

APPLICATION IN PRINCIPLE  
No. Ref. 304.03.2015  
SHEET: 1/1

ETHEKWINI MUNICIPALITY  
LOCAL GOVERNMENT CONTROL SERVICE  
**GRANTED**  
SIGNATURE: [Signature]  
DATE: 16/07/15  
This does NOT constitute an approval in terms of the BEP (Act No. 103 of 1977). This authority does not warrant the compliance with any other regulatory requirements or any other applicable law.

- GENERAL NOTES
1. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO ANY CONSTRUCTION WORK BEING DONE
  2. ALL DISCREPANCIES TO BE REPORTED TO AUTHOR IMMEDIATELY UPON IDENTIFICATION
  3. ALL WORK TO BE IN ACCORDANCE WITH SAHS 1000 AND ALL MATERIALS USED TO BE OF SAHS APPROVED STANDARDS
  4. ALL STRUCTURAL WORK TO BE TO ENGINEERS DETAIL AND SPECIFICATION AND UNDER HIS SUPERVISION
  5. ANY GUARD ABOVE DPC TO MEET REQUIREMENTS WITH SOIL POSINGING BELOW SURFACE BED
  6. WALLS TO BE REINFORCED WITH BRICK FORCE
  7. LIGHTING AND VENTILATION TO COMPLY WITH PART 9 OF SAHS 1000
  8. ALL DRAINAGE TO BE Laid BY A PROFESSIONAL PLUMBER CONTRACTOR AND TO COMPLY WITH SAHS 1000-1990
  9. SEWER AND STORM WATER PIPES UNDER SLABS TO BE SCHEDULED IN CONCRETE
  10. FOUNDATIONS TO BE TAKEN DOWN TO FIRM SOIL
  11. TRUSS DESIGN TO ROOF SPECIALIST DETAIL
  12. ALL SLIDING AND FOLDING GLASS DOORS TO BE SAFETY GLASS, 8MM GLASS BELOW ROOMS TO BE SAFETY GLASS IN ALL DOORS AND WINDOWS
  13. INCL IN APPROPRIATE POSITION ONLY
  14. PRE-CAST LINTELS TO BE PROVIDED OVER ALL DOORS AND WINDOWS, UNLESS OTHERWISE SPECIFIED
  15. ALL GLAZING TO COMPLY WITH PART 9 OF SAHS 1000
  16. I.E.S TO BE PROVIDED AT ALL BENCH AND JUNCTIONS
  17. WASTE AND VENT PIPE TO BE 50mm PVC AS SPECIFIED
  18. SOIL PIPES AND VENTS TO BE 100mm PVC AS SPECIFIED
  19. ALL TRAYS TO BE "W" AND "V" TYPE AS SPECIFIED
  20. ALL - EXPOSED WINDOW
  21. ALL - EXPOSED REINFORCED CONCRETE, ALL TO STRUCTURAL ENGINEERS SPECIFICATION
  22. ROOF TRUSSES TO BE ANCHORED BY GALVANISED ROOF IRONS
  23. CREATE TRAP TO BE PROVIDED TO KITCHEN SINK
  24. DPC TO BE PROVIDED AT WALL AND FLOOR INTERSECTION
  25. ALL SEWER LEVELS TO BE VERIFIED ON SITE BY CERTIFIED PLUMBER

SCHEDULE OF ARFAS

SITE AREA	1207.00m <sup>2</sup>
PERMITTED COV	482.8m <sup>2</sup> (40%)
PERMITTED FAR	N/A
existing cov	329.1m <sup>2</sup>
PROPOSED NEW COV	61.4m <sup>2</sup>
COVERED WIND STAFF W.C	2.8m <sup>2</sup>
EXISTING GARAGE	2.8m <sup>2</sup>
<b>TOTAL NEW COV</b>	<b>390.5m<sup>2</sup></b>

NAME & ID No	ADDRESS	TELEPHONE	SIGNATURE
JB BISHOP - RAJE (Gaut. Min. - Chief Architect)	18 BISHOP RAJE (Gaut. Min. - Chief Architect)	0834489140	[Signature]
CC (Gaut. Min. - Chief Architect)	18 BISHOP RAJE (Gaut. Min. - Chief Architect)	0834489140	[Signature]
DR. MONTAGNA (Gaut. Min. - Chief Architect)	18 BISHOP RAJE (Gaut. Min. - Chief Architect)	0834489140	[Signature]
DR. MONTAGNA (Gaut. Min. - Chief Architect)	18 BISHOP RAJE (Gaut. Min. - Chief Architect)	0834489140	[Signature]
DR. MONTAGNA (Gaut. Min. - Chief Architect)	18 BISHOP RAJE (Gaut. Min. - Chief Architect)	0834489140	[Signature]
DR. MONTAGNA (Gaut. Min. - Chief Architect)	18 BISHOP RAJE (Gaut. Min. - Chief Architect)	0834489140	[Signature]

PROJECT: PROPOSED NEW COVERED PATIO & ADDITIONS AND ALTERATIONS TO EXISTING SERVANTS QUARTERS FOR Mrs. H. BELLS AT THE 24th SIGDAWAY, 31 ROCHAMPTON WAY, DURBAN NORTH

RATE NUMBER: \_\_\_\_\_

DRAWING TITLE: SITE PLAN, FLOOR PLAN, SECTIONS, AREA SCHEDULE

CLIENT INFO: Mrs H. BELLS

OWNERS SIGNATURE: \_\_\_\_\_

AUTHORS SIGNATURE: \_\_\_\_\_

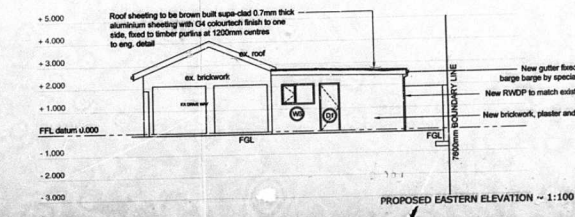
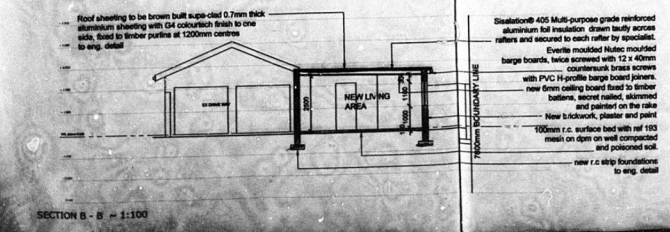
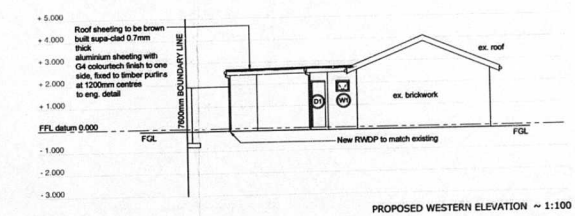
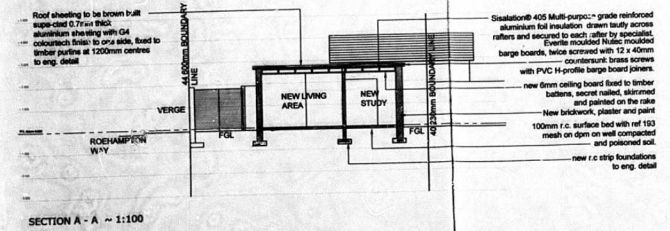
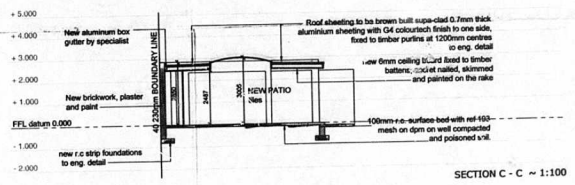
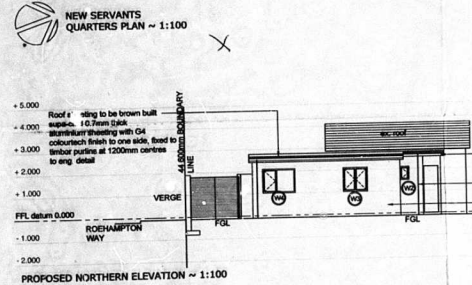
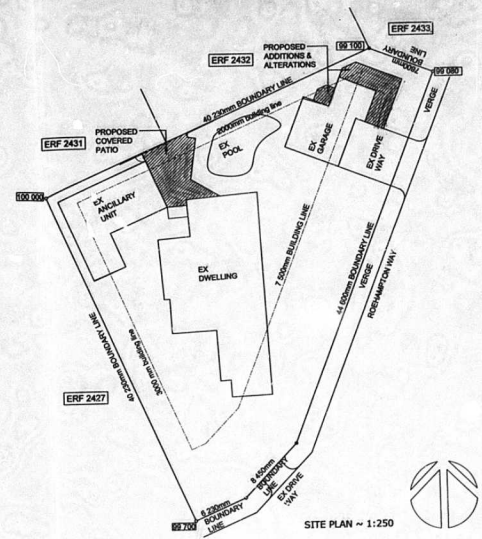
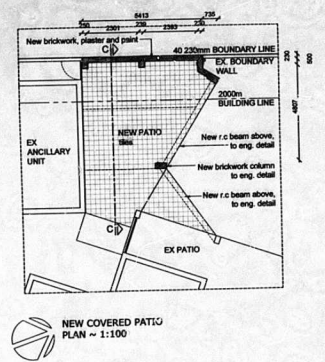
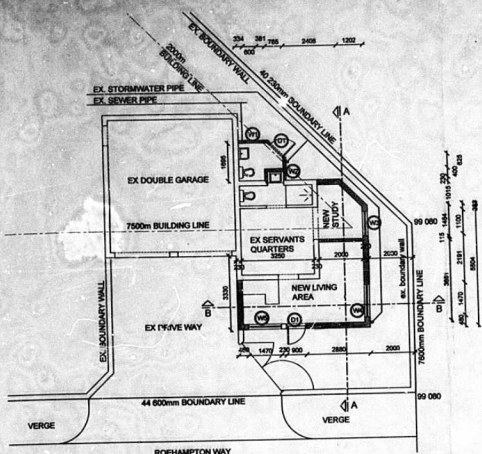
DATE: 09/03/2015

SCALE: 1:100; 1:50

DESIGNED BY: H.P.P.

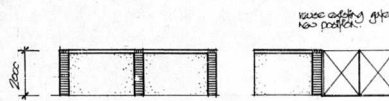
DRAWN BY: H.P.P.

DRAWING NO: 2015 / 02 / 25 / 001



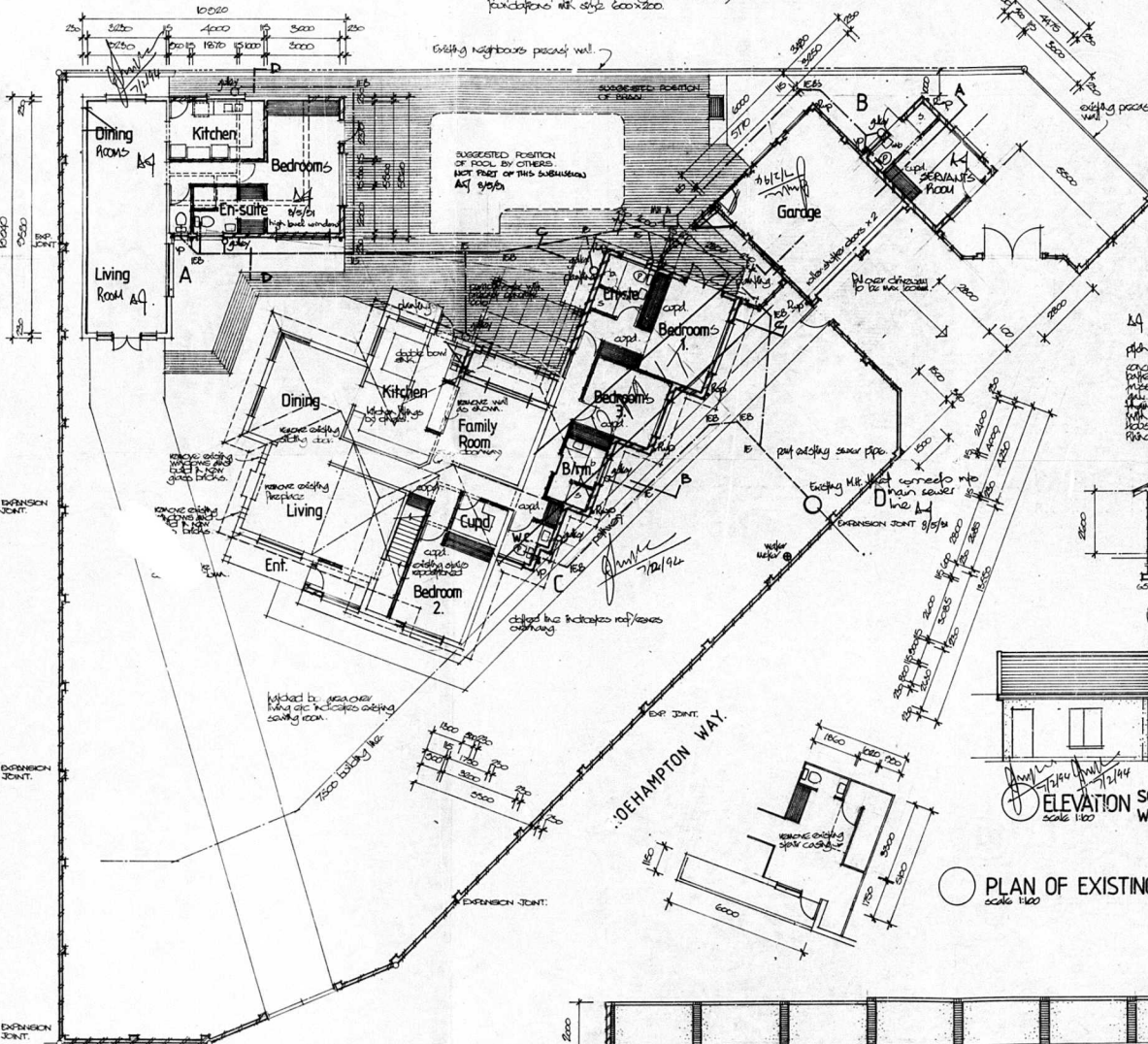
design solutions

REG. No.: ST1001  
P.O. Box 623  
Shelly Beach  
4265



○ ELEVATION 6230 boundary ○ ELEVATION 8450 boundary ○ ELEVATION 44690 boundary

○ ELEVATIONS OF FRONT WALL  
SCALE 1:100

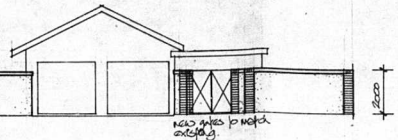


NOTE: ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE BEFORE ANY WORK IS PUT IN HAND. THIS DRAWING IS TO BE USED FOR INFORMATION PURPOSES ONLY AND IS NOT TO BE SCALED.

\* OVERHEAD WIRES TO BE CHANGED TO UNDERGROUND CABLES

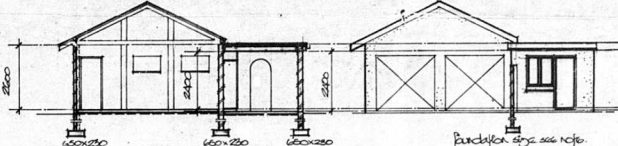
○ PLAN : 1:100

○ ELEVATION OF SIDE WALL 40230 boundary  
SCALE 1:100



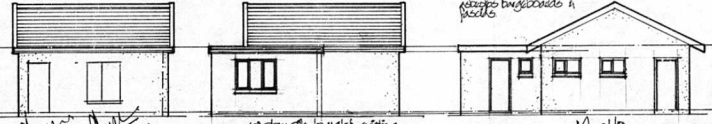
○ ELEVATION OF DRIVEWAY WALL  
SCALE 1:100

○ ELEVATION OF DRIVEWAY WALL  
SCALE 1:100



○ SECTION A-A  
SCALE 1:20

○ ELEVATION south east  
SCALE 1:100



○ ELEVATION south west  
SCALE 1:100

○ ELEVATION north east  
SCALE 1:100

○ ELEVATION north west  
SCALE 1:100

○ PLAN OF EXISTING SEWING ROOM  
SCALE 1:100

- 1) Ancillary Kitchen Door Repositioned PLAN AND South West Elevation
- 2) Done to Garage Repositioned + New Windows
- 3) Bed Room & Bath Rooms Omitted.

AMENDMENT APPROVED  
1-3 DATE 9/10/10  
EXECUTIVE DIRECTOR  
MUNICIPAL ENGINEERING PER: [Signature]

SHEET 7/2 OF 3  
CITY OF DURBAN  
PLAN NUMBER 010504912  
APPROVED: D. C. MACLEOD  
CITY ENGINEER

1001 JUN 11

TOWN PLANNING BRANCH  
APPROVED  
1991-05-29  
Signature: K. [Signature]  
Checked: [Signature]

AS BUILT  
9/10/10

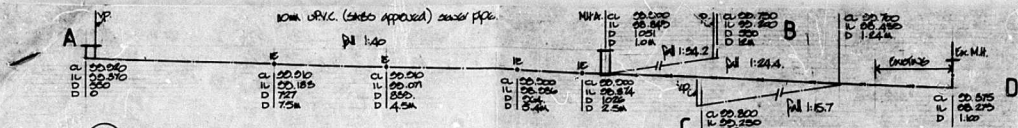
ROOF STRUCTURE TO BE TO EMPIRICAL RULES OR DESIGNED BY ENGINEER

AREAS:  
Site Area: 1207m<sup>2</sup>  
Existing Area: 1154.1m<sup>2</sup>  
New Area: 150.725m<sup>2</sup>  
Total: 246.155m<sup>2</sup>

PDS - 0026  
PLANS, ELEVATIONS OF BOUNDARY WALLS, SECTIONS AND ELEVATIONS OF GARAGE AND STUDIO.

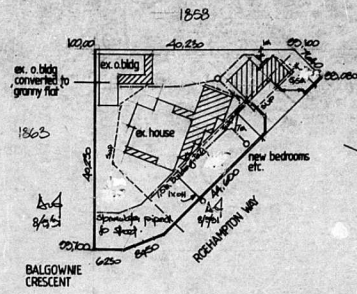
PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING AT 33 ROEHAMPTON WAY, DURBAN NORTH, DURBAN.  
1864 of 104 15 N°1536 (DURBAN NORTH)  
1:100 PREPARED BY: [Signature] A.S.

PIONEER draughting studio  
275 EASTVIEW ROAD  
DURBAN NORTH  
PHONE: 841119

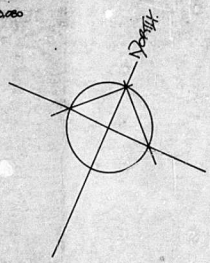


SEWER SECTIONS  
SCALE 1:100

ELEVATION OF WALL  
SCALE 1:100



SITE PLAN  
SCALE 1:500



AS BUILT

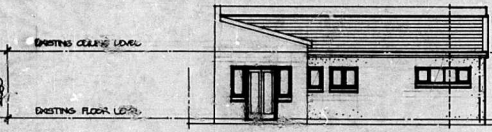
NOTE:  
All dimensions to be checked and verified on site before any work is put in hand.  
This drawing is to be used for INFORMATION PURPOSES ONLY and IS NOT TO BE SCALED.

GLASS BRICK INSTALLATION BEING TO MANUFACTURERS RECOMMENDATIONS

09/03/19

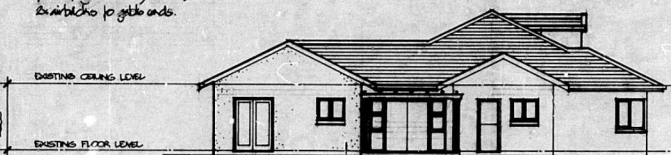
instructor needs to put with all necessary backlogs, including etc. new roof tiles to match that of house.  
Granny flat tiles to match existing house & put in new roof that of house (color by owner).  
adjusts partitions & doors make good p/d disturbed work.

64 8/5/21  
p/d - 150  
roof pitch to match existing.  
realign existing roof lines.  
check ceiling of hallway and rooms, replace necessary.  
central vents over roof collection, new floorboards and painting to grade under.  
for new process to new side extension to match existing by spreading of new floorboards under existing slab and match stream consistency with local context.



ELEVATION south east  
SCALE 1:100

remove roof tiles to replace existing asbestos free.  
realign downpipes, fascias, gutters & paint to new roof pitch to existing (color by owner).  
Sawtooth to gable ends.

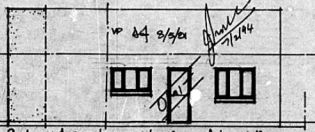


ELEVATION north  
SCALE 1:100

superimpose concrete color (same as tiled) with capitals and bases with shaped beam in rafters to gables.

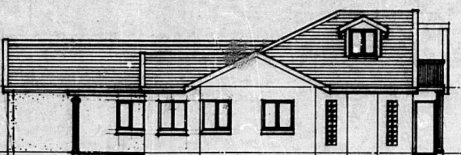
SECTION D-D  
SCALE 1:100

75-100mm thick concrete slab on shales approved w/p membrane on sand-beds after ant-poise.



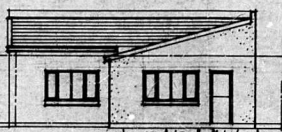
ELEVATION north west  
SCALE 1:100

form ceiling & roof space and create "beam" window. shed sides up with tiles as per roof. ensure that tiles have vertical stop behind and all timbers with roof to be properly finished and color finished.



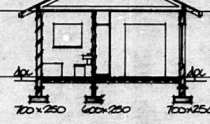
ELEVATION west  
SCALE 1:100

replace existing windows & build in new glass blocks.



ELEVATION north east  
SCALE 1:100

roof pitch to match existing concrete roof tiles or battles etc. 30-35mm as approved by council or as per process by specialist or as per best available. All laid down with only horizontal strips. Pinboard called a 50-50mm boarding with colored concrete. Pitch 26° 64 8/5/21



SECTION C:C  
SCALE 1:100

remove existing process that are not to be used replace where necessary with new process etc. to carry new floor, w/p.m. etc. Pinboard called a 50-50mm boarding with colored concrete.



ELEVATION south  
SCALE 1:100

plester a p/m as noted before to walls

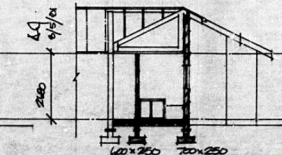
DECK  
labor deck out of treated timber. handrail height not less than 1m in openings. battens vertical divisions not greater than 120mm. 100x20mm beams a suitable stain floor coating. to Engineers detail.

remove all existing flower box etc. build up new floor to compare even with existing floor.  
make good p/d disturbed work.

plesterboard a p/m as noted before  
re-plaster goods as noted before  
roof as noted before.

ELEVATION east  
SCALE 1:100

plester and paint as noted before to walls



SECTION B:B  
SCALE 1:100

re-plaster to the p/m, with all necessary back-up, holdstays etc.

75-100mm concrete slab as noted on section C:C. all after ant-poise.

SHEET 11/1/19-3  
**CITY OF DURBAN**  
PLAN NUMBER  
0105 of 11/2  
APPROVED: D. C. MACLEOD  
CITY ENGINEER  
1001 JUN 11

APPLICATION TO BE SUBMITTED AND COSTS PAID TO THE CITY ELECTRICAL ENGINEER'S DEPARTMENT FOR THE REPOSITIONING OF ALL AFFECTED ELECTRICAL SERVICES PRIOR TO THE COMMENCEMENT OF BUILDING WORKS

R/C DETAILS REQUIRED

ALL GLAZING TO COMPLY WITH PART M2 AND M23 OF SABS 0400.

ENGINEERS DETAIL S.P. 201/2020

TOWN PLANNING BRANCH  
APPROVED  
1951-05-24  
Signature: KBA  
Checked: [Signature]

It should be noted that this plan has been approved on the basis of information hereon.

1. All buildings on the site must comply with the provisions of the Building Regulations.
2. All buildings on the site must comply with the provisions of the Building Regulations.
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8. All buildings on the site must comply with the provisions of the Building Regulations.
9. All buildings on the site must comply with the provisions of the Building Regulations.
10. All buildings on the site must comply with the provisions of the Building Regulations.

owners signature: [Signature]  
PDS-0026/2

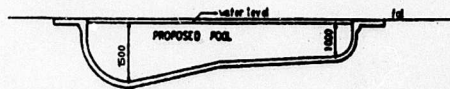
ELEVATIONS BOUNDARY WALL, GRANNY FLAT AND HOUSE INCLUSIVE OF SITE PLAN

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING AT 33 ROEHAMPTON WAY, DURBAN NORTH, DURBAN.

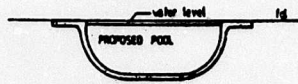
1504 of lot 15 N° 1504 (DURBAN NORTH).

1:100 1:500 FEBRUARY 21

**PIONEER**  
draughting studio  
575 EASTERN ROAD  
DURBAN  
PHONE: 0455



SECTION C-C 1:100



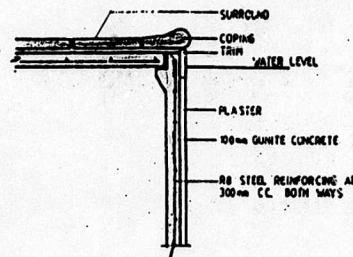
SECTION D-D 1:100



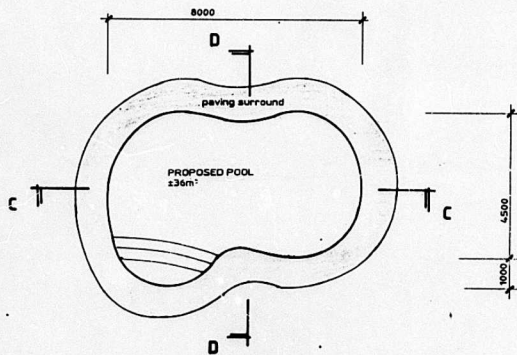
ELEVATION OF PROP SAFETY FENCE 1:100

ELEVATION OF PROP SAFETY FENCE 1:100

NOTES:  
 1) LEAKAGE PROTECTION TO BE FITTED TO ELECTRICAL SUPPLY  
 PRECAUTIONS TO BE TAKEN IN REGARD TO CO-GENERATE, SEWAGE AND DRAINAGE IN SINKING PUMP CHAMBER AND FILTER UNIT.  
 POOL TO BE FINISHED IN COMPLIANCE WITH ALL R.D. L.C.S. EXCEPT ONE OR TWO  
 WASTE WATER SINKING AND DRAINAGE / TO BE DISCHARGED INTO EX OPEN CHANNEL SEWER PIP VIA B.B.T.



DETAIL SECTION 1:20

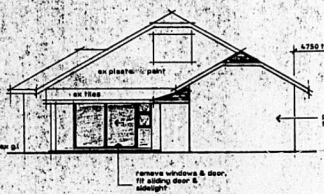


PLAN 1:100

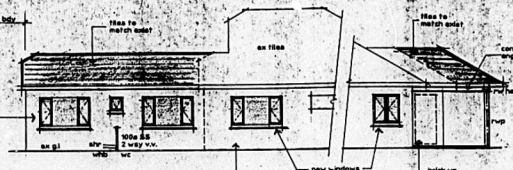
ELECTRICITY SERVICES  
 Any person undertaking building work involving the installation of electrical wiring in the vicinity of the proposed works.  
 1) The location of any electrical services and conductors in the vicinity of the proposed works.  
 2) DME requirements regarding the installation of electrical wiring and cable ducts.

SITE PLAN 1:500

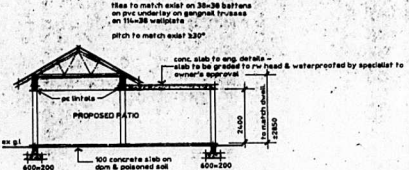
DATE SUBMITTED	15 JAN 2003
SHEET	4/2
COPY	3
CITY OF DURBAN	
PLAN No. 484/11/02	
APPROVED: Ms. J SUBBAN EXECUTIVE DIRECTOR DEVELOPMENT 21 JAN 2003 DATE: PER: [Signature]	
<p><b>ELECTRICITY SERVICES</b></p> <p>1) The location of any electrical services and conductors in the vicinity of the proposed works.</p> <p>2) DME requirements regarding the installation of electrical wiring and cable ducts.</p>	
<p><b>EMR. SIGN</b></p> <p>Additions to dwelling &amp; Proposed Swimming Pool for Mrs Ellis.</p> <p>OWNER'S SIGNATURE: [Signature]</p> <p>EMR No: 2426 DURBAN NORTH</p> <p>Postal Address: 33 ROEHAMPTON WAY</p> <p><b>POOLS</b></p> <p>Builders of Distinctive Pools.</p> <p>DRAWN BY: DEANNE FLEISHER 14 REGENT PLACE, DURBAN NORTH Ph. 6643573</p> <p>SCALE: 1:20, 1:50, 1:100, 1:500 DATE: NOVEMBER 2002 DRAWN: D.F.</p> <p>DRAWING NO.:</p>	



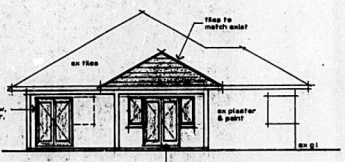
**SOUTH ELEVATION**



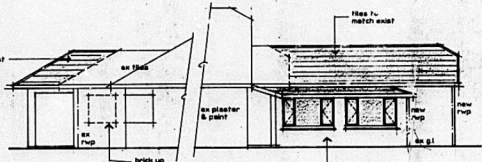
**EAST ELEVATION**



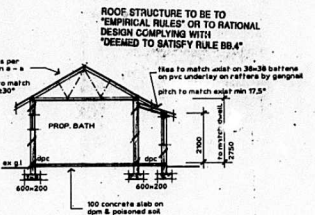
**SECTION A - A**



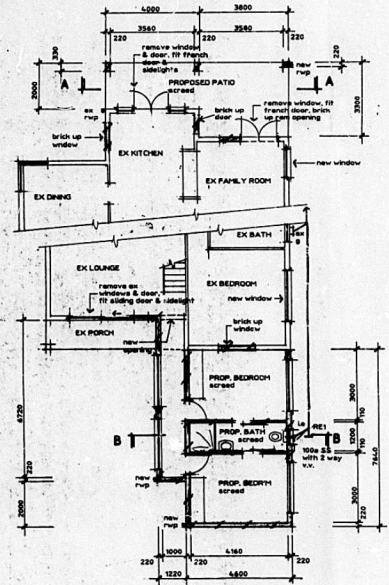
**NORTH ELEVATION**



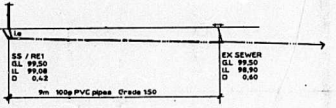
**WEST ELEVATION**



**SECTION B - B**

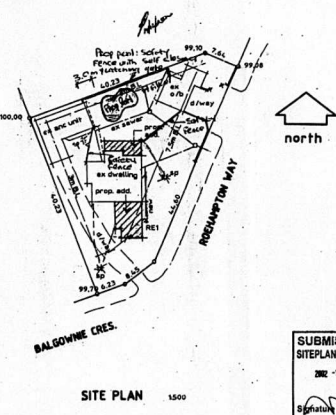


**PLAN**



**SEWER SECTION**

Name	Address	DN No
Mrs Mrs M A Ross	410 Roehampton way Durban North	5647575
Cedette Le four	21 Balgownie Crescent & 25 Roehampton North Durban North	0837930202
Mike Bez + Mari Siale	36 Roehampton way Durban North	0825205348
Edward Ray Lewis	34 Roehampton way Durban North	5642602
Mari Guyrith Le Roux	35 Roehampton way Durban North	5731866



**SITE PLAN**

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

ENGINEERS DETAILS REQUIRED

THE POOL TO BE FENCED AS REQUIRED BY TERMS OF D4 (12.3) OF THE NATIONAL BUILDING REGULATIONS PRIOR TO THE POOL BEING FILLED WITH WATER.

**IMPORTANT**  
 THE APPLICANT IS RESPONSIBLE FOR ASCERTAINING THE POSITION OF ALL POST OFFICE CABLES OR OTHER PLANT AND WILL BE LIABLE FOR ANY COST ARISING DUE TO DAMAGE TO OR THE NEED FOR RELOCATION OF SUCH PLANT ARISING OUT OF WORK INDICATED ON THIS APPLICATION.

**ELECTRICITY SERVICES**  
 Any person undertaking building operations in terms of this plan is required to ensure that the installation complies with the Code of Practice for the wiring of Premises AS/NZS 3000, as amended, and the Occupational Health and Safety Act 1993.  
 A Certificate of Compliance and Application for Connection to the Grid is required with this plan to the Director, Durban Metro Electricity.

**ELECTRICITY SERVICES**  
 Any person undertaking building operations in terms of this plan is required to ensure that the installation complies with the Code of Practice for the wiring of Premises AS/NZS 3000, as amended, and the Occupational Health and Safety Act 1993.  
 A Certificate of Compliance and Application for Connection to the Grid is required with this plan to the Director, Durban Metro Electricity.

10 JAN 2008  
 Signature: [Handwritten]

"It should be noted that this plan has been approved on the basis of information thereon."

RATE No vol 8 8949048 000  
 MRS ELLIS (S) H. C. M. G. S. V.  
 OWNERS SIGNATURE 5643258  
**PROP ADDITIONS TO DWELLING**  
 LOT ERF 2426 DURBAN NORTH  
 P.No. 33 ROEHAMPTON WAY  
**BRUCE FERREIRA**  
**ARCHITECTURAL PLANS**

14 RIVERS PLACE, DURBAN NORTH 4001  
 TEL: 643875  
 FAX: 643875  
 DATE: NOVEMBER 2002  
 DRAWN BY: [Handwritten]  
 SCALE: 1:100 1:500  
**DRG. No. 3129**

**GENERAL NOTES:**  
 ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCING ANY BUILDING OR MANUFACTURING TO BE CLOSER THAN 1.0 m TO BLOG OR BOUNDARY.  
 CUT MARKS DENOTES FILL MARKS DENOTES  
 REMOVAL OF EXISTING WALLS TO BE PROVIDED IN CONCRETE MORTAR TO BE PROVIDED IN ALL WALLS AT BOTH ENDORS WALL & WALLPLATE LEVEL.  
 EX WALLS SET WALLS

**WINDOWS ETC.**  
 WITH PART 102 OF HIGH PLASTER & SHIMMER, PVC FIN CODES: 150 mm PIPES TO BE 150mm UP, 150 mm PIPES TO BATH, SHOWER & SHOWER/PORCHES LETS TO ALL SENS & JUNCTIONS MAY AS SHOWN.  
 EXISTING FLOOR SLAB IS 100 mm CONCRETE SLAB WITH S.A.C. MESH ON CONSOLIDATED FORMED EARTH. FRONT FLOOR SLAB TO BE CASTABLE. S.P.C. ALL S.P.G. TO BE 380 MESH BLACK PVC SHEETS

**AREAS IN SOIL**

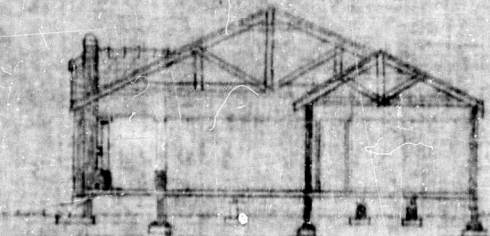
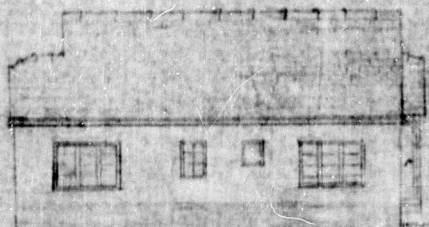
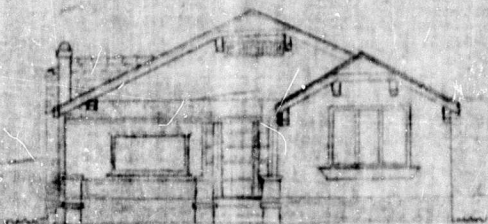
**SITE AREA** 1207  
**EX DWELLING** 14.96  
**ADDITION TO DWELLING** 23.21  
**EX ANCILLARY UNIT** 80.02  
**EX OUTBUIDS** 11.87  
**TOTAL** 130.23

PROPOSED HOUSE FOR O.P. FISHER

PHILOMINE CURBENT DUNSM NORTH

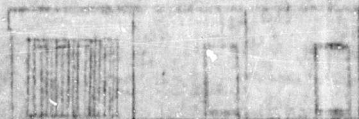
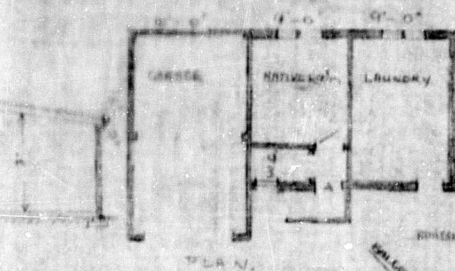
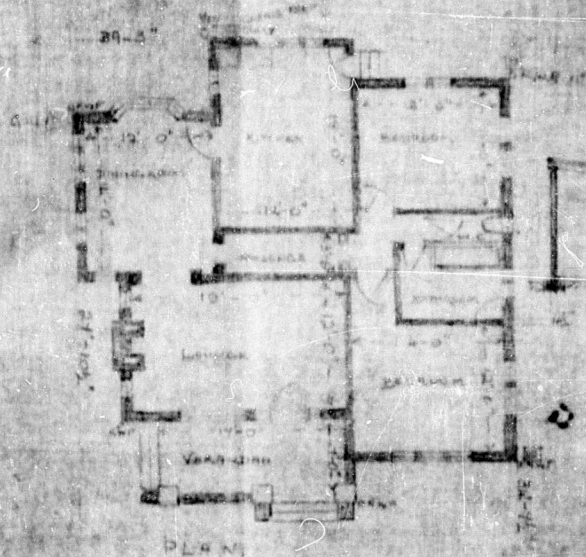
URBAN  
 SECTION  
 No. 1-1-10  
 Please keep  
 accurate

Scale 1/4" = 1'-0"  
 Plan drawn by  
 O.P. Fisher  
 25-1-10

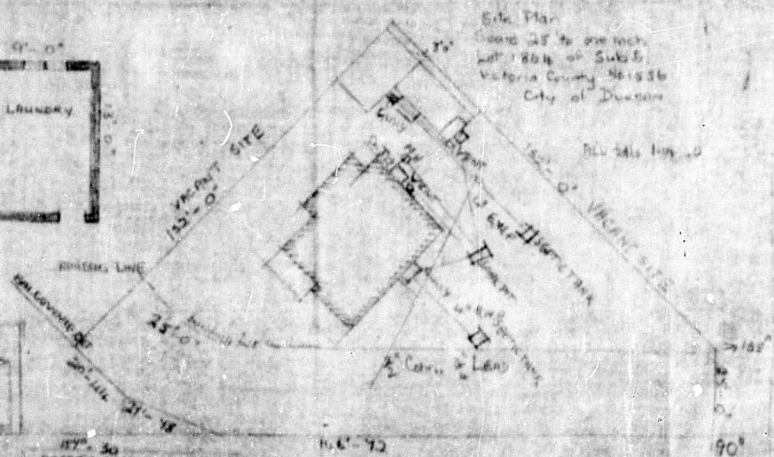


FRONT ELEVATION

SECTION



ELEVATION



Site Plan  
 Scale 1/4" = 1'-0"  
 Lot 1804 of Sub 5  
 Victoria County, Nebraska  
 City of Dunsm

17' x 30'  
 ROADS & DRAINAGE SECTION  
 Shows all four and conditions of the  
 location and showing and distance  
 as usual for such.  
 DATE: 9/10/10

CITY & WATER ENGINEERS  
 C. W. H.  
 1 OCT 1946  
 [Signature]

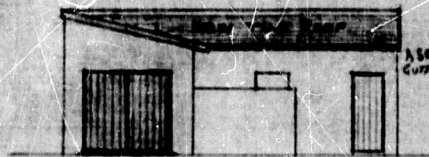
All alterations to plans to be made in the office of the  
 Engineer in charge, which require any work from the  
 structure of any building on a site, or to be  
 properly done, to be made in the field.

PROPOSED ADDITION - ALTERATION TO OUTBUILDINGS AT 33 ROEHAMPTON WAY

FOR

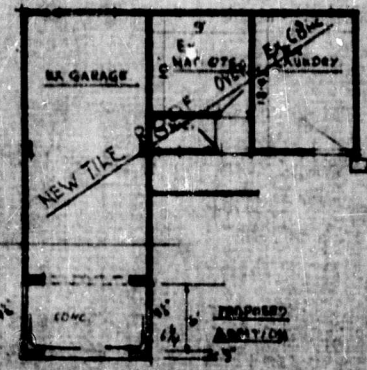
F.J.Y. STEVENS, Esq

SCALE 8" = 1'



INTERNATIONAL CENTRAL  
REFERENCE No. \_\_\_\_\_  
CHECKED BY *[Signature]*  
PLANS APPROVED SUBJECT TO:

SEALING INSPECTION  
DATE APPROVED 31-1-64  
DRAWN BY *[Signature]*



NEW ROOF  
SECTION 864 of 15 of V.C.

ROEHAMPTON WAY

Approved 30/6/64  
GURMAN NORTH ESTATES LTD  
*[Signature]*

BALEWINE CREES

DRAWN BY P.M. SWEETMAN, PHONE 935149