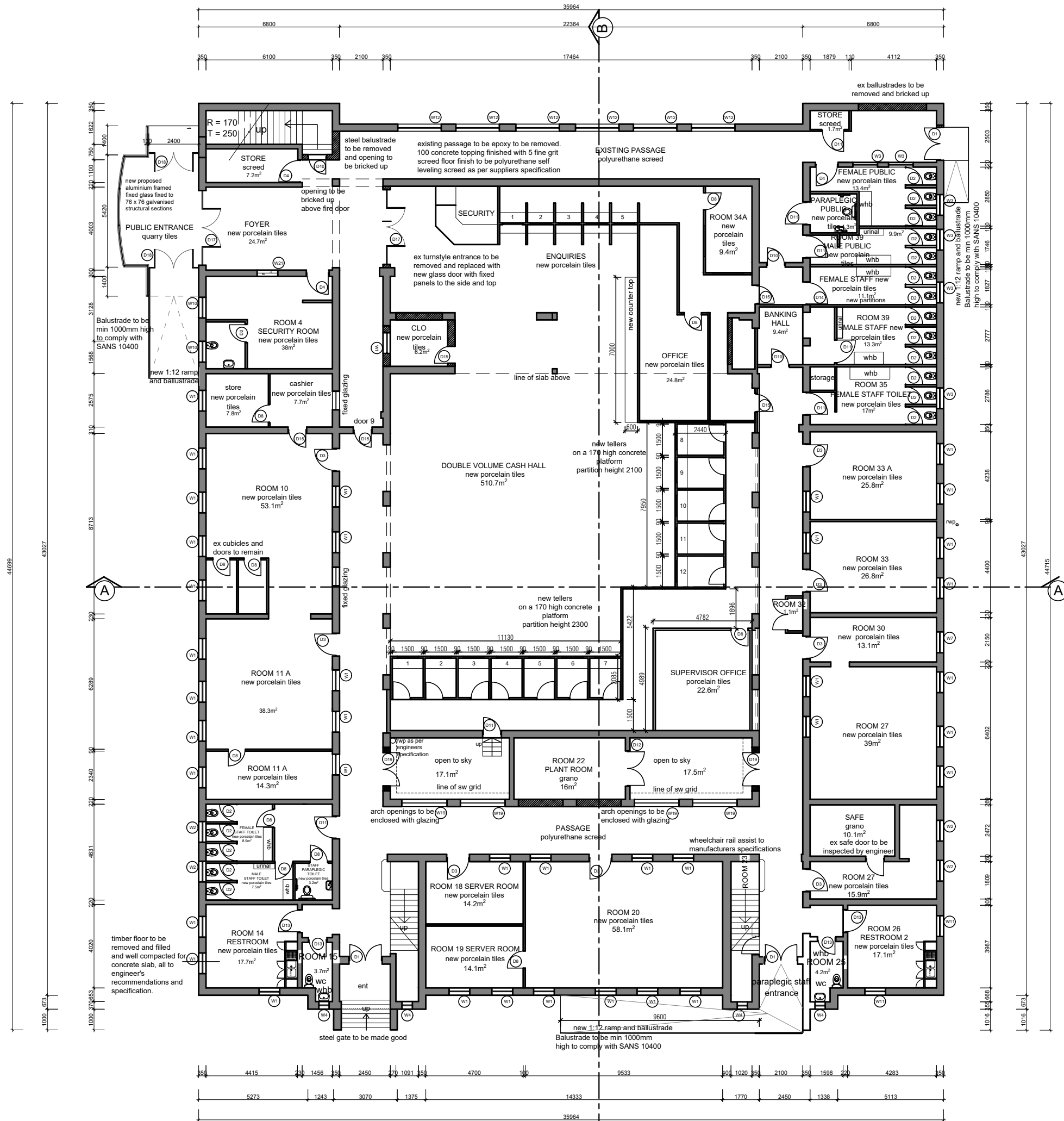
ROOF REPLACEMENT AND
RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: ROOF PLAN

DRAWN BY	PP
CHECKED BY	NS/ TRW/ RJM
DATE	02 SEPTEMBER 2022
LATEST ISSUE	02 SEPTEMBER 2022
SCALE	AS SHOWN

PROJ. NO :	DWG NO.	REV NO.
MLB BUILDING	MLB.DD.02	R.00



GROUND FLOOR PLAN
SCALE 1:100

AREA SCHEDULE	
GROUND FLOOR	
Entrance	20m ²
Foyer	24.4m ²
Security Rest Room and Ablutions	22.7m ²
Store	7.8m ²
Cashier	7.7m ²
Room 10	53.1m ²
Room 11 A	38.3m ²
Room 11 A	14.3m ²
Room 13 Female Toilets	13.2m ²
Room 13 Male Toilets	10.9m ²
Room 14 Restroom	17.7m ²
Room 15	3.7m ²
Room 18 Server Room	14.2m ²
Room 19 Server Room	14.1m ²
Room 20	58.1m ²
Room 23	5.2m ²
Room 25	4.2m ²
Room 26 Restroom 2	17.1m ²
Room 27	15.9m ²
Safe	10.1m ²
Supervisor Office	22.6m ²
Room 27	39m ²
Room 30	13.1m ²
Room 32	1.1m ²
Room 33	26.8m ²
Room 33 A	25.8m ²
Room 35	17m ²
Room 39 Male Staff	7.5m ²
Female Staff	9m ²
Room 39 Male Public	9.9m ²
Paralegic Public	4.3m ²
Female Public	13.4m ²
Store	1.7m ²
Room 34 A	9.4m ²
Office	24.8m ²
CLO	6.2m ²
Cash Hall	510.7m ²
Plant Room	16m ²
Banking Hall	9.4m ²
Passage	253.5m ²
Paralegic Staff	3.2m ²
TOTAL	1342.6m²

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PROJECT NAME: MLB BUILDING

ROOF REPLACEMENT AND
RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: GROUND FLOOR PLAN

DRAWN BY	PP
CHECKED BY	NS/ TRW/ RJM
DATE	29 AUGUST 2022
LATEST ISSUE	29 AUGUST 2022
SCALE	AS SHOWN

PROJ. NO. :	DWG NO. :	REV NO. :
MLB BUILDING	MLB.DD.03	R.00

REVISION STATUS					
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Department:
Public Works
PROVINCE OF KWAZULU-NATAL



RAJ MAHARAJH
ASSOCIATES
ARCHITECTS



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CONSULTING CIVIL & STRUCTURAL ENGINEERS

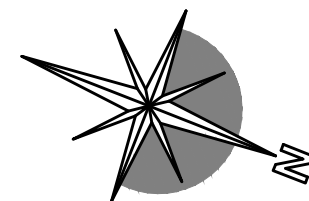


ROOF REPLACEMENT AND RENOVATIONS TO THE MLB BUILDING

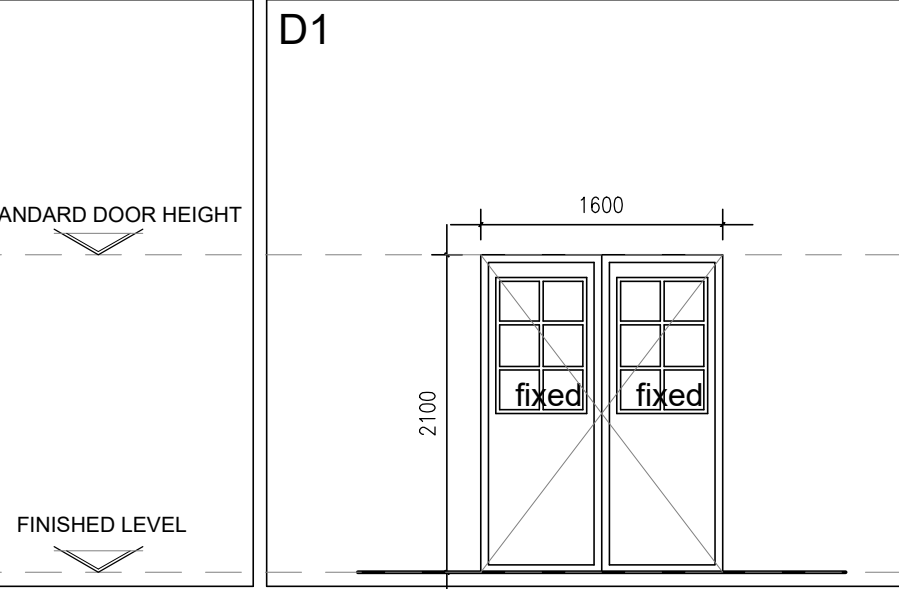
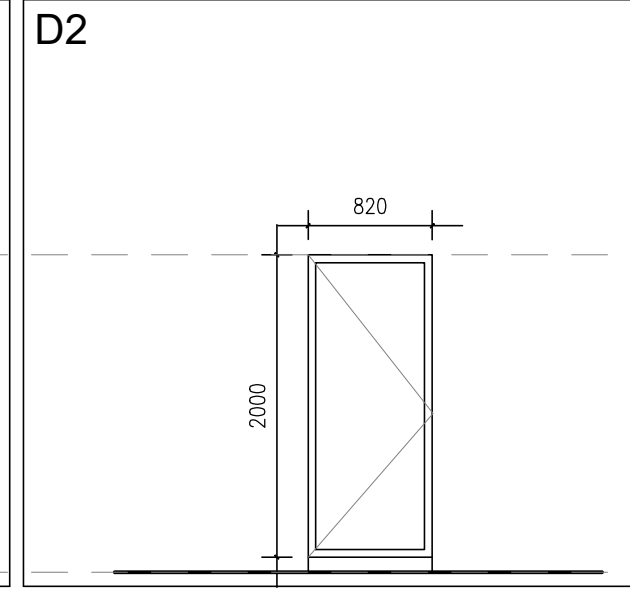
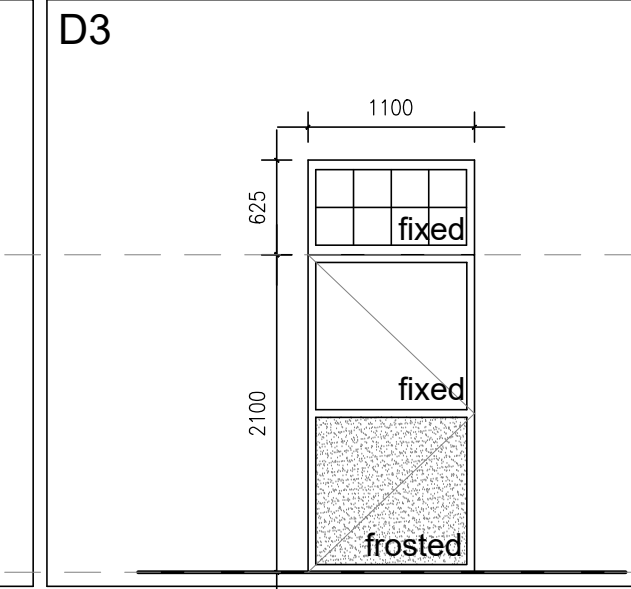
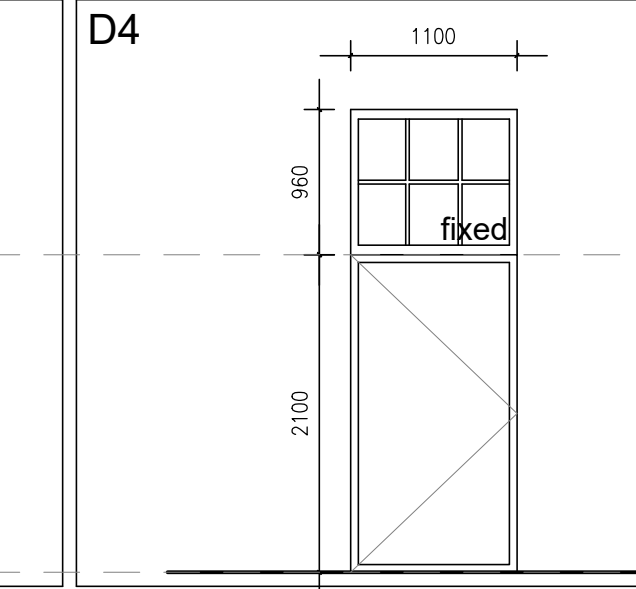
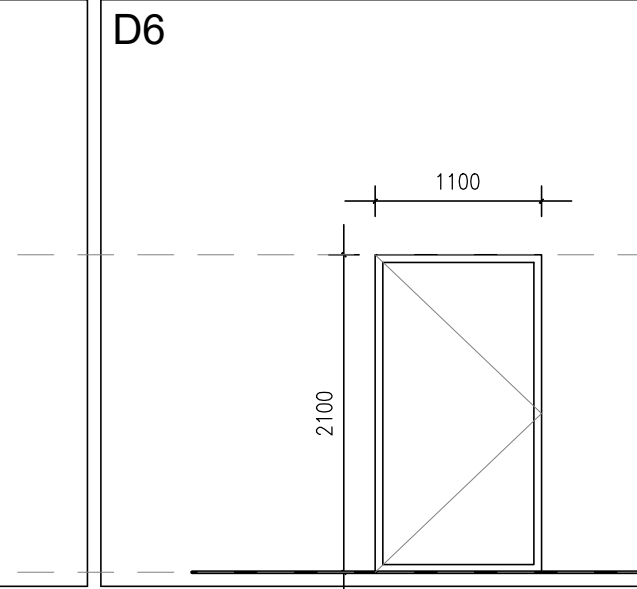
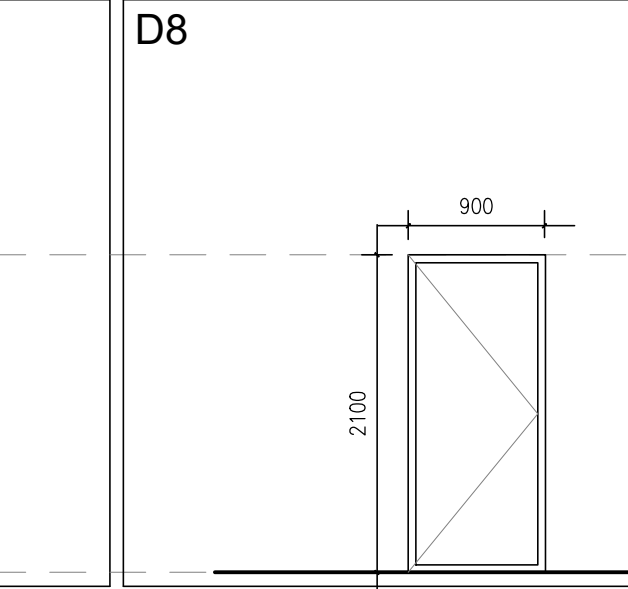
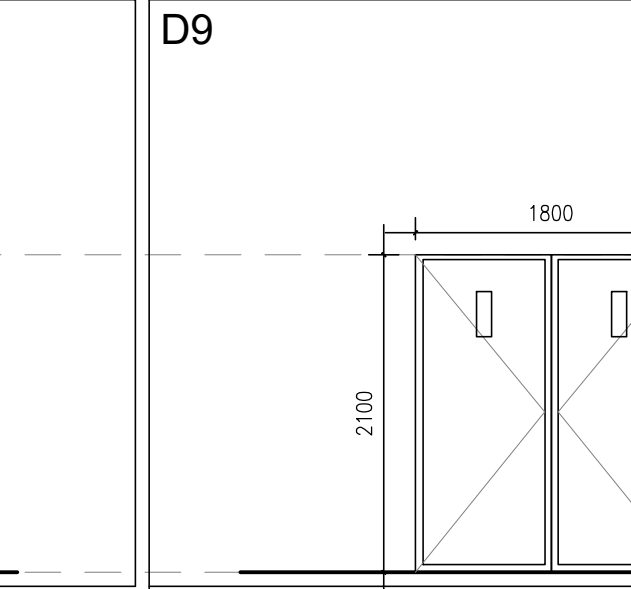
DRAWING TITLE: FIRST FLOOR PLAN

DRAWN BY	PP
CHECKED BY	NS/ TRW/ RJM
DATE	26 AUGUST 2022
LATEST ISSUE	26 AUGUST 2022
SCALE	AS SHOWN

PROJ. NO :	DWG NO.	REV NO.
MLB BUILDING	MLB.DD.04	R.00



DOOR SCHEDULE

							
DOOR NUMBER	D1	D2	D3	D4	D6	D8	D9
QUANTITY	3	18	22	10	0	12	1
DOOR DESCRIPTION	ALUMINIUM DOUBLE SWING DOOR WITH FIXED GLASS PANELS AS PER DIMENSIONS SHOWN	HBSTDLO HARDBOARD HOLLOW CORE PARTITION DOOR AS PER DIMENSIONS SHOWN	ALUMINIUM SINGLE SWING DOOR WITH FIXED GLASS PANELS AS PER DIMENSIONS SHOWN	SOLID ALUMINIUM SINGLE SWING DOOR WITH FANLIGHT AS PER DIMENSIONS SHOWN	EXTERNAL TIMBER SINGLE SWING DOOR AS PER DIMENSIONS SHOWN	INTERNAL PARTITION DOOR AS PER DIMENSIONS SHOWN	DOUBLE CLASS D FIRE RESISTANT DOOR
DOOR FINISH	BRONZE POWDER COATING ACCORDING TO AAAMSA	PAINTED AS PER SUPPLIERS SPECIFICATION	BRONZE POWDER COATING ACCORDING TO AAAMSA	BRONZE POWDER COATING ACCORDING TO AAAMSA	PREPARE, STOP AND APPLY 3 COATS POLYURETHANE VARNISH, SANDED BETWEEN COATS.	PAINTED AS PER SUPPLIERS SPECIFICATION	VENEER ON EXTERNAL SIDE AND CONCEALED STEEL CLADDING.
FRAME	ALUMINUM FRAME AS PER MANUFACTURERS SPECIFICATIONS	KYFC1NS (7653) FRAME AS PER MANUFACTURERS SPECIFICATION	ALUMINUM FRAME AS PER MANUFACTURERS SPECIFICATIONS	ALUMINUM FRAME AS PER MANUFACTURERS SPECIFICATIONS	TIMBER FRAME AS PER MANUFACTURERS SPECIFICATIONS	FRAME AS PER MANUFACTURERS SPECIFICATION	WIDTH AND REBATES OF FRAME SHALL BE AT LEAST 25MM AND MATERIAL THICKNESS OF STEEL FRAME SHOULD BE 2 MM
FRAME FINISH	BRONZE 60 - 80 MICRON POWDER COATING ACCORDING TO AAAMSA	FRAME FINISHED AS PER MANUFACTURERS SPECIFICATION	BRONZE 60 - 80 MICRON POWDER COATING ACCORDING TO AAAMSA	BRONZE 60 - 80 MICRON POWDER COATING ACCORDING TO AAAMSA	AS ABOVE	FRAME FINISHED AS PER MANUFACTURERS SPECIFICATION	PRE - GALVANISED
GLASS	6mm TOUGHENED SAFETY GLASS AS SUPPLIED BY MANUFACTURER.	N/A	6mm TOUGHENED SAFETY GLASS AS SUPPLIED BY MANUFACTURER.	6mm TOUGHENED SAFETY GLASS AS SUPPLIED BY MANUFACTURER.	N/A	N/A	VIEWING PANELS WITH DIMENSIONS NOT EXCEEDING 100 MM X 300 MM WITH TOUGHENED GLASS AS PER MANUFACTURER SPECIFICATIONS
GLAZING	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	N/A	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	N/A	N/A	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.
FURNITURE	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	4 X HEAVY DUTY BRASS HINGES PER LEAF

[illegible]

D17		D18		D19	
DOOR NUMBER	D17	D18	D19		
QUANTITY	2	2	2		
DOOR DESCRIPTION	ALUMINIUM DOUBLE SWING DOOR WITH FANLIGHTS AND FIXED GLASS PANELS AS PER DIMENSIONS SHOWN	ALUMINIUM DOUBLE SWING DOOR WITH FANLIGHTS AND FIXED GLASS PANELS AS PER DIMENSIONS SHOWN	ALUMINIUM DOUBLE SWING DOOR WITH FANLIGHTS AND FIXED GLASS PANELS AS PER DIMENSIONS SHOWN		
DOOR FINISH	BRONZE POWDER COATING ACCORDING TO AAAMSA	BRONZE POWDER COATING ACCORDING TO AAAMSA	BRONZE POWDER COATING ACCORDING TO AAAMSA		
FRAME	ALUMINUM FRAME AS PER MANUFACTURERS SPECIFICATIONS	ALUMINUM FRAME AS PER MANUFACTURERS SPECIFICATIONS	ALUMINUM FRAME AS PER MANUFACTURERS SPECIFICATIONS		
FRAME FINISH	BRONZE 60 - 80 MICRON POWDER COATING ACCORDING TO AAAMSA	BRONZE 60 - 80 MICRON POWDER COATING ACCORDING TO AAAMSA	BRONZE 60 - 80 MICRON POWDER COATING ACCORDING TO AAAMSA		
GLASS	6mm TOUGHENED SAFETY GLASS AS SUPPLIED BY MANUFACTURER.	6mm TOUGHENED SAFETY GLASS AS SUPPLIED BY MANUFACTURER.	6mm TOUGHENED SAFETY GLASS AS SUPPLIED BY MANUFACTURER.		
GLAZING	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2, GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.		
FURNITURE	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER	HINGES TO BE SUPPLIED BY ALUMINIUM FRAME MANUFACTURER		

REVISION STATUS				
Rev.	Date	Description	By	Checked

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ROOF REPLACEMENT AND RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: DOOR SCHEDULE

DRAWN BY	PP		
CHECKED BY	NS/TRW		
DATE	30 AUGUST 2022		
LATEST ISSUE	30 AUGUST 2022		
SCALE	AS SHOWN		
PROJECT:	DWG NO.		REV NO.
MLB BUILDING	MLB.DD.16		R.00

REVISION STATUS				
Rev.	Date	Description	By	Checked

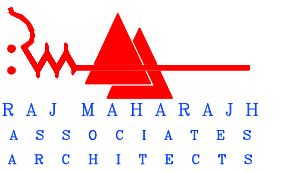
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PROJECT NAME: MLB BUILDING
ROOF REPLACEMENT AND RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: SECTIONS

DRAWN BY	PP
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DATE	02 SEPTEMBER 2022
LATEST ISSUE	02 SEPTEMBER 2022
SCALE	AS SHOWN

PROJECT:	DWG NO.	REV NO.
MLB BUILDING	MLB.DD.05	R.00

existing roof structures to be inspected by the structural engineer

new concrete roof tiles to be laid on new timber battens 600cc on new timber trusses to match existing roof as per engineers spec

new suspended ceiling as per finishing schedule

existing BIC to be made good as per scope of works. ironmongery to be removed and replaced with new

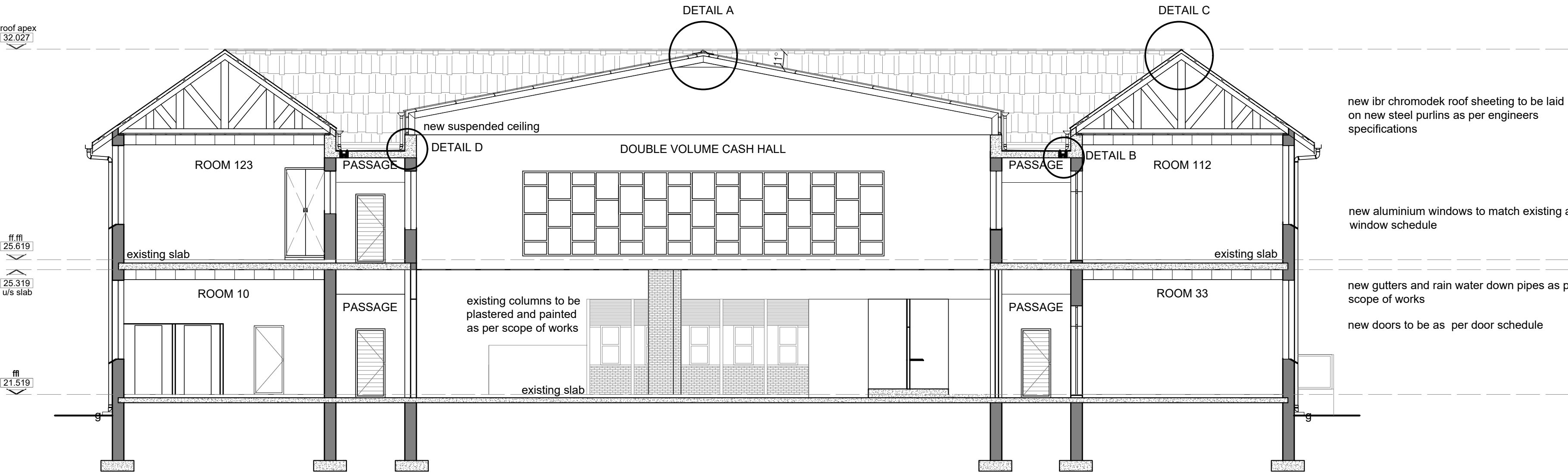
new aluminium windows to match existing as per window schedule

new terracotta window cills to be removed and replaced with new to match existing as per scope of works

new aluminium windows to match existing as per window schedule

new terracotta window cills to be removed and replaced with new to match existing as per scope of works

existing timber floor to be removed and filled and well compacted for concrete slab, all to engineer's recommendations and specification. full bodied porcelain floor tiles to replace timber flooring



SECTION A - A
SCALE 1:100

existing roof structures to be inspected by the structural engineer

new concrete roof tiles to be laid on new timber battens 600cc on new timber trusses to match existing roof as per engineers spec

new suspended ceiling as per finishing schedule

existing BIC to be made good as per scope of works. ironmongery to be removed and replaced with new

new aluminium windows to match existing as per window schedule

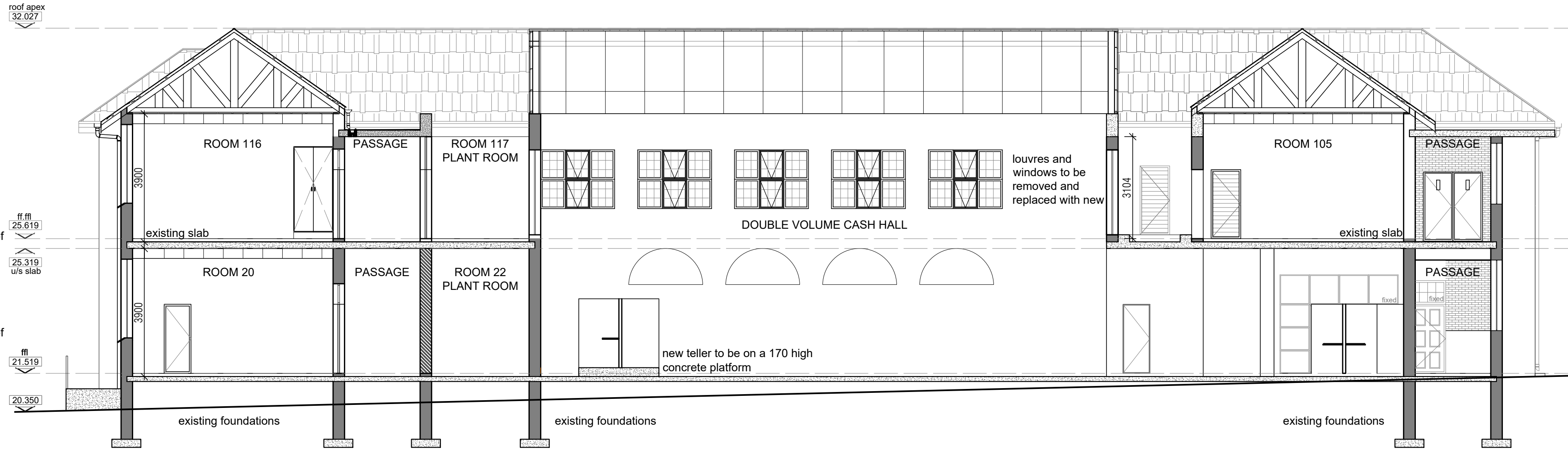
new terracotta window cills to be removed and replaced with new to match existing as per scope of works

new aluminium windows to match existing as per window schedule

new terracotta window cills to be removed and replaced with new to match existing as per scope of works

1:12 concrete ramp with 1000 high glass balustrades

existing timber floor to be removed and filled and well compacted for concrete slab, all to engineer's recommendations and specification. full bodied porcelain floor tiles to replace timber flooring



SECTION B - B
SCALE 1:100

new ibr chromodek and translucent roof sheeting to be laid on new steel purlins as per engineers specifications

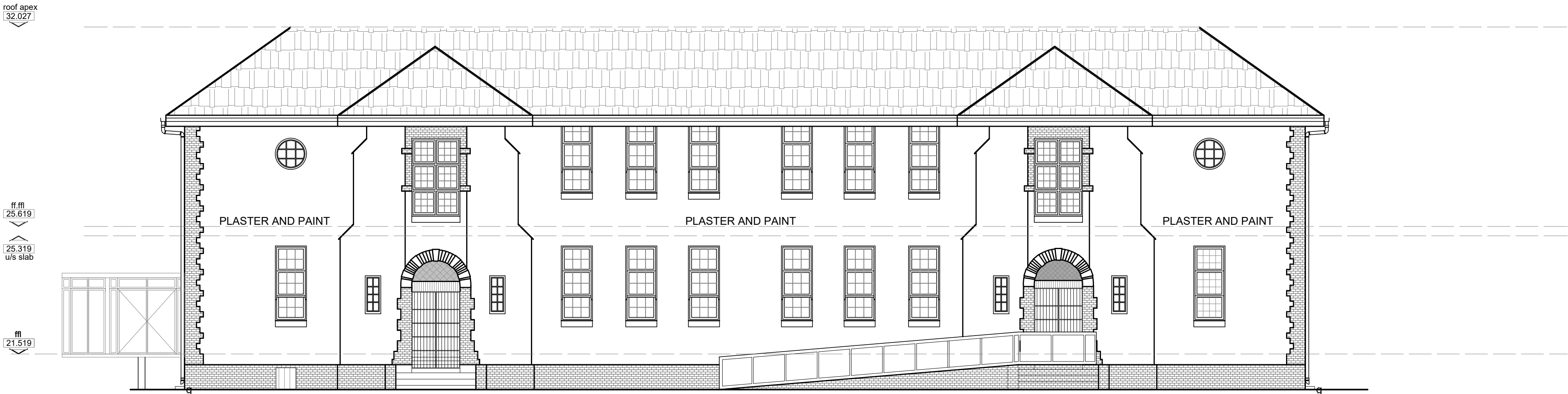
external facebrick to be plastered and painted to match existing paint as per scope of works

existing gate to be removed and replaced with fire door. opening to be bricked up to match existing facebrick

new gutters and rain water down pipes as per scope of works

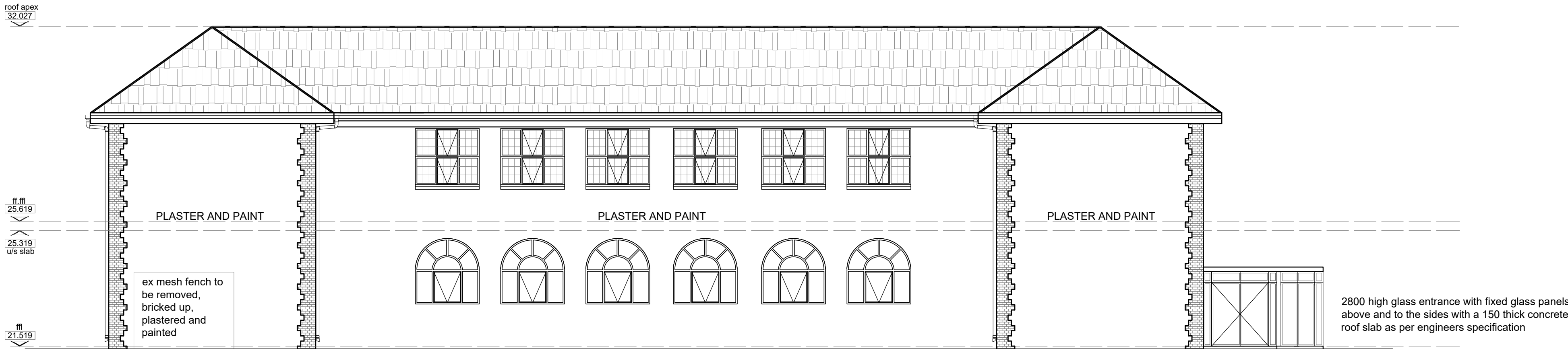
existing steel burglar bars to be removed. opening to be bricked up to match existing facebrick

- new concrete roof tiles to be laid on new timber battens 600cc on new timber trusses to match existing roof as per engineers spec
- new gutters and rain water down pipes as per scope of works
- new aluminium windows to match existing as per window schedule
- new doors as per door schedule
- all steel plates to be removed. all openings to be bricked up.
- plaster and painted as per scope of works
- all facebrick accents and architraves to be cleaned as per scope of works
- 1:12 concrete ramp with 1000 high glass balustrades



NORTH EAST ELEVATION
SCALE 1:100

- new concrete roof tiles to be laid on new timber battens 600cc on new timber trusses to match existing roof as per engineers spec
- new gutters and rain water down pipes as per scope of works
- new aluminium windows to match existing as per window schedule
- new doors as per door schedule
- all steel plates to be removed. all openings to be bricked up.
- plaster and painted as per scope of works
- all facebrick accents and architraves to be cleaned as per scope of works



SOUTH WEST ELEVATION
SCALE 1:100

REVISION STATUS				
Rev.	Date	Description	By	Checked

- GENERAL NOTES:**
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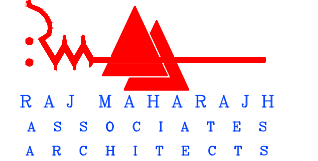
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PROJECT NAME: MLB BUILDING

ROOF REPLACEMENT AND RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: ELEVATIONS

DRAWN BY	PP
CHECKED BY	NS/ TRW/ RJM
DATE	02 SEPTEMBER 2022
LATEST ISSUE	02 SEPTEMBER 2022
SCALE	AS SHOWN

PROJECT :	DWG NO.	REV NO.
MLB BUILDING	MLB.DD.06	R.00

SCOPE OF WORKS

PORTAL FRAME

- Sheeting and purlins to be removed and replaced with new.
- Engineer to advise on existing steel structure
- Timber beams are to be removed and replaced to match existing.
- Ceilings are to be removed and replaced with SUSPENDED CEILING BOARDS nailed to 38 x 38mm timber brandering at max 400mm centers with cretestone skimplaster finish and with tape-channel cover strips finished with 1 x undercoat and 2 x coats Plascon Professional Superior Low Sheen water based paint. Applied strictly as per manufacturer's instructions. Engineer to advise.

ROOF NOTES

- Existing roof sheeting and ridging to be removed and replaced with 0.58 mm thick galvanized corrugated profile roof sheeting, fixed with intermediate timber purlins at 1100mm centers. Skew nails to truss. Ridge and eaves purlins at 900 centers, with 12 x 45mm class 3 timber self drilling screws. Sheets to be fixed with class 3 fasteners 3 per sheet per purlin with 65 mm Tex or Top Speed screws as per manufacturers specifications.
- 0.58mm corrugated ridge capping, cranked to suit profile, fixed to sheeting and purlin by dry screws as per manufacturers specifications.
- New fibre cement barge boards size 250 x 80 x 12mm, fixed to 38 x 38mm trimmer batten and purlin twice screwed with 12 x 40mm brass countersunk screws with aluminum h-profile barge board joiners between boards and at roof apex. Apply 3 coats contractors white pva.
- New 225 x 12mm fibre cement fascia boards countersunk heads to 38 x 38 soffit nailed to side of rafter. Finish with 3 coats contractors white pva.
- Existing purlins to be removed and replaced with SA pine 75mm x 50mm timber purlins at 1100mm cc to ridge and 12 x 45mm class 3 timber. Sheets to be fixed with 3 skew nails per sheet per purlin. All with manufacturers recommendation.
- Existing concrete roof tiles to be removed, cleaned and stored on site to be reused. to be fixed with tile nails on to 38 x 38mm s.a.pine purlins @ max. 320mm c/c battens, on sabs approved underlay of 400microns, on 152 x 38mm s.a. pine trusses @ max 760mm c/c at 26 degree slope. tiling and fixing to comply with sabs 062 :1991 code of practice, and must be re-installed according manufactures specifications.
- Existing ridge & hip tiles to be removed, cleaned and stored on site to be reused. all bedding mortar for ridges and hips must consist of 3 parts clean plaster sand and 1 part portland cement tinted to the colour of the roof.
- Existing trusses to be removed and replaced with 152 x 38mm s.a. pine factory manufactured trusses similar or equal to gangnail trusses at max.760mm centres fixed, leveled and aligned on 114 x 38mm s.a. pine wall plate fixed on wall by means of 4mm ø galvanised wire, double winded, built into brickwork for min 5 brick coases

below wallplate level. trusses to be designed and certified by a registered engineer, and a engineer's certificate must be issued after installation.

- 6mm thick fibre cement ceiling nailed with 32 x 2.5mm nails at 150mm centres, onto 38 x 38mm s.a. pine battens @ max. 450mm centres. boards to be joined with metal h-strips according to manufacturers specifications. install 75 x 16mm hardwood cornice with plug & wood screws, stop sand and prepare for painting as per paint specification. refer to finishing schedule.
- 6mm thick fibre cement ceiling screwed with 25 x 3.5mm screws onto 38 x 50mm s.a. pine battens @ max. 450mm centres. apply joint-plaster tape "rhinotape" on joints. plaster with a 3-6mm coat of rhinolite skim plaster applied as per manufacturers instructions.
- 114 x 38mm s.a. pine wall plate leveled on brickwork and fixed onto walls by means of 4mm ø x 300mm galvanised built into wall min. five bricklayers.
- 225 x 12mm fibre cement fascia boards with aluminium h-profile fascia joiners, drill & fixed to ends of trusses with 2 x 40mm copper screws. fascia boards to be painted with one universal undercoat and two coats eggshell enamel.
- cornice moulding by 'dynamic artistic solutions' - colonial moulding. installed with glue against ceiling and wall,according to manufactuers specifications.
- cement mortar beam filling finished neatly and smooth below tiles.
- treat all exposed wood at roof overhang with carbolinium, or paint with primer and two coats enamel paint, before installing roof covering and underlay.
- Roof trusses to be inspected and to be removed and replaced as per Engineers recommendations.
- existing cornices to be removed and replaced with new 75mm cove cornice to match existing
- existing ceiling boards to be removed and replaced with 6.4mm gypsum board nailed to 38 x 38mm timber brandering at max 400mm centers with cretestone skimplaster finish and with tape-channel cover strips finished with 1 x undercoat and 2 x coats Plascon Professional Superior Low Sheen water based paint. Applied strictly as per manufacturer's instructions.

WALLS

- Prepare cracks to plastered walls as per engineers specifications, apply one coat approved primer, repair defects with approved spot primer and two coats premium washable and stain resistant 100% acrylic emulsion. Colours of undercoat to match finishing coat but with enough difference to be able to distinguish between the two coats. Prepare colour sample of finishing coats before any bulk paint is to purchased. Colour to be approved by Architect.
- Existing partition walls to be plastered and painted on both sides. Paint as per finishing schedules.
- All external cills to be cleaned and painted.
- All internal cills to be 12mm fibre cement to be screwed to brickwork.
- External face brick to be assessed for

quality. If in good condition the face brick is to be cleaned non-abrasively with non-harsh cleaning chemicals, repointed, and sealed with a matt finish brick sealer. A sample of the refurbished wall is to be provided for approval.

FLOORS

- Existing floor finish to be stripped and replaced with full bodied 10mm thick 600x600 porcelain tile. with 3 PEI rating fixed to internal floor screed with rapid setting tile adhesive mixed with bonding liquid in lieu of water on concrete surface bed, and 3 mm joints continuous in both directions, jointed and flush pointed SABS approved tile grout.
- Existing carpets to be removed using adhesive remover.
- Porcelain floor tile skirting, 100mm high with a 24 hour adhesive solution to be plastered surfaces above floor tiles. Tiles to have 3mm joints. sealed joints between skirting tiles and floor tiles with silicone sealant.
- Aluminum threshold expansion filler to manufactures specification.
- Existing epoxy flooring to be stripped and redone as per engineers spec
- Timber flooring to be removed. void to to be filled G5 material and compacted as per engineers detail and replaced with porcelain tiles as per finishing schedule.

WINDOWS

- All timber windows to be removed and replaced as per window schedule.
- Bricks demolished for new window openings are to be carefully removed, cleaned and reused in patchwork. If existing bricks are unsalvageable a sample brick to match existing, to be provided for approval.
- See attached window schedule for burglar guard details.

DOORS

- All damaged internal and external doors to be removed and replaced as per door schedule.
- All good internal and external doors to be sanded and varnished as per door schedule.
- All partition internal and external doors to be removed and replaced as per door schedule.

PLUMBING AND FITTINGS

- All existing sanitary ware is to be removed and replaced with new as indicated in the sanitary Schedule.
- Existing drainage and pipe work systems to be flushed as per engineers recommendations.

RAIN WATER GOODS

- New 200 x 250mm extruded aluminum seamless gutters fixed to fascia boards by 2 no. 25mm brass screws into fascia and soffit, including all necessary fittings as per manufacturers recommendation and to comply with SANS 11:2007. Fixed to 12 x 225mm fibre cement fascia boards with a slight slope

towards the 200mm Ø aluminum downpipe which is fixed to the walls with aluminum 6 no. downpipe clips with the specified aluminium shoe as per engineers report

AIR CONDITIONING

- existing air conditioning units are to be remove and replaced with new as per engineers recommendation

BALUSTRADES

- to be removed and replaced with windows where shown
- remaining balustrades to be inspected and made good.
- External ramp balustrade to comply with SANS 10400 Part M

GATES

- All gates are to be inspected and made good.
- All hinges to be removed and replaced.

FENCING

- Steel fencing to be inspected and made good, where necessary
- Wire mesh fencing to be inspected and made good, where necessary

RUST

- Steel to be sprayed or painted with a rust dissolving solution directly onto the rusted area. Leave solution on rusted area for 15 to 30 minutes or until rust is dissolved. To be derusted with a wire brush, steel wool or sand paper. to be primed with a rust inhibitor primer and painted with a galvanised paint.

GENERAL

- All structural elements and condition of building to be verified by engineer.
- All existing foundations, floor slabs and roof trusses to be verified by the engineer.
- If there are cracks to the existing floor prior to covering engineers to confirm.
- If there are cracks on the walls, this is to be remedied to engineer's recommendation and specification.
- All external services as per the relevant engineers drawings.
- All Fittings removed are to be assessed by Client for donation purposes.
- Turnstyle to be inspected by a specialist. Specialist to advise on condition; to be made good or removed and replaced
- All signage to be removed and stored on site. to be reinstalled as per clients specifications

MECHANICAL

- Engineer to advise on Hydroboils

REVISION STATUS				
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PROJECT NAME: MLB BUILDING


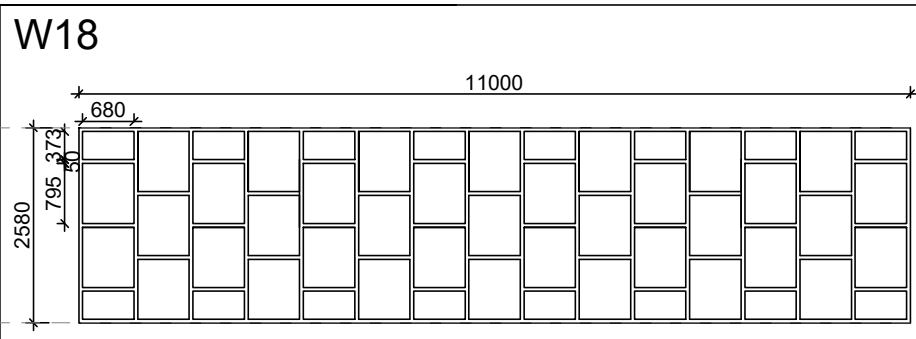
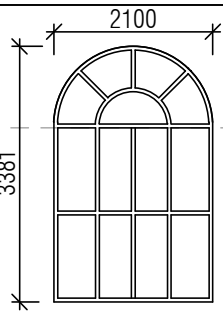
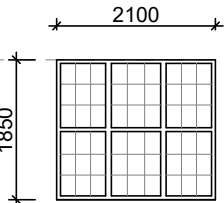
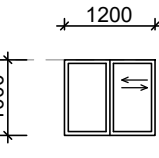

ROOF REPLACEMENT AND
RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: SCOPE OF WORKS

DRAWN BY	PP
CHECKED BY	NS/ TRW/ RJM
DATE	02 SEPTEMBER 2022
LATEST ISSUE	02 SEPTEMBER 2022
SCALE	AS SHOWN

PROJ. NO :	DWG NO.	REV NO.
MLB BUILDING	MLB.DD.13	R.00

WINDOW SCHEDULE				
U/S OF LINTEL 				
FINISHED LEVEL 	FIXED	FIXED	FIXED	
WINDOW NUMBER	W12	W19	W20	W21
QUANTITY	2	4	6	1
WINDOW DESCRIPTION	75 MM (26B) CREALCO CASEMENT WINDOW POWDER COATING BRONZE TO MATCH EXISTING WINDOWS AS PER AAAMSA REQUIREMENTS	75 MM (26B) CREALCO CASEMENT WINDOW POWDER COATING BRONZE TO MATCH EXISTING WINDOWS AS PER AAAMSA REQUIREMENTS	75 MM (26B) CREALCO CASEMENT WINDOW POWDER COATING BRONZE TO MATCH EXISTING WINDOWS AS PER AAAMSA REQUIREMENTS	75 MM (26B) CREALCO CASEMENT WINDOW POWDER COATING BRONZE TO MATCH EXISTING WINDOWS AS PER AAAMSA REQUIREMENTS
FRAME FINISH	BRONZE POWDER COATING ACCORDING TO AAAMSA	BRONZE POWDER COATING ACCORDING TO AAAMSA	BRONZE POWDER COATING ACCORDING TO AAAMSA	BRONZE POWDER COATING ACCORDING TO AAAMSA
GLASS	4mm CLEAR SINGLE LOW E TOUGHENED SAFETY GLASS WITH A 5.73 U-VALUE AND 0.66 SHGC RATING AS SUPPLIED BY MANUFACTURER.	4mm CLEAR SINGLE LOW E TOUGHENED SAFETY GLASS WITH A 5.73 U-VALUE AND 0.66 SHGC RATING AS SUPPLIED BY MANUFACTURER.	4mm CLEAR SINGLE LOW E TOUGHENED SAFETY GLASS WITH A 5.73 U-VALUE AND 0.66 SHGC RATING AS SUPPLIED BY MANUFACTURER.	4mm CLEAR SINGLE LOW E TOUGHENED SAFETY GLASS WITH A 5.73 U-VALUE AND 0.66 SHGC RATING AS SUPPLIED BY MANUFACTURER.
GLAZING	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2. GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2. GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2. GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.	GLAZING TO COMPLY WITH PART 'N' OF NATIONAL BUILDING REGULATIONS, AAAMSA GENERAL SPECIFICATIONS, SANS 10137 & SANS 1263 PART 1 & 2. GLAZING MANUFACTURED AND INSTALLED BY ONLY A RECOGNIZED MEMBER OF S.A. GLASS GLAZING ASSOCIATION.
SECURITY	-	-	-	-
FITTINGS	AS PER MANUFACTURER'S DETAIL	AS PER MANUFACTURER'S DETAIL	AS PER MANUFACTURER'S DETAIL	AS PER MANUFACTURER'S DETAIL
CILLS - EXTERNAL	-	-	BRICK-ON-EDGE FACEBRICK WINDOW CILL AT REQUIRED ANGLE.	BRICK-ON-EDGE FACEBRICK WINDOW CILL AT REQUIRED ANGLE.
WINDOW BLINDS	-	-	-	PURPOSE MADE BLINDS AS PER CLIENT'S APPROVAL


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PROJECT NAME: MLB BUILDING

ROOF REPLACEMENT AND RENOVATIONS TO THE MLB BUILDING

ERF NO : ERF 106 OF DURBAN & 107 OF DURBAN

DRAWING TITLE: WINDOW SCHEDULE

DRAWN BY	PP
CHECKED BY	NS/TRW
DATE	02 SEPTEMBER 2022
LATEST ISSUE	02 SEPTEMBER 2022
SCALE	AS SHOWN

PROJECT:	DWG NO.	REV NO.
MLB BUILDING	MLB.DD.15	R.00