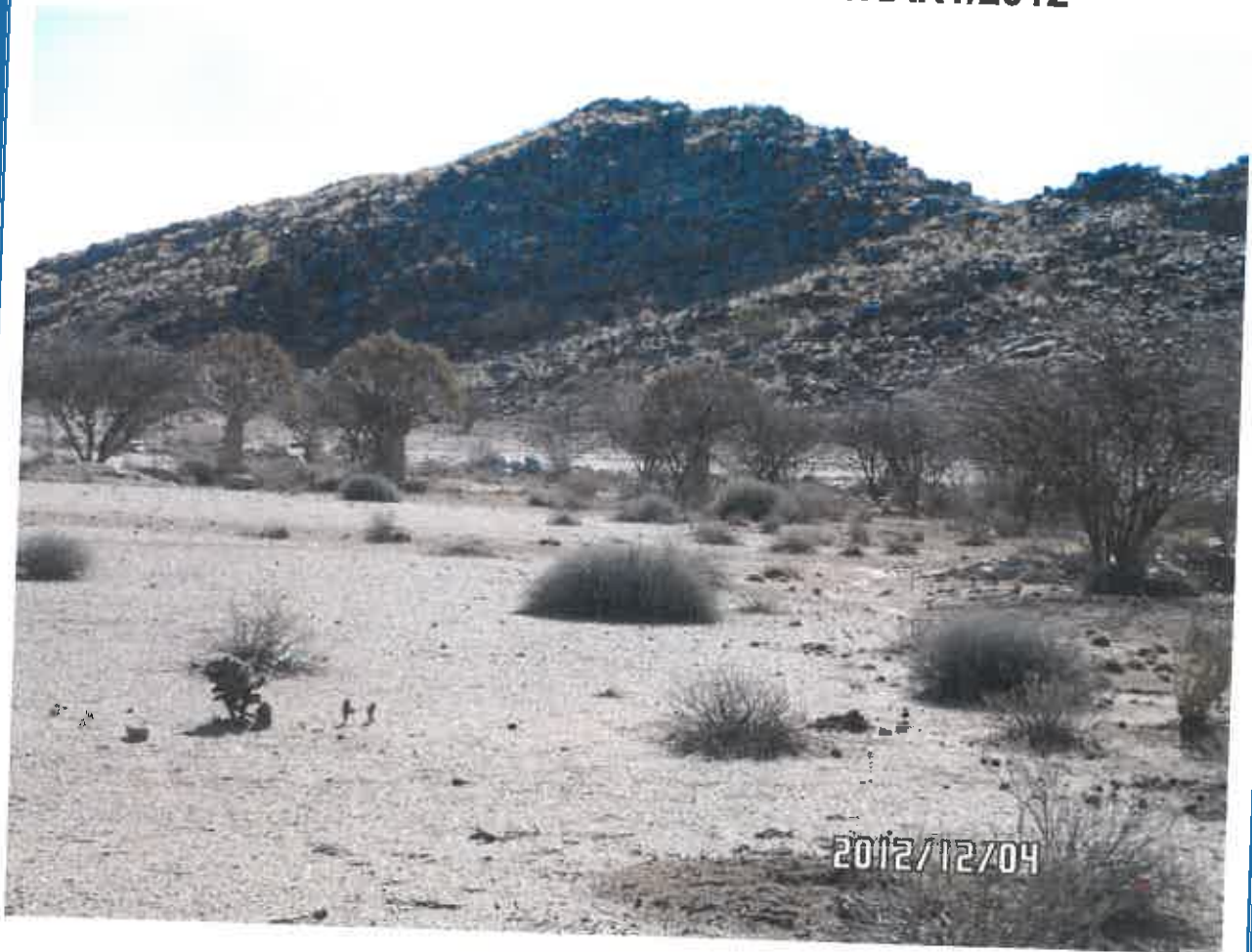


**PROPOSED LOW COST HOUSING DEVELOPMENT,
ERF 1928, KAKAMAS,
NORTHERN CAPE**

DE&NC Ref No.: NC/EIA/SIY/KAI//KAK1/2012



DRAFT BASIC ASSESSMENT REPORT

May 2013

**PROPOSED LOW COST HOUSING
DEVELOPMENT, on Erf 1928, Kakamas
(Northern Cape)**

DE&NC Ref No.: NC/EIA/SIY/KAI!/KAK1/2012

PREPARED FOR:

Kai! Garib Municipality

Private Bag X6

Kakamas

8870

Tel: 054 461 6700

PREPARED BY:

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P.O. Box 5367

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EXECUTIVE SUMMARY

Introduction

It is proposed that erf 1225, 1928 and portion of erf 431, Kakamas be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven for residential purposes), including associated infrastructure.

It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Currently Erf 1225 (2.6521ha) is zoned Authority zone I, Erf 1928 (4628m²) is zoned Open Space I and Portion of erf 431 (13.4185ha) is Undetermined.

The site is located off the R359, and is located south of Kakamas. The site coordinates are as follows: S 28° 47' 47.72", E 20° 37' 55.87".

Environmental Requirements

The National Environmental Management Act (NEMA, Act 107 of 1998), as amended, makes provision for the identification and assessment of activities that are potentially detrimental to the environment and which require authorisation from the competent authority based on the findings of an Environmental Assessment. NEMA is a national act, which is enforced by the Department of Environmental Affairs (DEA). In the Northern Cape, these powers are delegated to the Department of Environmental & Nature Conservation (DE&NC). According to the regulations of Section 24(5) of NEMA, authorisation is required for the following:

Government Notice R544 listed activities (Listing Notice 1):

11: The construction of:

- (i) Canals;
- (ii) Channels;
- (iii) Bridges;
- (iv) Dams;
- (v) Weirs;
- (vi) Bulk storm water outlet structures;
- (vii) Marinas;
- (viii) Jetties exceeding 50 square meters in size;
- (ix) Slipways exceeding 50 square meters in size;
- (x) Buildings exceeding 50 square meters in size; or**
- (xi) Infrastructure or structures covering 50 square meters or more;**

Where such construction occurs within a watercourse or within 32 meters of a watercourse, measured from the edge of a watercourse, excluding where such construction will occur behind the development setback line.

18: The infilling or depositing of any material of more the 5 cubic meters into, or the dredging, excavation, removal or moving of soil, sand, shells, shell grit, pebbles or rock from

- (i) a watercourse;**
- (ii) the sea;
- (iii) the seashore;

the littoral active zone, an estuary or a distance of 100 meters inland of the high-water mark of the sea or an estuary, whichever distance is greater

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- 22:** The construction of a road, outside urban areas,
- (i) With a reserve wider than 13,5 meters or,
 - (ii) Where no reserve exists where the road is wider than 8 meters, or
 - (iii) For which an environmental authorization was obtained for the route determination in terms of activity 5 in Government Notice 387 of 2006 or activity 18 in Notice 545 of 2010.
- 24:** The transformation of land bigger than 1000 square meters in size, to residential, retail, commercial, industrial or institutional use, where, at the time of the coming into effect of this Schedule such land was zoned open space, conservation or had an equivalent zoning.

Government Notice R545 listed activities (Listing Notice 2):

- 15:** Physical alteration of undeveloped, vacant or derelict land for residential, retail, commercial, recreational, industrial or institutional use where the total area to be transformed is 20 hectares or more:

Government Notice R546 listed activities (Listing Notice 3):

- 14:** The clearance of an area of 5 hectares or more of vegetation where 75% or more of the vegetative cover constitutes indigenous vegetation,

In the Northern Cape:

- All areas outside urban areas.

Please note that although this Application includes activities listed under Listing Notice 2, an application to switch from a Scoping and Environmental Impact Reporting process to a basic assessment process has been submitted to the Department of Environment and Nature Conservation (Northern Cape), and was accepted on 16 April 2013.

Site Description

The entire site has been dramatically transformed over the last two or three years. Erven (informal) have been laid out, plots have been fenced off, informal houses have already been constructed, and access roads built. There are no services in place yet. Dumping of domestic refuse and rubble is widespread. Pedestrian traffic is extensive and there are numerous small footpaths and tracks that intersect the site. There is a small quartz-covered kopje overlooking the site on the southern boundary.

Approximately 80% of the site is already settled by informal housing, and is also used for communal grazing, with relatively formal livestock (pigs, sheep and goats) pens located on a portion of the property. The proposed development will be located on approximately 40 ha of the Erf, adjacent to the southernmost part of Kakamas. Natural vegetation only remains on small portions of the property and in most instances have already been transformed or removed. A number of small watercourses and drainage lines criss-cross the Erf.

Need and Desirability

According to the Town Planning Motivational report (**Appendix D1**), due to the growth in the agricultural sector, in particular export grapes and raisins in the area, there has been significant economic growth

These mentioned aspects have not only had an economic impact, but has also contributed to population increases in the municipality, be it from immigration or natural growth. There is therefore a need for housing opportunities in the Kakamas area.

According to the Business Plan (**Appendix D2**), due to major flooding in 2011, many people were left homeless. Subsistence farmers, who produced agricultural crops in these areas, also lost their harvest.

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Some of these disaster-struck people moved to higher areas, but are still without any services such as water, sanitation or electricity. These living conditions form the root cause of other problems such as malnutrition, diseases due to pollution, limited access to educational and medical facilities.

During flood conditions, the road infrastructure also becomes inaccessible, making it difficult for workers to travel to their work place and back. Not only does this have a negative effect on the main income of the worker, but it also has a ripple effect on the production sector, whether it be the local or export market.

Due to this, the municipality has indicated that there is a pressing need for houses, especially low cost housing, as well as serviced plots, within the Kai !Garib Municipal Area. The proposed development will allow for the development of 751 formalised residential erven, to not only accommodate those affected by the flood, but also to meet some of the housing backlog.

This project will form part of the Kai !Garib Municipality's flood disaster rescue program, and will be executed according to the 2007-2012 Integrated Development Plan's Housing/Town Planning and Land Use Management Development Strategies as well as the Housing/Town Planning & Land Use Management IDP projects.

Conclusion

The activity will provide much needed additional housing opportunities, which is a local, provincial and national need, to accommodate those affected by flooding of the Orange River, and to meet the housing back log in the municipality.

The activity will provide much needed additional housing opportunities as well as providing job opportunities during the construction phase of the development.

Only one broad vegetation type is expected in the proposed area and its immediate vicinity, namely Bushmanland Arid Grassland. This vegetation type was classified as "Least Threatened". According to the Biodiversity Assessment (**Appendix D3**), very little natural veld remains on the property and the property had been used by subsistence farmers over a long period of time. As a result almost the entire property is already transformed as a result of grazing practices and other human and associated activities. Only to the northwest of the site small areas with a slight resemblance to natural veld remains on some of the higher "koppies" and along some of the drainage lines.

According to Heritage Impact Assessment (**Appendix D4**), no archaeological heritage was encountered during the study, there are no visible graves on the proposed development site and there are no old buildings, structures or features, old equipment, public memorials or monuments in the footprint area. The results of the study indicate that the proposed development of low cost housing in Kakamas will not have any impact on the archaeological heritage.

Considering all the information, it is not envisaged that this proposed development will have a significant negative impact on the environment, and the socio-economic benefits are expected to outweigh any negative impacts.

It is therefore recommended that this application be authorised with the necessary conditions of approval as described throughout this BAR.

Northern Cape Province
DEPARTMENT OF
ENVIRONMENT & NATURE
CONSERVATION



Porofensi Ya Kapa Bokone
LEFAPHA LA TIKOLOGO LE
TSHOMARELO YA TLHAGO

BASIC ASSESSMENT REPORT

PROPOSED LOW COST HOUSING DEVELOPMENT, KAKAMAS NORTHERN CAPE

Project applicant:	Kai !Garib Municipality		
Business reg. no./ID. no.:	N/A		
Contact person:	Patrick Wells		
Postal address:	Private Bag X6, Kakamas, 8870		
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Prepared by:

Environmental Assessment Practitioner/Firm:	EnviroAfrica CC		
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E-mail:	Clinton@enviroafrica.co.za	Fax:	086 512 0154

(For official use only)

File Reference Number:

Application Number:

Date Received:

BASIC ASSESSMENT REPORT

Basic Assessment Report in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended, and the Environmental Impact Assessment Regulations, 2010.

Kindly note that:

1. This **basic assessment report** is a standard report that may be required by a competent authority in terms of the EIA Regulations, 2010 and is meant to streamline applications. Please make sure that it is the report used by the particular competent authority for the activity that is being applied for.
2. The report must be typed within the spaces provided in the form. The size of the spaces provided are not necessarily indicative of the amount of information to be provided. The report is in the form of a table that can extend itself as each space is filled with typing.
3. Where applicable **tick** the boxes that are applicable or **black out** the boxes that are not applicable in the report.
4. An incomplete report may be returned to the applicant for revision.
5. The use of "not applicable" in the report must be done with circumspection because if it is used in respect of material information that is required by the competent authority for assessing the application, it may result in the rejection of the application as provided for in the regulations.
6. This report must be handed in at offices of the relevant competent authority as determined by each authority.
7. No faxed or e-mailed reports will be accepted.
8. The report must be compiled by an independent environmental assessment practitioner.
9. Unless protected by law, all information in the report will become public information on receipt by the competent authority. Any interested and affected party should be provided with the information contained in this report on request, during any stage of the application process.
10. A competent authority may require that for specified types of activities in defined situations only parts of this report need to be completed.

SECTION A: ACTIVITY INFORMATION

Has a specialist been consulted to assist with the completion of this section?
If YES, please complete form XX for each specialist thus appointed:
Any specialist reports must be contained in Appendix D.

YES

1. ACTIVITY DESCRIPTION

Describe the activity, which is being applied for, in detail:

The National Environmental Management Act (NEMA, Act 107 of 1998), as amended, makes provision for the identification and assessment of activities that are potentially detrimental to the environment and which require authorisation from the competent authority based on the findings of an Environmental Assessment. NEMA is a national act, which is enforced by the Department of Environmental Affairs (DEA). In the Northern Cape, these powers are delegated to the Department of Environmental & Nature Conservation (DE&NC). According to the regulations of Section 24(5) of NEMA, authorisation is required for the following:

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- (i) **a watercourse;**
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the littoral active zone, an estuary or a distance of 100 meters inland of the high-water mark of the sea or an estuary, whichever distance is greater

22: The construction of a road, outside urban areas,

- (i) With a reserve wider than 13,5 meters or,
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It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Currently Erf 1225 (2.6521ha) is zoned Authority zone I, Erf 1928 (4628m²) is zoned Open Space I and Portion of erf 431 (13.4185ha) is Undetermined.

The site is located off the R359, and is located south of Kakamas. The site coordinates are as follows: S 28° 47' 47.72", E 20° 37' 55.87".



Figure 1: Aerial view of the site. The proposed site is indicated by the red polygon.



Figure 2: Aerial view of the site. The proposed site is indicated by the red polygon.

The proposed development will be over 44.8ha and 708 new development stands are proposed, 694 of which are single residential erven, in response to the growing housing need in the municipality and to accommodate those affected by flooding along the Orange River.

BASIC ASSESSMENT REPORT

The associated infrastructure is as follows:

- **Water**

The provision of the bulk water infrastructure to the proposed development will be the responsibility of the Kai !Garib Municipality.

- **Road network**

The proposed development will link into Sonneblom Street and Pionier Street. To the south, the development will easily be accessed from Binne Street and via the R359. An extensive new internal road network will be planned to provide access to individual erven.

- **Sewerage**

The Kakamas area already has existing sewerage system provided by the Kai!Garib Municipality. The municipality will be responsible for the provision of the bulk infrastructure to link the new development with the existing system

- **Stormwater**

Adjacent to the site is a storm water canal which will handle all the external major run-off water. Storm water therefore doesn't pose a threat. Local storm water will be accommodated with the streets and open spaces of the development.

- **Electricity**

The provision of electricity to the proposed development will be the responsibility of the municipality. The existing electrical distribution will be expanded to accommodate the new development, and will be the responsibility of the municipality

The proposed development includes the following land uses:

- **Residential Zone I**

The primary use will be for dwelling houses (detached building containing only one dwelling unit). Six hundred and ninety four (694) land units created will be given this zoning with the objective being residential opportunity in Kakamas. This zoning will cover 26.2ha of the study area with each unit having an average size of 350m². This will constitute 58.4% of the total development.

- **Institutional Zone I**

The primary use will be a place of instruction (a crèche, pre-primary school, primary school, high school, college, technikon, university, research centre, convent, public library, public art gallery, or museum or some other centre which is utilised for instruction purposes and includes a hostel appertaining thereto, but does not include a building or land unit which is mainly used as certified reformatory or industrial school or as an institution). One unit of this zoning will be provided for within the proposed development.

- **Institutional Zone II**

The primary use is a House of Worship (a church, synagogue, mosque, temple, chapel or any other place for practising religion and includes any building in connection therewith, but does not include a funeral parlour with related chapel. Three (3) units of this zoning (churches) will be provided for within the proposed development with an average size of 5980m² per erf. The total area will be 1.8ha, representing 4% of the total development.

- **Open Space Zone I**

The primary use is Public open space (land which is under or will be under the ownership of the local authority, which is not leased nor will be leased on a long-term basis, and which is utilised

BASIC ASSESSMENT REPORT

or will be utilised as an open space or a park, garden, picnic area, playground or square and includes a public space. Nine (9) unit of this zoning (parks) will be provided for within the proposed development with an average size of 5799m² per erf. The total area will be 5.2ha, representing 11.7% of the total development.

- Transport Zone II

Primary use will be Public Road (any road or street for public use or any land intended for such purposes). One (1) unit of this zoning will be provided for within the proposed development, constituting the internal road network of the proposed development. The unit will be 3.1ha in size, representing 37% of the total development. The internal road network of the proposed development may be seen in the Detail Layout.

Please refer to **Appendix A1** for the Site Development Plans.

2. FEASIBLE AND REASONABLE ALTERNATIVES

“alternatives”, in relation to a proposed activity, means different means of meeting the general purpose and requirements of the activity, which may include alternatives to—

- (a) the property on which or location where it is proposed to undertake the activity;
- (b) the type of activity to be undertaken;
- (c) the design or layout of the activity;
- (d) the technology to be used in the activity;
- (e) the operational aspects of the activity; and
- (f) the option of not implementing the activity.

Describe alternatives that are considered in this application. Alternatives should include a consideration of all possible means by which the purpose and need of the proposed activity could be accomplished in the specific instance taking account of the interest of the applicant in the activity. The no-go alternative must in all cases be included in the assessment phase as the baseline against which the impacts of the other alternatives are assessed. The determination of whether site or activity (including different processes etc.) or both is appropriate needs to be informed by the specific circumstances of the activity and its environment. After receipt of this report the competent authority may also request the applicant to assess additional alternatives that could possibly accomplish the purpose and need of the proposed activity if it is clear that realistic alternatives have not been considered to a reasonable extent.

Paragraphs 3 – 13 below should be completed for each alternative. Please note that the only feasible and reasonable alternative that has been identified and assessed is a design/layout alternative. The proposed development layout of the preferred and alternative layout will generally be over the same site, and will therefore have similar impacts (unless otherwise specified).

No other site alternatives were considered feasible, due to the hills and ridges to the west of the site, existing agricultural land to the east and north of Kakamas. The site was the only site deemed feasible, as it will integrate into the existing town and into the existing infrastructure.

The Paragraphs 3 - 13 will therefore be the same for each of the layout alternatives described below (unless otherwise specified).

Layout alternatives:

- Alternative 1 (preferred layout alternative) (Appendix A1)

The proposed development will be over 44.8ha and 708 new development stands are proposed, 694 of which are single residential erven. An Institutional Zone I, three Institutional Zones II, one Transport Zone II (roads) and nine Public Open Space zones are included.

The layout has taken the existing informal housing into consideration, as well as the topography and existing informal roads into account.

- Alternative 2 (layout alternative) (Appendix A2)

The proposed development will be over 44.8ha and 779 new development stands are proposed, 768 of which are single residential erven. This also includes four Institutional Zones II (churches), two stands for Transport Zone (roads) and five for Public Open Space.

This layout does offer more residential opportunities, however, no allowance has been made for Institutional Zone I (schools) which is considered as a vital component to the development when considering the need for schools in the area.

This layout was also not preferred as there was insufficient allocation of Public open Space.

- Alternative 3 (layout alternative) (Appendix A3)

The proposed development will be over 44.8ha and 764 new development stands are proposed, 751 of which are single residential erven. This also includes three Institutional Zones II (churches), two stands for Transport Zone (roads) and eight for Public Open Space.

This layout also offers more residential opportunities, has more allocation of Public open Space compared to Alternative 2. However, once again, no allowance has been made for Institutional Zone I (schools) which is considered as a vital component to the development when considering the need for schools in the area.

Alternative 1 is the preferred layout as it not only provides 694 residential opportunities, Places of Worship, Public Open Space and roads, it also provides a site for a school/crèche. Therefore this application meets the basic principles as set out in Chapter 1 of the Northern Cape, Act on Development and Planning, and the Development Facilitation Act (Act 67 of 1995), namely

- This application promotes the integration of social, economic, institutional and physical aspects of land development
- With the application the availability of residential and employment opportunities close or integrated is promoted
- this application will utilize the existing resources within the area better in terms of bulk infrastructure, roads and transport and thereby optimize social facilities
- this application promotes a diverse combination of land uses on an individual level
- this application discourages the phenomenon of urban sprawl and contribute to the development of more compact towns
- the application to optimize and guide the use of existing infrastructure and the needs.

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3. ACTIVITY POSITION

Indicate the position of the activity using the latitude and longitude of the centre point of the site for each alternative site. The co-ordinates should be in degrees and decimal minutes. The minutes should have at least three decimals to ensure adequate accuracy. The projection that must be used in all cases is the WGS84 spheroid in a national or local projection.

List alternative sites if applicable. *N/A*

Alternative:

Alternative S1¹ (preferred or only site alternative)

Alternative S2 (if any)

Alternative S3 (if any)

In the case of linear activities:

Alternative:

Alternative S1 (preferred or only route alternative)

- Starting point of the activity
- Middle point of the activity
- End point of the activity

Alternative S2 (if any)

- Starting point of the activity
- Middle point of the activity
- End point of the activity

Alternative S3 (if any)

- Starting point of the activity
- Middle point of the activity
- End point of the activity

Latitude (S):

Longitude (E):

28°	47.794'	20°	37.939'
°	'	°	'
°	'	°	'

Latitude (S):

Longitude (E):

°	'	°	'
°	'	°	'
°	'	°	'

°	'	°	'
°	'	°	'
°	'	°	'

°	'	°	'
°	'	°	'
°	'	°	'

For route alternatives that are longer than 500m, please provide an addendum with co-ordinates taken every 250 meters along the route for each alternative alignment.

4. PHYSICAL SIZE OF THE ACTIVITY

Indicate the physical size of the preferred activity/technology as well as alternative activities/technologies (footprints):

Alternative:

Alternative A1² (preferred activity alternative)

Alternative A2 (if any)

Alternative A3 (if any)

or, for linear activities:

Alternative:

Alternative A1 (preferred activity alternative)

Alternative A2 (if any)

Alternative A3 (if any)

Size of the activity:

448000m² (44.8ha)

m²

Length of the activity:

m

Indicate the size of the alternative sites or servitudes (within which the above footprints will occur):

Alternative:

Alternative A1 (preferred activity alternative)

Alternative A2 (if any)

Alternative A3 (if any)

Size of the site/servitude:

m²

m²

m²

5. SITE ACCESS

Does ready access to the site exist?

If NO, what is the distance over which a new access road will be built

YES	<input type="checkbox"/>
	<input type="checkbox"/>

Describe the type of access road planned:

The site will have direct access from Sonneblom Street, Pionier Street, Binne Street and the R359.

Include the position of the access road on the site plan and required map, as well as an indication of the road in relation to the site.

¹ "Alternative S.." refer to site alternatives.

² "Alternative A.." refer to activity, process, technology or other alternatives.

BASIC ASSESSMENT REPORT

6. SITE OR ROUTE PLAN

A detailed site or route plan(s) must be prepared for each alternative site or alternative activity. It must be attached as Appendix A to this document.

The site or route plans must indicate the following:

- 6.1 the scale of the plan which must be at least a scale of 1:500;
- 6.2 the property boundaries and numbers of all the properties within 50 metres of the site;
- 6.3 the current land use as well as the land use zoning of each of the properties adjoining the site or sites;
- 6.4 the exact position of each element of the application as well as any other structures on the site;
- 6.5 the position of services, including electricity supply cables (indicate above or underground), water supply pipelines, boreholes, street lights, sewage pipelines, storm water infrastructure and telecommunication infrastructure;
- 6.6 all trees and shrubs taller than 1.8 metres;
- 6.7 walls and fencing including details of the height and construction material;
- 6.8 servitudes indicating the purpose of the servitude;
- 6.9 sensitive environmental elements within 100 metres of the site or sites including (but not limited thereto):
 - rivers;
 - the 1:100 year flood line (where available or where it is required by DWA);
 - ridges;
 - cultural and historical features;
 - areas with indigenous vegetation (even if it is degraded or invested with alien species);
- 6.9 for gentle slopes the 1 metre contour intervals must be indicated on the plan and whenever the slope of the site exceeds 1:10, the 500mm contours must be indicated on the plan; and
- 6.10 the positions from where photographs of the site were taken.

7. SITE PHOTOGRAPHS

Colour photographs from the centre of the site must be taken in at least the eight major compass directions with a description of each photograph. Photographs must be attached under Appendix B to this form. It must be supplemented with additional photographs of relevant features on the site, if applicable.

8. FACILITY ILLUSTRATION

A detailed illustration of the activity must be provided at a scale of 1:200 as Appendix C for activities that include structures. The illustrations must be to scale and must represent a realistic image of the planned activity. The illustration must give a representative view of the activity.

9. ACTIVITY MOTIVATION

9(a) Socio-economic value of the activity

What is the expected capital value of the activity on completion?

What is the expected yearly income that will be generated by or as a result of the activity?

Will the activity contribute to service infrastructure?

Is the activity a public amenity?

How many new employment opportunities will be created in the development phase of the activity?

What is the expected value of the employment opportunities during the development phase?

What percentage of this will accrue to previously disadvantaged individuals?

How many permanent new employment opportunities will be created during the operational phase of the activity?

What is the expected current value of the employment opportunities during the first 10 years?

What percentage of this will accrue to previously disadvantaged individuals?

Approximately million	R60
Unknown at this stage	
YES	
YES	
± 150	
Unknown at this stage	
N/A	
The residential development will not create any direct employment opportunities. It might create in-direct employment opportunities e.g maintenance to houses, gardeners, domestic workers etc.	
N/A	
N/A	

BASIC ASSESSMENT REPORT

9(b) Need and desirability of the activity

Motivate and explain the need and desirability of the activity (including demand for the activity):

According to the Town Planning Motivational report (**Appendix D1**), due to the growth in the agricultural sector, in particular export grapes and raisins in the area, there has been significant economic growth

These mentioned aspects have not only had an economic impact, but has also contributed to population increases in the municipality, be it from immigration or natural growth. There is therefore a need for housing opportunities in the Kakamas area.

According to the Business Plan (**Appendix D2**), due to major flooding in 2011, many people were left homeless. Subsistence farmers, who produced agricultural crops in these areas, also lost their harvest.

Some of these disaster-struck people moved to higher areas, but are still without any services such as water, sanitation or electricity. These living conditions form the root cause of other problems such as malnutrition, diseases due to pollution, limited access to educational and medical facilities.

During flood conditions, the road infrastructure also becomes inaccessible, making it difficult for workers to travel to their work place and back. Not only does this have a negative effect on the main income of the worker, but it also has a ripple effect on the production sector, whether it be the local or export market.

Due to this, the municipality has indicated that there is a pressing need for houses, especially low cost housing, as well as serviced plots, within the Kai !Garib Municipal Area. The proposed development will allow for the development of 751 formalised residential erven, to not only accommodate those affected by the flood, but also to meet some of the housing backlog.

This project will form part of the Kai !Garib Municipality's flood disaster rescue program, and will be executed according to the 2007-2012 Integrated Development Plan's Housing/Town Planning and Land Use Management Development Strategies as well as the Housing/Town Planning & Land Use Management IDP projects.

Indicate any benefits that the activity will have for society in general:

The activity will provide much needed additional housing opportunities, which is a local, provincial and national need, to accommodate those affected by flooding of the Orange River, and to meet the housing back log in the municipality

Indicate any benefits that the activity will have for the local communities where the activity will be located:

The activity will provide much needed additional housing opportunities as well as providing job opportunities (approximately 300 jobs, 80% of which will be to previously disadvantaged individuals) during the construction phase of the development.

BASIC ASSESSMENT REPORT

DESIRABILITY:			
1.	Does the proposed land use / development fit the surrounding area?	YES	
2.	Does the proposed land use / development conform to the relevant structure plans, SDF and planning visions for the area?	YES	NO
3.	Will the benefits of the proposed land use / development outweigh the negative impacts of it?	YES	
4.	<p>If the answer to any of the questions 1-3 was NO, please provide further motivation / explanation:</p> <p>According to the Town Planning motivational report (Appendix D1), This application meets the basic principles as set out in Chapter 1 of the Northern Cape, Act on Development and Planning, and the Development Facilitation Act (Act 67 of 1995), namely</p> <ul style="list-style-type: none"> - This application promotes the integration of social, economic, institutional and physical aspects of land development - With the application the availability of residential and employment opportunities close or integrated is promoted - this application will utilize the existing resources within the area better in terms of bulk infrastructure, roads and transport and thereby optimize social facilities - this application promotes a diverse combination of land uses on an individual level - this application discourages the phenomenon of urban sprawl and contribute to the development of more compact towns - the application to optimize and guide the use of existing infrastructure and the needs 		
5.	Will the proposed land use / development impact on the sense of place?		NO
6.	Will the proposed land use / development set a precedent?	YES	
7.	Will any person's rights be affected by the proposed land use / development? <i>See below</i>	YES	NO
8.	Will the proposed land use / development compromise the "urban edge"?	YES	
9.	<p>If the answer to any of the question 5-8 was YES, please provide further motivation / explanation.</p> <p>Development and expansion of the town is inevitable as the population grows and the need for housing increases. However, the developers have been carefully as to where expansion of the town occurs, with emphasis on the existing town and infrastructure and consolidation of the town and its resources/services, as well as the environmental aspects, and thus can be seen as setting a precedent for future expansion of Kakamas.</p> <p>No person's rights are expected to be negatively affected by the proposed development. The activity is expected to have a general positive impact on the residents of the Kakamas area.</p> <p>The proposed development will lead to the extension of the Urban edge. However, this is considered necessary as there is very little to no opportunities for "infill".</p>		

BASIC ASSESSMENT REPORT

BENEFITS:		
1.	Will the land use / development have any benefits for society in general?	YES <input type="checkbox"/>
2.	Explain: The activity will provide much needed additional housing opportunities, which is a local, provincial and national need and by providing job opportunities during the construction phase of the development.	
3.	Will the land use / development have any benefits for the local communities where it will be located?	YES <input type="checkbox"/>
4.	Explain: The activity will provide much needed additional housing opportunities and by providing job opportunities during the construction phase of the development.	

10. APPLICABLE LEGISLATION, POLICIES AND/OR GUIDELINES

List all legislation, policies and/or guidelines of any sphere of government that are applicable to the application as contemplated in the EIA regulations, if applicable:

Title of legislation, policy or guideline:	Administering authority:	Date:
The National Heritage Resources Act, 1999 (Act 25 of 1999)	SAHRA – Northern Cape	
Northern Cape Planning and Development Act (Act 7 of 1998); - rezoning and subdivision	Local Municipality	Not yet

11. WASTE, EFFLUENT, EMISSION AND NOISE MANAGEMENT

11(a) Solid waste management

Will the activity produce solid construction waste during the construction/initiation phase?
If yes, what estimated quantity will be produced per month?

YES <input type="checkbox"/>
Unknown at this stage

How will the construction solid waste be disposed of (describe)?

Solid waste will be disposed of in the municipal waste stream.

Where will the construction solid waste be disposed of (describe)?

General waste will be consolidated on site and removed to the nearest registered landfill site as often as required.

Will the activity produce solid waste during its operational phase?

If yes, what estimated quantity will be produced per month?

YES <input type="checkbox"/>

How will the solid waste be disposed of (describe)?

Solid waste removal will be disposed of in the municipal waste stream.

Where will the solid waste be disposed if it does not feed into a municipal waste stream (describe)?

N/A

If the solid waste (construction or operational phases) will not be disposed of in a registered landfill site or be taken up in a municipal waste stream, then the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

Can any part of the solid waste be classified as hazardous in terms of the relevant legislation?

NO <input type="checkbox"/>

If yes, inform the competent authority and request a change to an application for scoping and EIA.

Is the activity that is being applied for a solid waste handling or treatment facility?

NO <input type="checkbox"/>

BASIC ASSESSMENT REPORT

If yes, then the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

11(b) Liquid effluent

Will the activity produce effluent, other than normal sewage, that will be disposed of in a municipal sewage system?

YES	<input type="checkbox"/>
-----	--------------------------

If yes, what estimated quantity will be produced per month?

Approximately
15.5m³ per
household per
month

Will the activity produce any effluent that will be treated and/or disposed of on site?

NO	<input type="checkbox"/>
----	--------------------------

If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

Will the activity produce effluent that will be treated and/or disposed of at another facility?

NO	<input type="checkbox"/>
----	--------------------------

If yes, provide the particulars of the facility:

Facility name:			
Contact person:			
Postal address:			
Postal code:			
Telephone:		Cell:	
E-mail:		Fax:	

Describe the measures that will be taken to ensure the optimal reuse or recycling of waste water, if any:

N/A

11(c) Emissions into the atmosphere

Will the activity release emissions into the atmosphere?

NO	<input type="checkbox"/>
YES	<input type="checkbox"/>

If yes, is it controlled by any legislation of any sphere of government? N/A

If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

If no, describe the emissions in terms of type and concentration:

N/A

11(d) Generation of noise

Will the activity generate noise?

NO	<input type="checkbox"/>
YES	<input type="checkbox"/>

If yes, is it controlled by any legislation of any sphere of government? N/A

If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

If no, describe the noise in terms of type and level:

N/A

12. WATER USE

Please indicate the source(s) of water that will be used for the activity by ticking the appropriate box(es)

municipal	water-board	groundwater	river, stream, dam or lake	other	the activity will not use water
-----------	-------------	-------------	----------------------------	-------	---------------------------------

If water is to be extracted from groundwater, river, stream, dam, lake or any other natural feature, please indicate the volume that will be extracted per month: N/A

litres	
--------	--

Does the activity require a water use permit from the Department of Water Affairs?

NO	<input type="checkbox"/>
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If yes, please submit the necessary application to the Department of Water Affairs and attach proof thereof to this application if it has been submitted.

BASIC ASSESSMENT REPORT

13. ENERGY EFFICIENCY

Describe the design measures, if any, that have been taken to ensure that the activity is energy efficient:

Solar water heating will be considered for all residential houses.

Describe how alternative energy sources have been taken into account or been built into the design of the activity, if any:

N/A

SECTION B : SITE/AREA/PROPERTY DESCRIPTION

Important notes:

- For linear activities (pipelines, etc) as well as activities that cover very large sites, it may be necessary to complete this section for each part of the site that has a significantly different environment. In such cases please complete copies of Section C and indicate the area, which is covered by each copy No. on the Site Plan.

Section C Copy No. (e.g. A):

- Paragraphs 1 - 6 below must be completed for each alternative. **The Paragraphs 1 - 6 will be the same for each of the alternatives described below (unless otherwise specified) as the site is the same.**

- Has a specialist been consulted to assist with the completion of this section?

YES

If YES, please complete form XX for each specialist thus appointed:
All specialist reports must be contained in Appendix D.

1. GRADIENT OF THE SITE

Indicate the general gradient of the site.

Alternative S1:

Flat	1:50 - 1:20	1:20 - 1:15	1:15 - 1:10	1:10 - 1:7,5	1:7,5 - 1:5	Steeper than 1:5
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Alternative S2 (if any):

Flat	1:50 - 1:20	1:20 - 1:15	1:15 - 1:10	1:10 - 1:7,5	1:7,5 - 1:5	Steeper than 1:5
------	-------------	-------------	-------------	--------------	-------------	------------------

Alternative S3 (if any):

Flat	1:50 - 1:20	1:20 - 1:15	1:15 - 1:10	1:10 - 1:7,5	1:7,5 - 1:5	Steeper than 1:5
------	-------------	-------------	-------------	--------------	-------------	------------------

2. LOCATION IN LANDSCAPE

Indicate the landform(s) that best describes the site:

- 2.1 Ridgeline
- 2.2 Plateau
- 2.3 Side slope of hill/mountain
- 2.4 Closed valley
- 2.5 Open valley
- 2.6 Plain
- 2.7 Undulating plain / low hills -
- 2.8 Dune
- 2.9 Seafrent

BASIC ASSESSMENT REPORT

3. GROUNDWATER, SOIL AND GEOLOGICAL STABILITY OF THE SITE

Is the site(s) located on any of the following (tick the appropriate boxes)?

	Alternative S1:	Alternative S2 (if any):		Alternative S3 (if any):	
		YES	NO	YES	NO
Shallow water table (less than 1.5m deep)	NO			YES	NO
Dolomite, sinkhole or doline areas	NO	YES	NO	YES	NO
Seasonally wet soils (often close to water bodies)	NO	YES	NO	YES	NO
Unstable rocky slopes or steep slopes with loose soil	NO	YES	NO	YES	NO
Dispersive soils (soils that dissolve in water)	NO	YES	NO	YES	NO
Soils with high clay content (clay fraction more than 40%)	NO	YES	NO	YES	NO
Any other unstable soil or geological feature	NO	YES	NO	YES	NO
An area sensitive to erosion	NO	YES	NO	YES	NO

If you are unsure about any of the above or if you are concerned that any of the above aspects may be an issue of concern in the application, an appropriate specialist should be appointed to assist in the completion of this section. (Information in respect of the above will often be available as part of the project information or at the planning sections of local authorities. Where it exists, the 1:50 000 scale Regional Geotechnical Maps prepared by the Council for Geo Science may also be consulted).

4. GROUNDCOVER

Indicate the types of groundcover present on the site:

- 4.1 Natural veld – good condition^E
- 4.2 Natural veld – scattered aliens^E
- 4.3 Natural veld with heavy alien infestation^E
- 4.4 Veld dominated by alien species^E
- 4.5 Gardens
- 4.6 Sport field
- 4.7 Cultivated land
- 4.8 Paved surface
- 4.9 Building or other structure
- 4.10 Bare soil

According to the Archaeological Assessment (**Appendix D4**), the entire site has been dramatically transformed over the last two or three years. Erven (informal) have been laid out, plots have been fenced off, informal houses have already been constructed, and access roads built. There are no services in place yet. Dumping of domestic refuse and rubble is widespread. Pedestrian traffic is extensive and there are numerous small footpaths and tracks that intersect the site. There is a small quartz-covered kopje overlooking the site on the southern boundary,

According to the Biodiversity Assessment (**Appendix D3**), approximately 80% of the site is already settled by informal housing, and is also used for communal grazing, with relatively formal livestock (pigs, sheep and goats) pens located on a portion of the property. The proposed development will be located on approximately 40 ha of the Erf, adjacent to the southernmost part of Kakamas. Natural vegetation only remains on small portions of the property and in most instances have already been transformed or removed. A number of small watercourses and drainage lines criss-cross the Erf.

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Figure 3: General panoramic view of the site, taken from the south, looking north-east.



Figure 4: View of some of the informal housing on the site. The existing houses will be incorporated into the layout plans.



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Figure 5: View of the dirt road and drainage line running through the centre of the site. The road and drainage line have been incorporated into the layout plans.



Figure 6: General view of the undeveloped section of the site looking south.



Figure 7: View of some of the informal housing on site looking west down the dirt road running through the site.

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The location of all identified rare or endangered species or other elements should be accurately indicated on the site plan(s).

Please refer to Figure 6 of the Biodiversity Assessment (**Appendix D3**)

Natural veld — good condition ^E	Natural veld with scattered aliens ^E	Natural veld with heavy alien infestation ^E	Veld-dominated by alien species ^E	Gardens
Sport field	Cultivated land	Paved surface	Building or other structure	Bare soil

If any of the boxes marked with an ^E is ticked, please consult an appropriate specialist to assist in the completion of this section if the environmental assessment practitioner doesn't have the necessary expertise.

According to the Biodiversity Assessment (**Appendix D3**), in accordance with the 2006 Vegetation map of South Africa, Lesotho and Swaziland (Mucina & Rutherford, 2006) (see figure 3 below) only one broad vegetation type is expected in the proposed area and its immediate vicinity, namely Bushmanland Arid Grassland. This vegetation type was classified as "Least Threatened" during the 2004 National Spatial Biodiversity Assessment (NSBA). More than 99% of this vegetation still remains in its natural state, but at present only 4% is formally protected (Augrabies Falls National Park) throughout South Africa. Recently the *National list of ecosystems that are threatened and in need of protection* (GN 1002, December 2011), was promulgated in terms of the National Environmental Management Biodiversity Act (NEM: BA), Act 10 of 2004. According to this National list, **Bushmanland Arid Grassland, remains classified as Least Threatened.**

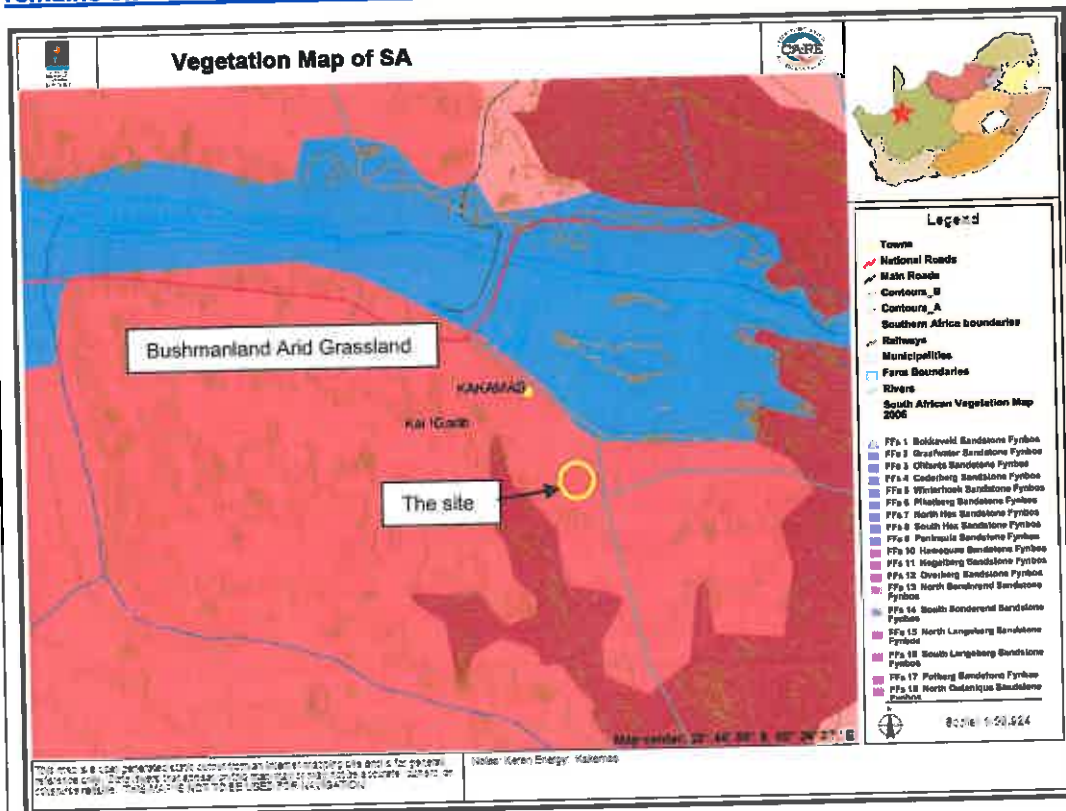


Figure 3: Vegetation map of SA, Lesotho and Swaziland (2006).

According to the Biodiversity Assessment (**Appendix D3**), very little natural veld remains on the property and the property had been used by subsistence farmers over a long period of time. As a result almost the entire property is already transformed as a result of grazing practices and other human and associated activities. Only to the northwest of the site small

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areas with a slight resemblance to natural veld remains on some of the higher "koppies" and along some of the drainage lines. Most of the species represent hardy pioneer species, with only minor occurrences of other species encountered. However, it is clear from the few species and the soils that the vegetation would have been Bushmanland Arid Grassland. Remaining natural veld was almost non-existent.

5. LAND USE CHARACTER OF SURROUNDING AREA

Indicate land uses and/or prominent features that does currently occur within a 500m radius of the site and give description of how this influences the application or may be impacted upon by the application:

- 5.1 Natural area
- 5.2 Low density residential
- 5.3 Medium density residential
- 5.4 High density residential
- 5.5 Informal residential^A
- 5.6 Retail commercial & warehousing
- 5.7 Light industrial
- 5.8 Medium industrial^{AN}
- 5.9 Heavy industrial^{AN}
- 5.10 Power station
- 5.11 Office/consulting room
- 5.12 Military or police base/station/compound
- 5.13 Spoil heap or slimes dam^A
- 5.14 Quarry, sand or borrow pit
- 5.15 Dam or reservoir
- 5.16 Hospital/medical centre
- 5.17 School
- 5.18 Tertiary education facility
- 5.19 Church
- 5.20 Old age home
- 5.21 Sewage treatment plant^A
- 5.22 Train station or shunting yard^N
- 5.23 Railway line^N
- 5.24 Major road (4 lanes or more)^N
- 5.25 Airport^N
- 5.26 Harbour
- 5.27 Sport facilities
- 5.28 Golf course
- 5.29 Polo fields
- 5.30 Filling station^N
- 5.31 Landfill or waste treatment site
- 5.32 Plantation
- 5.33 Agriculture -
- 5.34 River, stream or wetland -
- 5.35 Nature conservation area
- 5.36 Mountain, koppie or ridge
- 5.37 Museum
- 5.38 Historical building
- 5.39 Protected Area
- 5.40 Graveyard
- 5.41 Archaeological site
- 5.42 Other land uses (describe)

Please refer to Figure 1 for the aerial view of the surrounding land-uses

If any of the boxes marked with an "N" are ticked, how this impact will / be impacted upon by the proposed activity.

If YES, specify and explain:	N/A
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If any of the boxes marked with an "AN" are ticked, how will this impact / be impacted upon by the proposed activity.

If YES, specify and explain:	N/A
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BASIC ASSESSMENT REPORT

If any of the boxes marked with an "H" are ticked, how will this impact / be impacted upon by the proposed activity.

If YES, specify and explain:	N/A
------------------------------	-----

6. CULTURAL/HISTORICAL FEATURES

Are there any signs of culturally or historically significant elements, as defined in section 2 of the National Heritage Resources Act, 1999, (Act No. 25 of 1999), including Archaeological or paleontological sites, on or close (within 20m) to the site?

	Uncertain

If YES, explain:

Please see below

If uncertain, conduct a specialist investigation by a recognised specialist in the field to establish whether there is such a feature(s) present on or close to the site.

Briefly explain the findings of the specialist:

According to Heritage Impact Assessment (**Appendix D4**), a foot survey of the proposed development site was undertaken on 28 January 2013, in which the following observations were made:

- No archaeological heritage was encountered during the study.
- There are no visible graves on the proposed development site.
- There are no old buildings, structures or features, old equipment, public memorials or monuments in the footprint area.

The results of the study indicate that the proposed development of low cost housing in Kakamas will not have any impact on the archaeological heritage.

The following recommendations are made:

1. No archaeological mitigation is required.
2. Should any unmarked human burials/remains or ostrich eggshell water flask caches be uncovered during construction activities, these must immediately be reported to the archaeologist (Jonathan Kaplan 082 321 0172), or Ms Katy Smuts at the South African Heritage Resources Agency (021 462 4502). Burials, etc must not be removed or disturbed until inspected by the archaeologist.

Will any building or structure older than 60 years be affected in any way?
Is it necessary to apply for a permit in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?

		NO
	YES	

If yes, please submit or, make sure that the applicant or a specialist submits the necessary application to SAHRA or the relevant provincial heritage agency and attach proof thereof to this application if such application has been made.

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SECTION C: PUBLIC PARTICIPATION

1. ADVERTISEMENT (Please refer to Appendix E2 for proof of Advertisements and Site notices)

The person conducting a public participation process must take into account any guidelines applicable to public participation as contemplated in section 24J of the Act and must give notice to all potential interested and affected parties of the application which is subjected to public participation by—

- (a) fixing a notice board (of a size at least 60cm by 42cm; and must display the required information in lettering and in a format as may be determined by the competent authority) at a place conspicuous to the public at the boundary or on the fence of—
 - (i) the site where the activity to which the application relates is or is to be undertaken; and
 - (ii) any alternative site mentioned in the application;
- (b) giving written notice to—
 - (i) the owner or person in control of that land if the applicant is not the owner or person in control of the land;
 - (ii) the occupiers of the site where the activity is or is to be undertaken or to any alternative site where the activity is to be undertaken;
 - (iii) owners and occupiers of land adjacent to the site where the activity is or is to be undertaken or to any alternative site where the activity is to be undertaken;
 - (iv) the municipal councillor of the ward in which the site or alternative site is situated and any organisation of ratepayers that represent the community in the area;
 - (v) the municipality which has jurisdiction in the area;
 - (vi) any organ of state having jurisdiction in respect of any aspect of the activity; and
 - (vii) any other party as required by the competent authority;
- (c) placing an advertisement in—
 - (i) one local newspaper; or
 - (ii) any official Gazette that is published specifically for the purpose of providing public notice of applications or other submissions made in terms of these Regulations;
- (d) placing an advertisement in at least one provincial newspaper or national newspaper, if the activity has or may have an impact that extends beyond the boundaries of the metropolitan or local municipality in which it is or will be undertaken: Provided that this paragraph need not be complied with if an advertisement has been placed in an official Gazette referred to in subregulation 54(c)(ii); and
- (e) using reasonable alternative methods, as agreed to by the competent authority, in those instances where a person is desiring of but unable to participate in the process due to—
 - (i) illiteracy;
 - (ii) disability; or
 - (iii) any other disadvantage.

2. CONTENT OF ADVERTISEMENTS AND NOTICES

A notice board, advertisement or notices must:

- (a) indicate the details of the application which is subjected to public participation; and
- (b) state—
 - (i) that the application has been submitted to the competent authority in terms of these Regulations, as the case may be;
 - (ii) whether basic assessment or scoping procedures are being applied to the application, in the case of an application for environmental authorisation;
 - (iii) the nature and location of the activity to which the application relates;
 - (iv) where further information on the application or activity can be obtained; and
 - (v) the manner in which and the person to whom representations in respect of the application may be made.

3. PLACEMENT OF ADVERTISEMENTS AND NOTICES

Where the proposed activity may have impacts that extend beyond the municipal area where it is located, a notice must be placed in at least one provincial newspaper or national newspaper, indicating that an application will be submitted to the competent authority in terms of these regulations, the nature and location of the activity, where further information on the proposed activity can be obtained and the manner in which representations in respect of the application can be made, unless a notice has been placed in any Gazette that is published specifically for the purpose of providing notice to the public of applications made in terms of the EIA regulations.

Advertisements and notices must make provision for all alternatives.

4. DETERMINATION OF APPROPRIATE MEASURES

The practitioner must ensure that the public participation is adequate and must determine whether a public meeting or any other additional measure is appropriate or not based on the particular nature of each case. Special attention

BASIC ASSESSMENT REPORT

should be given to the involvement of local community structures such as Ward Committees, ratepayers associations and traditional authorities where appropriate. Please note that public concerns that emerge at a later stage that should have been addressed may cause the competent authority to withdraw any authorisation it may have issued if it becomes apparent that the public participation process was inadequate.

5. COMMENTS AND RESPONSE REPORT

The practitioner must record all comments and respond to each comment of the public before the application is submitted. The comments and responses must be captured in a comments and response report as prescribed in the EIA regulations and be attached to this application. The comments and response report must be attached under Appendix E.

6. AUTHORITY PARTICIPATION

Authorities are key interested and affected parties in each application and no decision on any application will be made before the relevant local authority is provided with the opportunity to give input. The planning and the environmental sections of the local authority must be informed of the application at least 30 (thirty) calendar days before the submission of the application.

List of authorities informed:

The following authorities were notified of the application.

- SAHRA Northern Cape
- Northern Cape Department of Agriculture and Land Reform
- Department of Co-operative Governance, Human Settlements and Traditional Affairs
- Department of Environment and Nature Conservation
- Department of Water Affairs – Northern Cape
- Department of Roads and Public Works
- Siyanda District Municipality
- Kai !Garib Local Municipality

Please refer to **Appendix E1** for the I&AP list and proof of notifications.

List of authorities from whom comments have been received:

No comments were received during the initial round of public participation from the authorities.

7. CONSULTATION WITH OTHER STAKEHOLDERS

Note that, for linear activities, or where deviation from the public participation requirements may be appropriate, the person conducting the public participation process may deviate from the requirements of that sub regulation to the extent and in the manner as may be agreed to by the competent authority.

Any stakeholder that has a direct interest in the site or property, such as servitude holders and service providers, should be informed of the application at least 30 (thirty) calendar days before the submission of the application and be provided with the opportunity to comment.

Has any comment been received from stakeholders?

YES

If "YES", briefly describe the feedback below (also attach copies of any correspondence to and from the stakeholders to this application):

No comments were received during the initial Public Participation round

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SECTION D: IMPACT ASSESSMENT

The assessment of impacts must adhere to the minimum requirements in the EIA Regulations, 2010, and should take applicable official guidelines into account. The issues raised by interested and affected parties should also be addressed in the assessment of impacts.

1. ISSUES RAISED BY INTERESTED AND AFFECTED PARTIES

List the main issues raised by interested and affected parties.

No issues were raised by Interested and Affected Parties thus far. All potential issues have been identified by the EAP, specialists (Biodiversity and Heritage), town planners, engineers and landowner.

Response from the practitioner to the issues raised by the interested and affected parties (A full response must be given in the Comments and Response Report that must be attached to this report):

N/A at this stage

2. IMPACTS THAT MAY RESULT FROM THE PLANNING AND DESIGN, CONSTRUCTION, OPERATIONAL, DECOMMISSIONING AND CLOSURE PHASES AS WELL AS PROPOSED MANAGEMENT OF IDENTIFIED IMPACTS AND PROPOSED MITIGATION MEASURES

List the potential direct, indirect and cumulative property/activity/design/technology/operational alternative related impacts (as appropriate) that are likely to occur as a result of the planning and design phase, construction phase, operational phase, decommissioning and closure phase, including impacts relating to the choice of site/activity/technology alternatives as well as the mitigation measures that may eliminate or reduce the potential impacts listed.

Alternative (preferred alternative)

Direct impacts:

Archaeological heritage

According to Heritage Impact Assessment (**Appendix D3**), no impacts to pre-colonial archaeological material were identified.

The receiving environment is not a sensitive or threatened archaeological landscape.

The potential impact on archaeological resources was considered to be low, and improbable.

With regard to the proposed construction of low cost housing units in Kakamas, the following recommendations are made:

1. No further archaeological mitigation is required.
2. Should any unmarked human burials/remains or ostrich eggshell water flask caches be uncovered, or exposed during construction activities, these must immediately be reported to the archaeologist (Jonathan Kaplan 082 321 0172), or Ms Katy Smuts at the South African Heritage Resources Agency (021 462 4502). Burials must not be removed or disturbed until inspected by the archaeologist.

Biodiversity

Direct loss of vegetation type and associated habitat due to construction and operational activities:

According to the Biodiversity Assessment (**Appendix D3**), the Kakamas site was relatively well chosen from a biodiversity viewpoint. The impact on the regional status of this vegetation type and associated biodiversity features (e.g. watercourses and drainage lines) would likely be only medium-low, and probable.

No significant additional species-loss, habitat-loss, connectivity or associated impact can be

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foreseen from locating the low cost housing project on the proposed site.

Even though very little impact minimisation options can be implemented in this already mostly transformed area some environmental gain can still be achieved through the correct placement and layout as well as search and rescue projects. As a result it is recommended that all mitigating measures must be implemented in order to reduce the impact of the proposed activity.

The following mitigation measures are proposed

- All construction must be done in accordance with an approved construction and operational phase Environmental Management Plan (EMP), which must be developed by a suitably experienced Environmental Assessment Practitioner.
- A suitably qualified Environmental Control Officer must be appointed to monitor the construction phase of the project in terms of the EMP and the Biodiversity study recommendations as well as any other conditions which might be required by the Department of Environmental Affairs.
- An integrated waste management system must be implemented during the construction phase.
- All rubble and rubbish (if applicable) must be collected and removed from the site to a suitable registered waste disposal site.
- All *Prosopis* species not directly associated with the cattle pens should be removed. The shade value of these trees, most probably, makes it very important to the owners of the pens.
- The *Prosopis* species at the cattle pens should be replaced over time with indigenous species (or removed if the pens are not needed any more).
- The presence of the emerging invasive cactus *Cylindropuntia fulgida* (Boxing-glove cactus) is most alarming and it is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible.
- Adequate measures must be implemented to ensure against erosion.
- Housing layout should, wherever possible aim to protect drainage lines, or ensure that it is incorporated within the storm water system.
- Only existing access roads should be used for access to the terrain.
- The internal network of service roads must be carefully planned to minimise the impact on the remaining natural streams on the site.
- As a pre-cautionary measure all viable herb-, bulbs- and succulent plant species encountered within the footprint should be removed and replanted through a dedicated search and rescue operation.
- Permits must be obtained for the removal of any protected species which cannot be avoided.
- The small koppies to the south of the property (which will be too steep for development) should be regarded as no-go areas and protected as natural features or green belts.

Conservation Priority areas

According to the draft Siyanda EMF the site also does not fall within a proposed conservation area (although situated near to a proposed conservation area).

The impact is therefore considered low, probable and localised.

- Invasive alien vegetation

A number of *Prosopis* individuals were observed, but even more alarming was the presence of the alien boxing glove cactus.

All *Prosopis* species not directly associated with the cattle pens should be removed. The *Prosopis* species at the cattle pens should be replaced over time with indigenous species (or removed if the pens are not needed any more). The shade value of these trees, most probably, makes it very important to the owners of the pens

The presence of the emerging invasive cactus *Cylindropuntia fulgida* (Boxing-glove cactus) is most alarming and it is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible.

If implemented the impact can be regarded as positive.

- Protected Plant Species

According to the Biodiversity Assessment (**Appendix D3**), only one protected plant species in terms of the NCNCA was observed.

It is considered possible that a small number of protected species may be impacted. However, the site is mostly degraded already and the only viable option would be to consider search and rescue of all significant species.

The impact is considered being medium low, and probable.

Freshwater ecosystems

According to the Biodiversity Assessment (**Appendix D3**), various non-perennial or dry watercourses and drainage lines have been observed, criss-crossing portions of the Erf. Many of these drainage lines have already been impacted to a large degree or even formalised. Only along the upper reaches of the most southern part of the property were some of the drainage lines which were less impacted or resembling a more natural state.

All river and drainage lines will eventually be impacted on the property or will be included into a formal storm water drainage system. Trying to protect the small streams not already transformed will be almost impossible. However, it is recommended that these drainage systems are recognised as important ecological features which should be protected and maintained as such and wherever possible be maintained as natural as possible with adequate buffer zones.

The impact is considered on freshwater ecosystems is therefore considered low, and probable.

Visual and noise impacts

The activity will impact on the visual character of the area. The presence of construction plant during the construction phase will have a visual impact, but this will only be during the construction phase and is expected to have a low impact.

The activity will create some noise during the construction phase of the development. Noise mitigation measures will be dealt with in the EMP. With the mitigation measures, as described in the EMP (**Appendix F**), the potential noise impacts are also expected to be negligible.

Indirect impacts:

No significant negative indirect impacts are expected

Cumulative impacts:

No significant negative cumulative impacts are expected

3. ENVIRONMENTAL IMPACT STATEMENT

Taking the assessment of potential impacts into account, please provide an environmental impact statement that summarises the impact that the proposed activity and its alternatives may have on the environment after the management and mitigation of impacts have been taken into account, with specific reference to types of impact, duration of impacts, likelihood of potential impacts actually occurring and the significance of impacts.

Alternative A (preferred alternative)

The following is a summary of the potential impacts, and their ratings, after mitigation:

Construction phase.

Potential impacts on archaeological heritage – **Negligible, highly unlikely, localised, only during construction phase.**

Loss of vegetation – **Medium Low (negative), probable, localised.**

Conservation priority areas - **Low (negative), localised.**

Protected plant species – **Medium low (negative), probable, only during construction phase.**

Freshwater ecosystems – **Low (negative), probable, localized, only during construction phase.**

Job creation – **Medium Low (Positive), definite.**

Noise impact - **Negligible, definite, only during construction phase.**

Visual impact – **Low (negative), definite, during construction**

Operational Phase

Potential impacts on archaeological heritage – **No impacts expected**

Loss of vegetation and associated habitat - **Negligible**

Impact on threatened vegetation - **Negligible**

Freshwater ecosystems – **Negligible**

Job creation – **Low (Positive), definite**

Noise impact - **Negligible**

Visual impact – **Low (negative), definite, permanent**

Decommissioning

The project as proposed does not require 'decommissioning' or 'closure', as such the potential impacts thereof is considered irrelevant.

BASIC ASSESSMENT REPORT

No-go alternative (compulsory)

According to the Biodiversity Assessment (Appendix D3), the "the "No-Go Alternative" alternative will not result in significant gain in regional conservation targets, the conservation of rare and endangered species or gain in connectivity. At the best the No-Go alternative will result in the need to develop elsewhere.

This area is already disturbed and settled to a large degree. It makes perfect sense to utilise this area, rather than disturbing further areas in order to accommodate housing projects (all of which will result in the same permanent impact). The need for providing basic services and housing remains a very urgent need in most towns in the Northern Cape.

No-Go alternative" does not signify significant biodiversity gain or loss especially on a regional basis. However, it will ensure that none of the potential impacts above occur. The current status quo will remain and there will be no impact (even temporarily) on the vegetation, protected species or river corridors.

However, the no-go alternative will also mean that no new additional housing opportunities (a national, regional and local need) will be provided. No potential job opportunities will be provided during the construction phase, nor will any further opportunities be provided during the operational phase.

The local municipality and governments have a socio-economic responsibility to provide basic living. Over the long term the proposed project is likely to be one of the viable solutions with acceptable environmental impact.

SECTION E. RECOMMENDATION OF PRACTITIONER

Is the information contained in this report and the documentation attached hereto sufficient to make a decision in respect of the activity applied for (in the view of the environmental assessment practitioner)?

YES

YES

Is an EMPr attached?

The EMPr must be attached as Appendix F.

If "NO", indicate the aspects that should be assessed further as part of a Scoping and EIA process before a decision can be made (list the aspects that require further assessment):

N/A

If "YES", please list any recommended conditions, including mitigation measures that should be considered for inclusion in any authorisation that may be granted by the competent authority in respect of the application:

The following is a list of recommended conditions and mitigation measures from a biodiversity and heritage perspective:

- All construction must be done in accordance with an approved construction and operational phase Environmental Management Plan (EMP), which must be developed by a suitably experienced Environmental Assessment Practitioner.
- A suitably qualified Environmental Control Officer must be appointed to monitor the construction phase of the project in terms of the EMP and the Biodiversity study recommendations as well as any other conditions which might be required by the Department of Environmental Affairs.
- An integrated waste management system must be implemented during the construction phase.
- All rubble and rubbish (if applicable) must be collected and removed from the site to a suitable registered waste disposal site.
- All Prosopis species not directly associated with the cattle pens should be removed. The shade value of these trees, most probably, makes it very important to the owners

BASIC ASSESSMENT REPORT

- of the pens.
- The *Prosopis* species at the cattle pens should be replaced over time with indigenous species (or removed if the pens are not needed any more).
- The presence of the emerging invasive cactus *Cylindropuntia fulgida* (Boxing-glove cactus) is most alarming and it is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible.
- Adequate measures must be implemented to ensure against erosion.
- Housing layout should, wherever possible aim to protect drainage lines, or ensure that it is incorporated within the storm water system.
- Only existing access roads should be used for access to the terrain.
- The internal network of service roads must be carefully planned to minimise the impact on the remaining natural streams on the site.
- As a pre-cautionary measure all viable herb-, bulbs- and succulent plant species encountered within the footprint should be removed and replanted through a dedicated search and rescue operation.
- Permits must be obtained for the removal of any protected species which cannot be avoided.
- The small koppies to the south of the property (which will be too steep for development) should be regarded as no-go areas and protected as natural features or green belts.
- Adequate measures must be implemented to ensure against erosion.
- No firewood should be collected on site. Adequate, safe, cooking equipment must be provided for workers at the construction site camp.
- Should any unmarked human burials/remains or ostrich eggshell water flask caches be uncovered during construction activities, these must immediately be reported to the archaeologist (Jonathan Kaplan 082 321 0172), or Ms Katy Smuts at the South African Heritage Resources Agency (021 462 4502). Burials, etc must not be removed or disturbed until inspected by the archaeologist.

SECTION F: APPENDIXES

The following appendixes must be attached as appropriate:

Appendix A: Site plan(s)

Appendix B: Photographs

Appendix C: Facility illustration(s)

Appendix D: Specialist reports

Appendix E: Comments and responses report

Appendix F: Environmental Management Programme (EMPr)

Appendix G: Other information

Appendix A

Site Layout Plans

APPENDIX A (1)

**Site Development Plan – Alternative 1
(Preferred Alternative)**

APPENDIX A (2)

Site Development Plan – Alternative 2



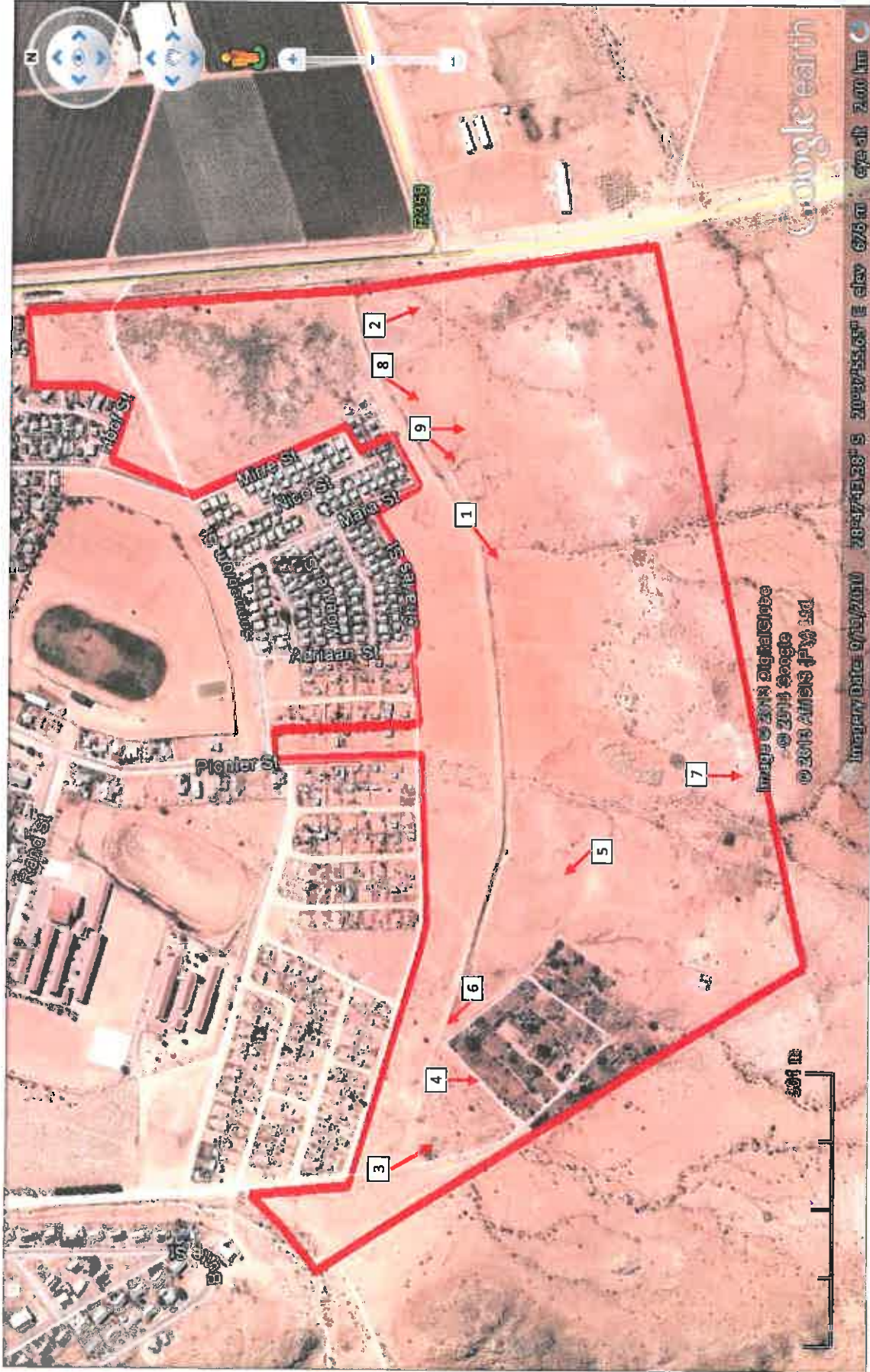
APPENDIX A (3)

Site Development Plan – Alternative 3

Appendix B

Site photographs

Site photographs



Aerial image of the site, including photograph locations and directions. Proposed site is indicated by the red polygon. Photos taken on 04 December 2012.

Photographs



Photo 1: Taken from the dirt running through the site



Photo 2: Taken from position 2, looking at the eastern boundary of the site



Photo 3: Taken from position 3, looking south east over the site



Photo 4: Taken from position 4, looking at existing kraals on site



Photo 5: Taken from position 5, looking north-west over the site.



Photo 6: Taken from position 6, looking north west.



Photo 7: Taken from position 7, looking south at boundary of site. Hills are off the site development



Photo 8: Taken from position 8, looking west along existing dirt road. Dirt road and existing houses to be formulated within the site development



Photo 9: Taken from position 9, looking south over the general site



Photo 10: Taken from position 9, looking south-west over the general site. Existing houses on site to be formulated.

Appendix C

Facility Illustration (none)

Appendix D

Specialists Reports

APPENDIX D:

- 1) Town Planning Motivational Report**
- 2) Business Plan**
- 3) Biodiversity Assessment**
- 4) Heritage Impact Assessment**

APPENDIX D (1)

Town Planning Motivational Report

KAKAMAS

(SUB-EKONOMIES)

AANSOEK OM HERSONERING EN ONDERVERDELING INGEVOLGE
DIE NOORD-KAAPSE WET OP ONTWIKKELING EN BEPLANNING
(WET 7 VAN 1998)

van

ERWE 1225 EN 1928, KAKAMAS EN 'N GEDEELTE VAN PERSEEL 431, KAKAMAS SUID
NEDERSETTING, KENHARDT RD, KAI !GARIB MUNISIPALITEIT, PROVINSIE NOORD-KAAP



Julie 2010

SAAMGESTEL DEUR:
Macroplan (Stads- en Streekbeplanners)

Postbus 987
Upington
8800

Tel: 054 332 3642
Faks: 054 332 4283
E-pos: macroplan@nwweb.co.za



KAKAMAS

(SUB-EKONOMIES)

AANSOEK OM HERSONERING EN ONDERVERDELING INGEVOLGE
DIE NOORD-KAAPSE WET OP ONTWIKKELING EN BEPLANNING
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Julie 2010

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epos@macroplanweb.co.za



G O B E T L A

INHOUDSOPGAWE
AANSOEK OM GRONDGEBRUIKVERANDERING

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KAI !GARIB MUNISIPALITEIT

Aansoek vir grondgebruikverandering kragtens die Noord-Kaapse Wet op Ontwikkeling en Beplanning, 1998 (Wet 7 van 1998)

Erfnommer:	Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting, Kenhardt RD, Kai !Garib Munisipaliteit, Provinsie Noord-Kaap
Eiendomsbeskrywing:	Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting, Kenhardt RD, Kai !Garib Munisipaliteit, Provinsie Noord-Kaap
Straatadres:	Die aansoekgebied is in die suid-oostelike dele van Kakamas geleë en sal deel wees van 'n nuwe dorpsuitbreiding.
Geregistreeerde eienaar(s):	Alle betrokke eiendomme word besit deur die Kai !Garib Munisipaliteit (sien aangehegte akte navrae).
Aansoeker:	Macroplan - Jacobus Treurnich (Id no. 870923 5131 081) - namens die bovermelde grondeienaar.

AANSOEK OM:

(Merk asseblief die toepaslike blokkie met 'n kruisie)

Die Hersonering van grond vanaf een sone na 'n ander	<input checked="" type="checkbox"/>
'n Afwyking vanaf die grondgebruikbeperkings voorgeskryf in die regulasies van 'n toepaslike soneringskema	<input type="checkbox"/>
'n Vergunningsgebruik soos bepaal in die Raad se soneringskema	<input type="checkbox"/>
Die beoefening van 'n beroep vanaf 'n woonperseel	<input type="checkbox"/>
'n Tydlike afwyking om toe te laat dat 'n gebou of grond vir 'n tydperk van hoogstens 5 jaar gebruik word vir 'n doel waarvoor daar nie 'n spesifieke sone voorsiening gemaak is nie	<input type="checkbox"/>
Die Onderverdeling van grond	<input checked="" type="checkbox"/>
Die opheffing, opskorting of wysiging van Titelaktebeperking(s)	<input type="checkbox"/>
Die opheffing, opskorting of wysiging van enige voorwaardes gestel aan 'n aansoek	<input type="checkbox"/>
Die verlenging van die 2 jaar van goedkeuring van 'n aansoek	<input type="checkbox"/>
Enige ander aansoek ingevolge die Wet of regulasies.	<input type="checkbox"/>
Gee 'n kort beskrywing van die aansoek (sonering wat verlang word, aantal erwe wat geskep word, ens):	
Die aansoek behels die uitbreiding van Kakamas se sub-ekonomiese woonbuurte en fokus dus grotendeels op die ontwikkeling van residensiële erwe, met gepaardgaande komplimentêre sonerings. Die aansoek sluit verder ook die invulling van huidiglik vakante eiendomme in, ten einde grond as 'n hulpbron beter te benut. Sien Afdeling B vir verdere detail in hierdie verband.	

Die Munisipale Bestuurder
Kai !Garib Munisipaliteit
Posbus 174
Kakamas
8870



Geagte Heer / Dame

AANSOEK VIR GRONDGEBRUIKVERANDERING KRAGTENS DIE NOORD-KAAPSE WET OP ONTWIKKELING EN BEPLANNING, 1998 (WET 7 VAN 1998)

(HIERDIE VORM MOET DEUR DIE AANSOEKER/VERTEENWOORDIGER INGEVUL WORD)
(Merk asseblief die toepaslike blokkie met 'n kruisie waar van toepassing)

1. PERSOONLIKE BESONDERHEDE VAN AANSOEKER

- | | | |
|-----|---|---|
| 1.1 | Naam van persoon/firma aan wie die korrespondensie gerig moet word: | Macropian (Jacobus Treurnich) |
| 1.2 | Adres: | Posbus 987
Upington
8800 |
| 1.3 | Telefoon nommer: | 054 332 3642 |
| 1.4 | Faks nommer : | 054 332 4283 |
| 1.5 | Sel nommer: | 082 821 1024 |

2. PERSOONLIKE BESONDERHEDE VAN DIE GEREISTREERDE EIENAAR VAN DIE GROND

- | | | |
|-----|-----------------------------------|--|
| 2.1 | Naam van geregistreeerde eienaar: | Kai !Garib Munisipaliteit |
| 2.2 | Adres: | Posbus 174
Kakamas
8870 |
| 2.3 | Telefoon nommer: | 054 431 6300 |
| 2.4 | Faks nommer : | 054 431 6301 |
| 2.5 | Sel nommer: | NVT |

Indien die aansoeker nie die geregistreeerde eienaar(s) van die grondeenheid is nie, heg 'n volmag van die geregistreeerde eienaar(s) by die aansoek aan. Dit geld ook indien die persoon wat aansoek doen, nog besig is om die grondeenheid te verkry en indien die grondeenheid deur 'n maatskappy of meer as een persoon besit word.

3. ALGEMENE INLIGTING AANGAANDE DIE GRONDEENHEID

- 3.1 Erf nommer: Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting, Kenhardt RD, Kai I Garib Munisipaliteit, Provinsie Noord-Kaap.
- 3.2 Fisiese adres van grondeenheid: Die aansoekgebied is in die suid-oostelike dele van Kakamas geleë en sal deel wees van die nuwe dorpsuitbreiding.
- 3.3 Uitbreiding nommer: NVT
- 3.4 Geregistreerde beskrywing ingevolge titelbewys(e): Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting, Kenhardt RD, Kai I Garib Munisipaliteit, Provinsie Noord-Kaap.
- 3.5 Nommer en datum van Titelbewys(e):
- Erf 1225, Kakamas: T54793/1991
 - Erf 1928, Kakamas: T91753/2005
 - Perseel 431, Kakamas Suid Nedersetting: T19498/1872
- 3.6 Oppervlakte van grondeenheid:
- Erf 1225, Kakamas: 2.6521 ha
 - Erf 1928, Kakamas: 4628 m²
 - Perseel 431, Kakamas Suid Nedersetting: 13.4185 ha
- 3.7 Wat is die huidige sonering van die grondeenheid?
- Erf 1225, Kakamas: Owerheid sone I
 - Erf 1928, Kakamas: Oopruimte sone I
 - Perseel 431, Kakamas Suid Nedersetting: Onbepaald
- 3.8 Is die grondeenheid ontwikkel (geboue, ens.)? Ja: X Nee: X
- Indien wel, wat is die aard en toestand van die ontwikkelings/verbeterings? Erwe 1225 en 1928, Kakamas is huidiglik vakant en kan maklik ontwikkel word vir residensiële doeleindes. Perseel 431, Kakamas Suid Nedersetting is ook grootliks vakant, maar daar is informele gemeenskapskrale op die eiendom geleë. Verder is daar ook gedurende beplanning 'n steenmakery op die eiendom opgerig, wat geensins opgemeet is nie. Die Raad word dus versoek om te verseker dat hierdie strukture verwyder word ten einde hierdie beplanning suksesvol te implementeer.
- 3.9 Word die huidige sonering van die grond benut? Ja: Nee: X
- Indien nie, wat is die aanwending (gebruik) van die grond? Geen van die sonerings betrokke by die aansoekgebied word benut nie. Die oopruimte op Erf 1928, Kakamas is onontwikkeld terwyl Erf 1225, Kakamas tans vakant is. Perseel 431, Kakamas Suid Nedersetting dra geen sonering nie en is grootliks vakant, buiten die strukture soos bespreek onder voorafgaande hoofde

(3.8) van Afdeling A.

3.1 Word die eiendom deur 'n verband beswaar?

Ja:

Nee: X

Indien wel, heg die verbandhouer se toestemming by die aansoek aan.

Nie Van Toepassing

3.1 Is 'n vorige aansoek om onderverdeling/hersonering/vergunnings-gebruik/afwyking van die eiendom oorweeg?

Ja: X

Nee:

Indien wel, wanneer en verstrek besonderhede, insluitend alle owerheids-verwysingsnommers en besluite:

Die erwe/persele betrokke by hierdie aansoek vorm deel van die Raad se eiendomsbates en meentgronde. Hierdie eiendomme was dus reeds in die verlede betrokke by aansoeke om dorpsstigting in die gebied, soos ook in hierdie geval. Erwe 1225 en 1928, Kakamas is egter nie deel van die dorpsmeent nie, en hul ontwikkeling kan gevolglik as invulbeplanning gesien word.

4. BESONDERHEDE VAN AANSOEK

4.1 Beskryf die voorgename ontwikkeling kortliks:

Die aansoek behels die uitbreiding van Kakamas se sub-ekonomiese woonbuurte en is dus grotendeels betrokke by die ontwikkeling van residenslele erwe, met gepaardgaande komplimentêre sonerings. Die aansoek sluit verder ook die invulling van huidiglik vakante eiendomme in, ten einde grond as 'n hulpbron beter te benut. Die aansoek maak deel uit van die 750 sub-ekonomiese erf ontwikkeling van Kakamas. Sien Afdeling B vir verdere detail in hierdie verband.

4.2 Het die voorstel betrekking op die hele grondeenheid?

Ja: X

Nee: X

Indien nie, meld die grootte van daardie gedeelte van die grondeenheid wat nie betrokke is nie, asook waarvoor dit gebruik gaan word:

Erwe 1225 en 1928, Kakamas, sal ten volle ontwikkel word vir die doeleindes van hierdie aansoek. Alhoewel Perseel 431, Kakamas Suid Nedersetting, grotendeels ontwikkel sal word, is daar egter van die noord-westelike dele wat vakant gelaat sal word.

4.3 Watter reëlins sal getref word met betrekking tot die volgende dienste vir die erf/erwe? (Volle besonderhede moet verstrek word, veral in gevalle waar dit nie moontlik is om by bestaande plaaslike owerheidsdienste aan te sluit nie).

Hierdie aansoek het betrekking op 'n uitbreiding van die dorpsgebied op aanvraag van die Plaaslike Owerheid (publieke sektor). Die lewering van enige dienste en infrastruktuur sal dus die verantwoordelikheid van die Kai I Garib Munisipaliteit wees, tensy enige ooreenkomste met ander kontrakteurs aangegaan word.

a) Watertoevoer

Die bestaande ontwikkeling rondom die aansoekgebied word reeds van hierdie diens voorsien deur die Kai I Garib Munisipaliteit. Die Plaaslike Owerheid sal verantwoordelik wees vir die uitbreiding van hierdie diens, ten einde aan alle individuele erwe in hierdie ontwikkeling se behoeftes te voorsien.

b) Dreinerings en wegdoen van stormwater

Die area waarin die aansoekgebied geleë is word gekenmerk as aried met 'n lae jaarlikse reënval. Dit is egter noodsaaklik dat daar voorsiening gemaak word vir somer reënstorms waar groot volumes presipitasie in kort intervalle aangetref word. Die ontwikkeling is gevolglik ontwerp om voorsiening te maak vir die bogrondse hantering van stormwater in die strate van die omgewing (soos algemene praktyk), vanwaar dit weggevoer kan word in lokale stormwaterslote. Sien 2.5. vir 'n uitgebreide verduideliking van hierdie aspek.

c) Wegdoen van nagvuil, vuilwater en rioolwater

Die bestaande ontwikkeling rondom die aansoekgebied word reeds van 'n spoelrioolstelsel voorsien deur die Kai IGarib Munisipaliteit. Die Plaaslike Owerheid sal dus verantwoordelik wees vir die uitbreiding van hierdie diens, ten einde die nuwe ontwikkeling te akkommodeer op 'n aanvaarbare standaard.

d) Wegdoen van vullis

Die Kai IGarib Munisipaliteit voorsien reeds hierdie diens aan die gebied wat aangrensend tot die aansoekgebied voorkom. Die munisipaliteit sal dan ook verantwoordelik wees vir die voorsiening van hierdie diens aan die nuwe ontwikkeling. Die roetes vir vullisverwydering sal dus aangepas moet word ten einde hierdie nuwe gebied in te sluit.

e) Elektrisiteit

Die Kai IGarib Munisipaliteit voorsien reeds hierdie diens in die omliggende areas en daar word verwag dat hierdie nuwe ontwikkeling ook sal inskakel by hierdie stelsel. Die Munisipaliteit sal verseker dat die voorsiening van elektrisiteit vanaf Eskom na die netwerk van die dorp voldoende is vir alle beplande uitbreidings.

5. BEPERKENDE VOORWAARDES

- 5.1 Is daar enige beperkings, soos serwitute, regte, verbande, ens. ten opsigte van die grondeenheid ingevolge die transportakte wat 'n invloed kan hê op hierdie aansoek, wat ophef moet word?

Ja:	Nee: X
-----	--------

Indien wel, vermeld volledige besonderhede:

.....

- 5.2 Is enige gedeelte van die grondeenheid in 'n vloedvlakte van 'n rivier onder die 1:50 jaarvloedlyn geleë of onderhewig aan enige oorstromings?

Ja: X	Nee:
-------	------

Indien wel, verstrek besonderhede:

Geen deel van die aansoekgebied val onder die 1:50 jaar vloedlyn van die Oranjerivier nie. Dit is egter belangrik dat daar melding gemaak word van die mensgemaakte stormwaterwal en sloot (wee na oos) wat enige stormwaterafvoer vanuit 'n suidelike rigting opvang, ooswaarts kanaliseer en sodende uit die meer noordelike woongebiede hou. Hierdie mensgemaakte konstruksie word in die uitieg deur 'n langwerpige publieke oopruimte geakkommodeer om vloedskade te vermy. Dit sal egter ook van kardinale belang wees dat die Raad op 'n gereelde basis verseker dat die sloot vry van enige rommel (sloot word tans onwettiglik deur publiek vir vullisstorting gebruik) of ander obstruksies is. Dit behoort die funksionering daarvan te optimaliseer en toekomstige vloedskade tot die minimum te beperk.

- 5.3 Is daar enige fisiese beperkings (bv. steil hellings, onstabiele grondformasies, moerasse, ens.) wat die beoogde ontwikkeling kan beïnvloed?

Ja:	Nee: X
-----	--------

Indien wel, verstrek volle besonderhede en meld hoe die probleem opgelos gaan word:

.....

.....

5.4 Is daar enige ander goedkeuring vir die implementering van die beoogde ontwikkeling nodig wat buite hierdie Wet val?

Ja: X

Nee:

Indien wel, lys die goedkeurings:

- Erf 1928, Kakamas bestaan tans as 'n publieke oopruimte en die ontwikkeling daarvan, as deel van invulbeplanning, sal dus onderhewig wees aan die proses wat gepaardgaan met die sluiting van 'n publieke oopruimte. Hierdie proses is die verantwoordelikheid van die Plaaslike Owerheid en kan parallel met hierdie aansoek se indiening geloods word. Macroplan sal die Raad bystaan by die afhandeling van gemelde aksies.
- Die aansoek se omvang het tot gevolg dat dit onderhewig sal wees aan die goedkeuring van 'n uitgebreide omgewingsimpakstudie (EIA). Die Raad word dus versoek om so 'n proses te loods ten einde aan alle wetlike verelstes te voldoen. Gemelde proses sal in die toekoms versoek word alvorens enige behuisingsprojekte goedgekeur word.
- Die aansoek is ook onderhewig aan die afhandeling van 'n Geotegniese Studie. Gemelde studie is afgehandel en behartig deur BVI Raadgewende Ingenieurs.

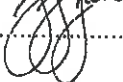
6. DIE VOLGENDE DOKUMENTE WORD INGEDIEN TER STAWING VAN DIE AANSOEK

BESONDERHEDE VAN DOKUMENT		JA	NEE	NVT
6.1	'n <i>Liggingskaart t.o.v. die dorp of streek</i>	X		
6.2	'n <i>Plaaslike liggingsplan</i> wat die perseel relatief tot die omliggende persele toon;	X		
6.3	'n Plan wat die <i>sonering</i> van die omliggende gebied toon;	X		
6.4	'n Plan wat die <i>werklike en bestaande geburke</i> wat die perseel omring, toon;	X		
6.5	'n <i>Uitlegplan</i> ;	X		
6.6	'n Afskrif van die <i>Titelakte(s) en Opmetingsdiagramme</i> van die grond;			X
6.7	'n Afskrif van enige <i>serwituutakte</i> betreffende die grond;			X
6.8	'n Afskrif van die <i>verbandhouer se toestemming</i> , indien van toepassing;			X
6.9	'n Afskrif van enige sertifikate van <i>mineraalregte</i> en sordering daarvan, tesame met die <i>mineraalreghouer se toestemming</i> , indien van toepassing;			X
6.10	Die eienaar se toestemming en/of <i>volmag</i> , indien van toepassing;	X		
6.11	Dokumentasie betreffende die verwagte voorsiening van <i>gemeenskapsfasiliteite</i> en die verantwoordelikhede van openbare owerhede in hierdie verband;			X
6.12	Dokumentasie betreffende die verwagte voorsiening van <i>Ingenieurs- of paddienste</i> en verantwoordelikhede van openbare owerhede in hierdie verband;			X

BESONDERHEDE VAN DOKUMENT		JA	NEE	NVT
6.13	Dokumentasie betreffende enige prosesse van openbare betrokkenheid wat geïnisieer is met betrekking tot hierdie aansoek en enige maatskaplike ooreenkomste, indien van toepassing;			X
6.14	Indien die aansoeker 'n maatskappy, beslote korporasie of ander regsentiteit, behalwe 'n natuurlike persoon is, is 'n afskrif van 'n geldige magtigende besluit aangeheg;			X
6.15	'n Vloedlynsertifikaat wat aandui of die grond of enige gedeelte daarvan aan 'n 1:50 jaarvloedlyn onderworpe is, al dan nie;			X
6.16	'n Verkeersimpakevaluering , gegrond op die kapasiteit van die omliggende padnetwerk om enige bykomende eise te hanteer wat as gevolg van die ontwikkeling ontstaan, indien vereis word;			X
6.17	'n Omgewingsimpakevaluering gegrond op die potensiele impak wat die voorgestelde aansoek sal hê ten opsigte van die konteks van die omliggende omgewing; (sien vereistes in voorafgaande vereistes)		X	
6.18	'n Geotegniese verslag ;	X		
6.19	'n Bewys wat aantoon in watter mate die aansoek voldoen aan die beginsels in hoofstuk I van hierdie Wet;	X		
6.20	'n Staat wat aantoon in watter mate die aansoek voldoen aan enige goedgekeurde ontwikkelings- en beplanningsraamwerk in hoofstuk I van hierdie Wet bedoel;	X		
6.21	'n Volledige motiveringsverslag (sien uiteensetting in voorafgaande voorskrifte);	X		

Ek die ondergetekende, sertifiseer dat al die inligting wat in hierdie aansoekvorm verskyn, asook die inligting in die aanhangsels, korrek en volledig is en dat die aansoek verstaan word.

VOLLE NAME: ...**Jacobus Treurnich (Macroplan nms die grondeienaar)**...

HANDTEKENING: 

DATUM: ...**01 Julie 2010**.....

DATUM WAAROP DIE AANSOEK BY
DIE PLAASLIKE OWERHEID INGEDIEN IS:

AFDELING B: MOTIVERINGSVERSLAG

1. INLEIDING

1.1 AGTERGROND

Die Siyanda streek in die Noord-Kaap Provinsie is 'n area van vele kontraste met uitgestrekte vlaktes en pragtige natuurskoon. Die area val binne 'n klimaatstreek wat uiterste klimaatstoestande ervaar en somerreënval geniet, veral in die maande van Januarie tot Maart. Buiten die ekstensiewe duineveld en dorre landskap, vloei die groen lewensaar van die magtige Oranjerivier deur die gebied en bring dit lewe aan duisende hektare wingerd en ander intensiewe landbouaktiwiteite. Dit is juis die samestelling van klimaatstoestande en watervoorsiening uit die Oranjerivier wat 'n suksesvolle druiwebedryf moontlik gemaak het en deur die regulering van die Oranjerivier se vloei kon hierdie ekonomiese sektor gestabiliseer word.

Die Kai !Garib Munisipaliteit, geleë binne die Siyanda Distrik Munisipaliteit, word dan ook deurkruis deur die Oranjerivier, waar dit bekend staan as die Benede-Oranje Streek. Ook hier het die ontwikkeling van die landbousektor, gestimuleer deur die grootskaalse besproeiingsprojekte, 'n uitkring effek van ekonomiese ontwikkeling in ander sektore gehad. Die grootskaalse ontwikkeling in die area, konsolidasie van landbou bedrywe en vestiging van sendinggemeentes, het op hul beurt tot die vestiging van stedelike nedersettings in die streek gelei om die gemeenskappe te dien. Vandag word Kai !Garib deur drie groot dorpe, naamlik Keimoes, Kakamas en Kenhardt, tesame met kleiner omliggende nedersettings, gekenmerk.

Die groei van die landbousektor oor die afgelope dekade en die suksesvolle uitvoerdruiwe- en rosyntjie boerderyaktiwiteite van die omgewing, het geweldige ekonomiese vooruitgang na die streek gebring en manifesteer in menigte sektore. Hierdie groei het gevolglik al meer mense na die gebied gelok en daar was 'n definitiewe aanwas in die bevolkings van hierdie gebiede, hetsy deur migrasie of natuurlike groei. Hierdie aanwas het dan ook die effek dat daar 'n behoefte bestaan vir die uitbreiding van die stedelike gebied ten einde aan die bevolking se behuisingsbehoefte te voorsien. Die onus val dus op die Plaaslike Owerheid om voorsiening te maak vir hierdie groei en te sorg dat uitbreiding op 'n geordende wyse, deur goeie stadbeplanningsbeginsels, manifesteer.

Kakamas is geen uitsondering in die gebied nie, en die behoefte tot behuising het die Kai !Garib Munisipaliteit genoop om hierdie projek van stapel te stuur, ten einde voorsiening te maak vir die groeiende gemeenskap. Hierdie aansoek om hersonering en onderverdeling word dus geloods ten einde die ontwikkeling van residensiële uitbreidings (in die sub-ekonomiese komponent) mee te bring. Hiermee tesame word daar dan ook invulbeplanning gedoen om grond as 'n hulpbron ten volle te benut en ook addisionele residensiële verwante grondgebruike te vestig.

1.2 HUIDIGE REALITEIT

Die aansoekgebied (Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting) beskik tans oor Owerheid sone I, Oopruimte sone I en Onbepaalde sonerings onderskeidelik en word besit deur die Kai !Garib Munisipaliteit. Ten

einde die bovermelde residensiële uitbreiding binne die riglyne van die Noord-Kaapse Wet op Ontwikkeling en Beplanning (Wet 7 van 1998) en die toepaslike Skemaregulasies van die Kai !Garib Munisipaliteit te akkommodeer, moet sekere wetlike aspekte afgehandel word. Daar word dus aansoek gedoen om die **hersonering (verskeie grondgebruike) en onderverdeling (765 erwe)** van die aansoekgebied. Hierdie aansoek word gevolglik geloods ten einde al die wetlike prosedures by so 'n aansoek af te handel en die publieke deelname proses te loods. Sien figuur 5 vir verdere detail in hierdie verband.

1.3 OPDRAG

Die grondeienaar, **Kai !Garib Munisipaliteit** (in hul hoedanigheid as Plaaslike Owerheid), het dus tot die besluit gekom om hierdie aansoek om grondgebruikverandering te loods, ten einde die bovermelde ontwikkeling op die aansoekgebied (**Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting**) moontlik te maak. **Len J Fourie** (Hoofstadsbeplanner te Macroplan) het gevolglik opdrag ontvang vanaf die Raad om hierdie aansoek te behartig. Sien Bylaag A vir brief van aanstelling.

1.4 DOEL

Die doel van hierdie verslag is dus tweeledig van aard, nl.:

- Om aansoek te doen tot die **hersonering en onderverdeling** van die aansoekgebied (Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting) ten einde dorpsuitbreiding te kan akkommodeer.
- Om die **Munisipaliteit Kai !Garib** behulpsaam te wees om die formaliteite in hierdie verband af te handel.

1.5 REGSGEBIED

Ingevolge bevoegdhede toegedien deur die LUR (ingevolge Artikel 76 van Wet 7 van 1998, Noord-Kaapse Wet op Ontwikkeling en Beplanning), is die bevoegdheid om die **hersonering en onderverdeling** goed te keur, gedelegeer aan die Plaaslike Owerheid.

1.6 VOLDOENING AAN BEGINSELS

Hierdie aansoek voldoen aan die algemene beginsels soos uiteengesit in Hoofstuk I van die Noord-Kaapse Wet op Ontwikkeling en Beplanning, asook die Wet op Ontwikkelingsfasilitering (Wet 67 van 1995), naamlik:

- *Hierdie aansoek gee gestalte aan die integrasie van sosiale, ekonomiese, institusionele en fisiese aspekte van grondontwikkeling.*
- *Met die aansoek die beskikbaarheid van residensiële en indiensnemingsgeleenthede naby of geïntegreerd met mekaar bevorder word.*
- *Hierdie aansoek sal die bestaande hulpbronne binne die gebied beter benut ten opsigte van grootmaatinfrastruktuur, paaie en vervoer en sodoende sosiale fasiliteite optimaliseer.*
- *Hierdie aansoek promoveer 'n diverse kombinasie van grondgebruike op 'n vlak van individuele erwe.*
- *Hierdie aansoek die fenomeen van stedelike spreiding ontmoedig en bydra tot die ontwikkeling van meer kompakte dorpe.*
- *Die aansoek tot die optimalisering van die gebruik van bestaande infrastruktuur lei en die oorskryding van behoeftes aanspreek.*

**Figuur 1
Liggingsplan:
Streek**

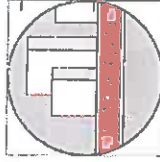


Aansoekgebied

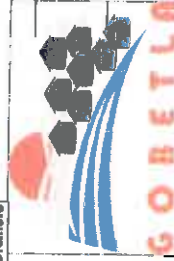


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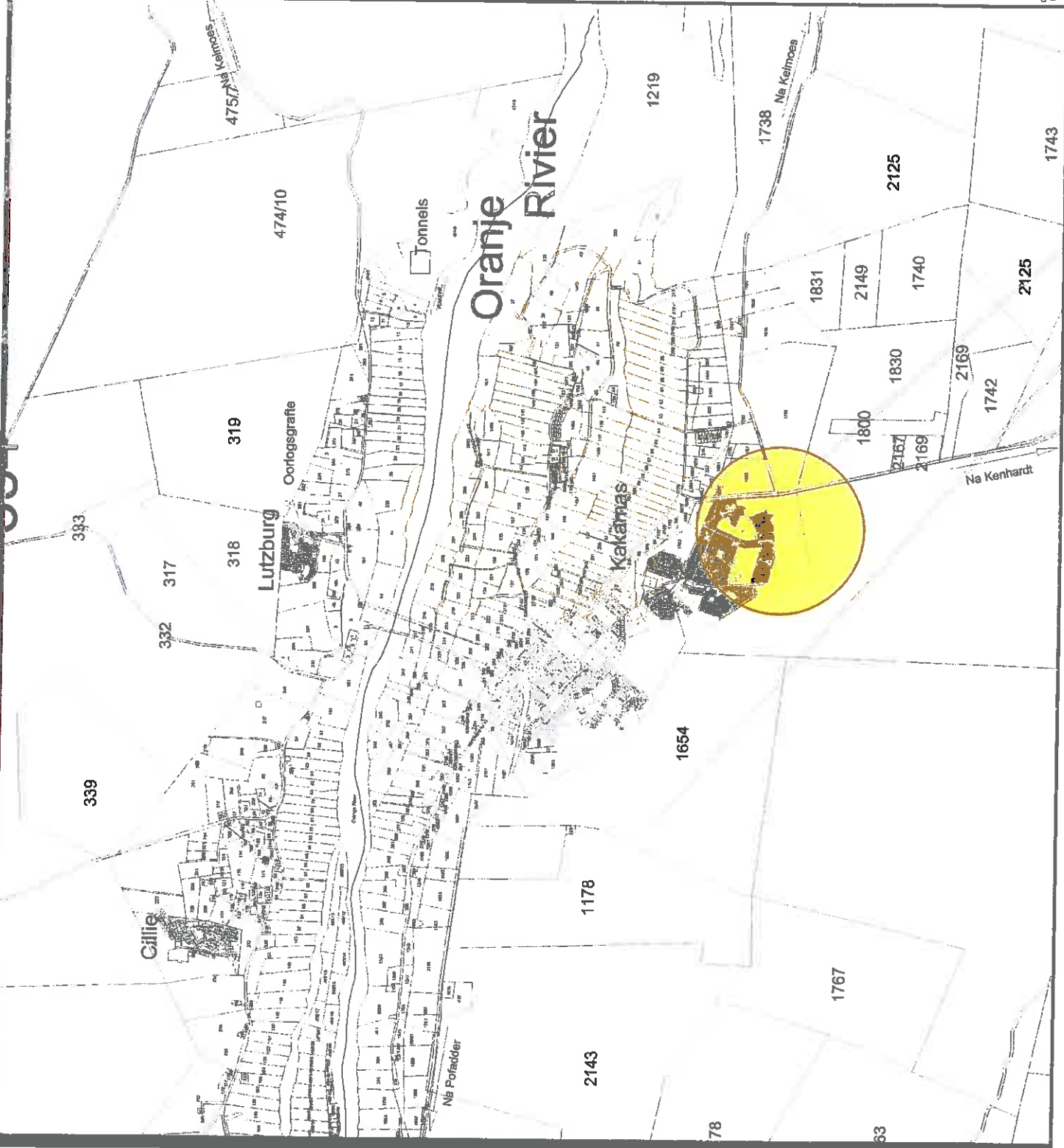
**Spatial Designs
Land Use Specialists**



PLAN Nr.

U/KAI/KMS/01

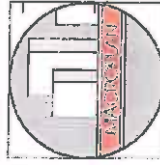
SCALE	SCALE ONTWERP	LEN FOUTIE
1:60 000	1:60 000	1:60 000
DATE	DATE	DATE
July 2010	July 2010	July 2010
DRAWN	DRAWN	DRAWN
J. Treurnich	J. Treurnich	J. Treurnich
CHECKED	CHECKED	CHECKED



Figuur 2
Liggingsplan:
Plaaslik



Aansoekgebied



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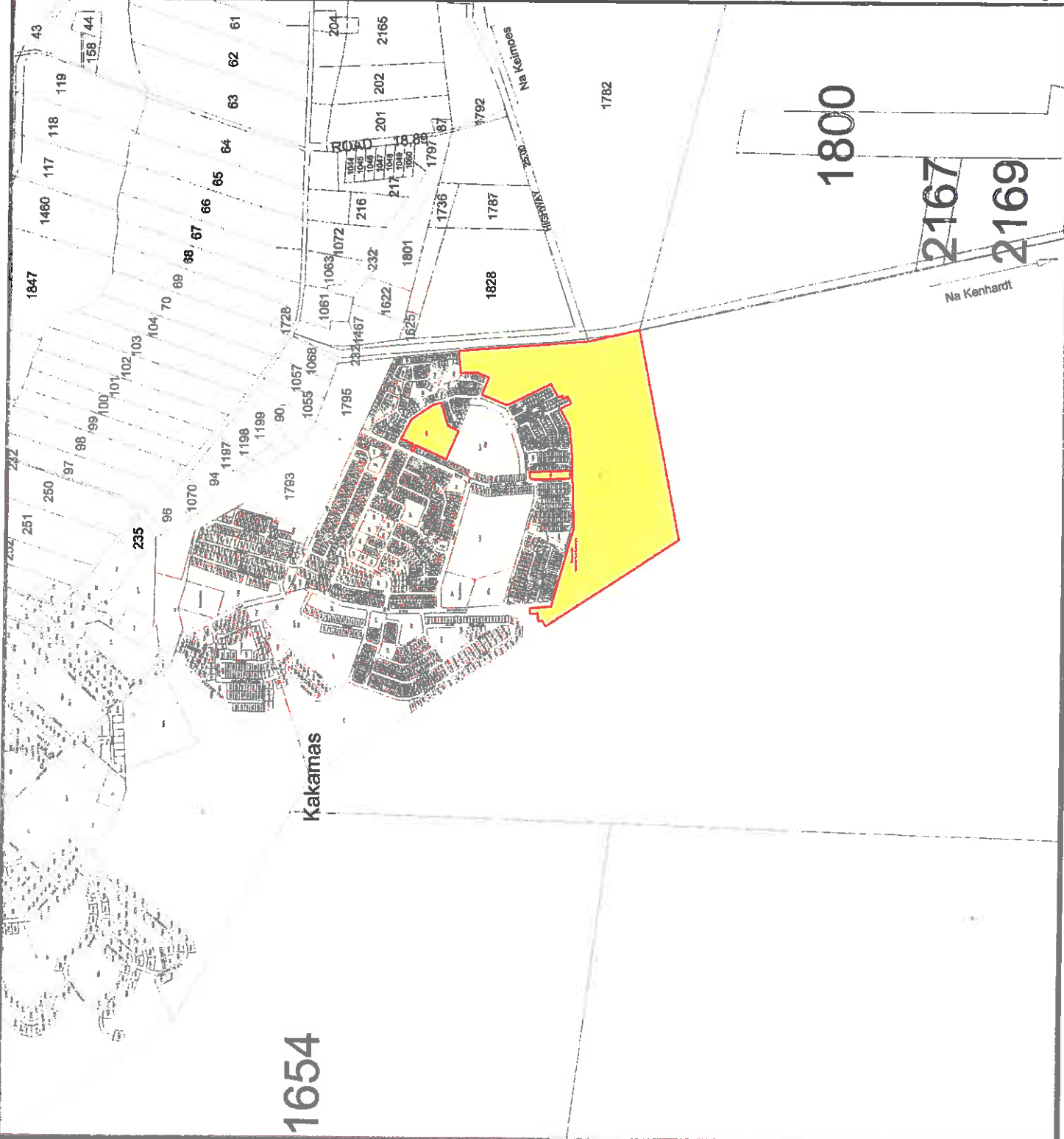
Spatial Designs
Land Use Specialists



LJ/KAI/KMS/02

PLAN No.

SCALE	SCALE	DESIGNED	DESIGNED BY
1:20 000	ONTWERP	Len Fourie	
	DRAWN	J. Treumich	
DATE	CHECKED		
Julie 2010	MAKESSEN		



- Hierdie aansoek tot die regstelling van historiese verwronge ruimtelike vestigingspatrone in die Republiek bydra en dus die bestaande infrastruktuur van die direkte omgewing beter benut.
- Omgewingshoudbare grondontwikkelingspraktyke en -prosesse aanmoedig deur die benutting van bestaande geboue binne die dorp.

2. BEPLANNINGSOORWEGINGS

2.1 LIGGING VAN DIE TERREIN

Kakamas vorm die hoofsetel van die Kai !Garib Munisipaliteit en is geleë sowat 80km suid-wes van Upington, 40km wes van Keimoes en 80km noord-wes van Kenhardt. Die dorp is aan die oewer van die Oranjerivier geleë op die N14 hoofroete tussen Upington en Springbok. Die aansoekgebied in Langverwagt bestaan uit drie aparte eiendomme, naamlik:

- Erf 1225, Kakamas, is geleë in die suid-oostelike woongebiede van Kakamas, noord van die sportgronde, tussen Sonneblom- en Pionierstraat.
- Erf 1928, Kakamas, is geleë in die suid-oostelike woongebiede van Kakamas, suid van die sportgronde, in Pionierstraat.
- Die betrokke dele van Perseel 431, Kakamas Suid Nedersetting, is geleë aan die mees suidelike dele van Kakamas en word in die ooste begrens deur die R359 pad tussen Kakamas en Keimoes.

'n Duidelike uiteensetting van die ligging van die aansoekgebied kan gesien word op meegaande figure 1-5, sowel as foto's wat deel uitmaak van hierdie verslag.

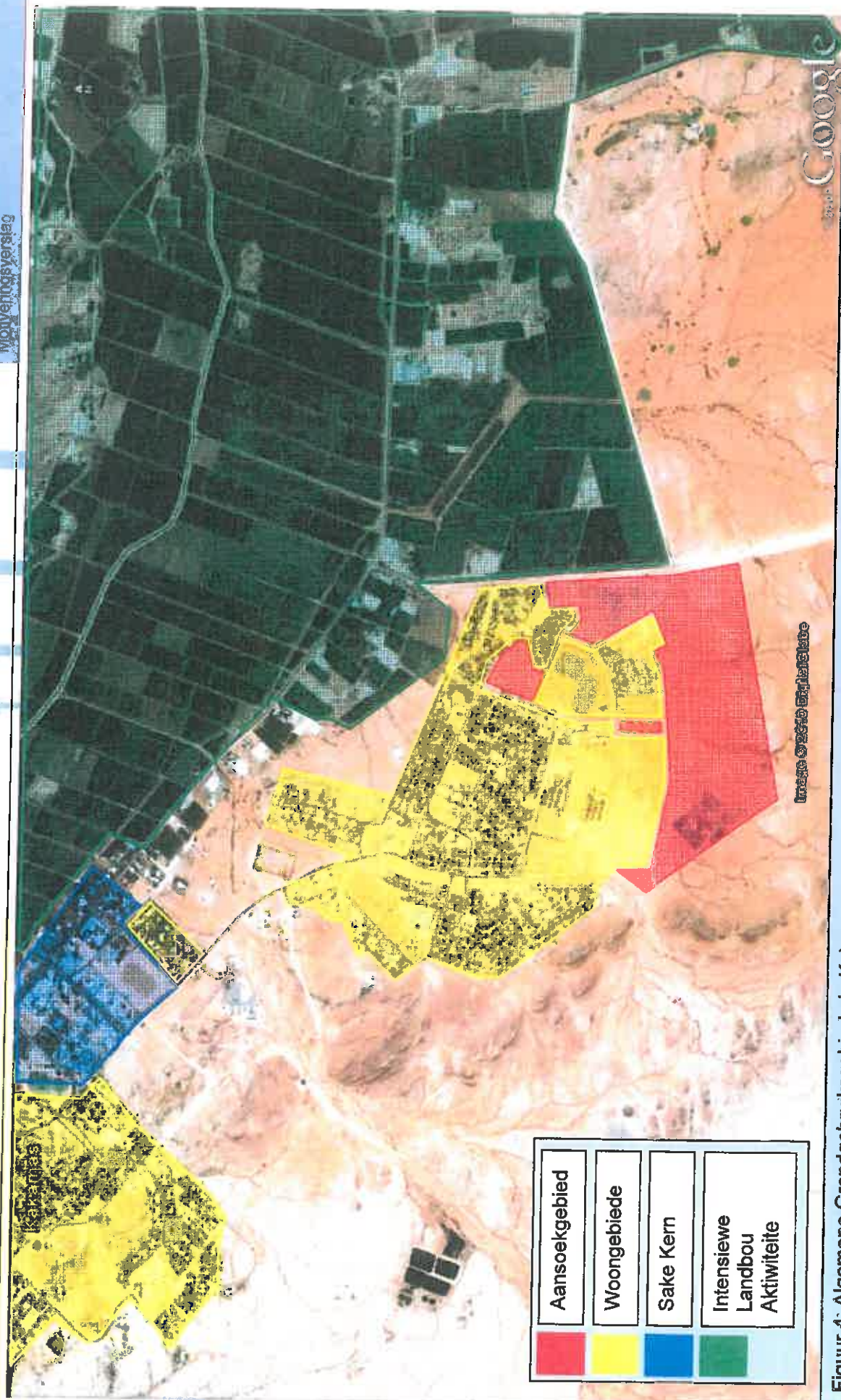
2.2 FISIOGRAFIE

Kortliks word daar na die fisiografie van die betrokke gebied gekyk.

• Topografie

Die aansoekgebied het 'n variërende topografie, weens die uitgestrekte natuur daarvan, maar word gekenmerk deur 'n kombinasie van koppies en stormwaterslote. Die steiler koppies word in die suide van die aansoekgebied gevind, vanwaar dit 'n steil afwaartse helling van 1:15 meter op die spits het. Hierdie gradiënt plat egter vinnig af na 'n afwaartse helling van 1:40-50 in 'n algemeen noordelike rigting (wat ontwikkeling van die koppies moontlik maak). Hierdie spitse word in die uitleg aangewend vir kerkpersele, ten einde die sentrale rol van hierdie funksies te beklemtoon en ook die vorming van landmerke te stimuleer.

Daar word 5 noemenswaardige stormwaterslote op die aansoekgebied aangetref wat algemeen noordwaarts vloei en waarvan 4 uitvloei in die mensgemaakte sloot (sien 2.5), vanwaar dit na 'n oostelike rigting weggevoer word. Hierdie stormwaterslote word binne die uitleg geakkommodeer binne parke en strate. Waar stormwaterslote binne strate gevind word, is dit egter belangrik dat daar aandag aan die straatoppervlak gegee word om verspoeling teen te werk. Die kanalisering van hierdie natuurlike stormwaterslote binne die mensgemaakte sloot het dan ook tot gevolg dat die ontwikkeling van Erf 1928, Kakamas, moontlik is. Hierdie eiendom is oorspronklik as oopruimte ontwikkel om stormwater te akkommodeer, maar die bou van die mensgemaakte sloot het hierdie funksie sedertdien obsoleet gemaak, siende dat die afloop deur die mensgemaakte sloot onderskep word. Buiten die bovermelde faktore, word daar geen addisionele topografiese verskynsels gevind wat ontwikkeling van die area sal belemmer nie.



Figuur 4: Algemene Grondgebruiksgebiede in Kakamas



Foto 1: Erf 1225, Kakamas, as deel van die aansoekgebied, soos gesien vanuit 'n noord-oostelike rigting. Die ontwikkeling van hierdie vakante stuk grond tot woonerwe kan gesien word as invulbeplanning en optimale benutting van grond as 'n hulpbron.



Foto 2: Erf 1225, Kakamas, as deel van die aansoekgebied, soos gesien vanuit 'n oostelike rigting. Die eiendom sal hersonereer word vanaf Owerheid sone I tot Residensiële sone I en Vervoersone II, tesame met 'n onderverdeling, ten einde voorsiening te maak vir residensiële uitbreiding.



Foto 3: Erf 1928, Kakamas, as deel van die aansoekgebied, soos gesien vanuit 'n suidelike rigting. Hierdie erf was ontwikkel as oopruimte ten einde stormwater afloop te akkommodeer. Hierdie funksie het egter oor tyd obsoleet geraak weens die skepping van 'n mensgemaakte sloot wat noordwaartse vloei onderskep. Sien 2.2, topografie, vir verdere detail.



Foto 4: Die aangrensende eiendomme tot Erf 1928, Kakamas, soos gesien vanuit 'n suid-westelike rigting. Die erf self is op die linkerkant van die foto sigbaar. Die ontwikkeling van die publieke oopruimte sal onderhewig wees aan die sluiting daarvan, maar hierdie proses sal deur die Plaaslike Owerheid self behartig moet word.



Foto 5: Die aansoekgebied, soos gesien vanuit 'n suidelike rigting, vanaf een van die koppies op die aansoekgebied. Die koppie vanwaar die foto geneem is, sal benut word vir die ontwikkeling van 'n kerk, terwyl die noordwaartse gedeeltes vir residensiële ontwikkeling beoog word. Die donker horisontale lyn op die foto is die ligging van die mensgemaakte sloot waarvan daar in die aansoek melding gemaak word.



Foto 6: Die koppie waarvandaan foto 5 geneem is, soos gesien vanuit 'n noord-oostelike rigting. Die koppie se agterkant merk die ligging van die aansoekgebied se suidelike grens. Aan die regterkant van die foto word 'n groot stormwatersloot aangetref wat binne 'n oopruimte in die uitleg geakkommodeer sal word.



Foto 7: Die informele steenmakery op die aansoekgebied, soos gesien vanuit 'n noordelike rigting. Hierdie strukture is nie formeel opgerig nie, en was ook nie op die terrein toe beplanning in aanvang geneem het nie. Die Raad word dus versoek dat die strukture verwyder word ten einde normale dorpsontwikkeling te akkommodeer, veral in die lig dat so 'n industrie nie versoenbaar is met residensiële ontwikkeling nie.

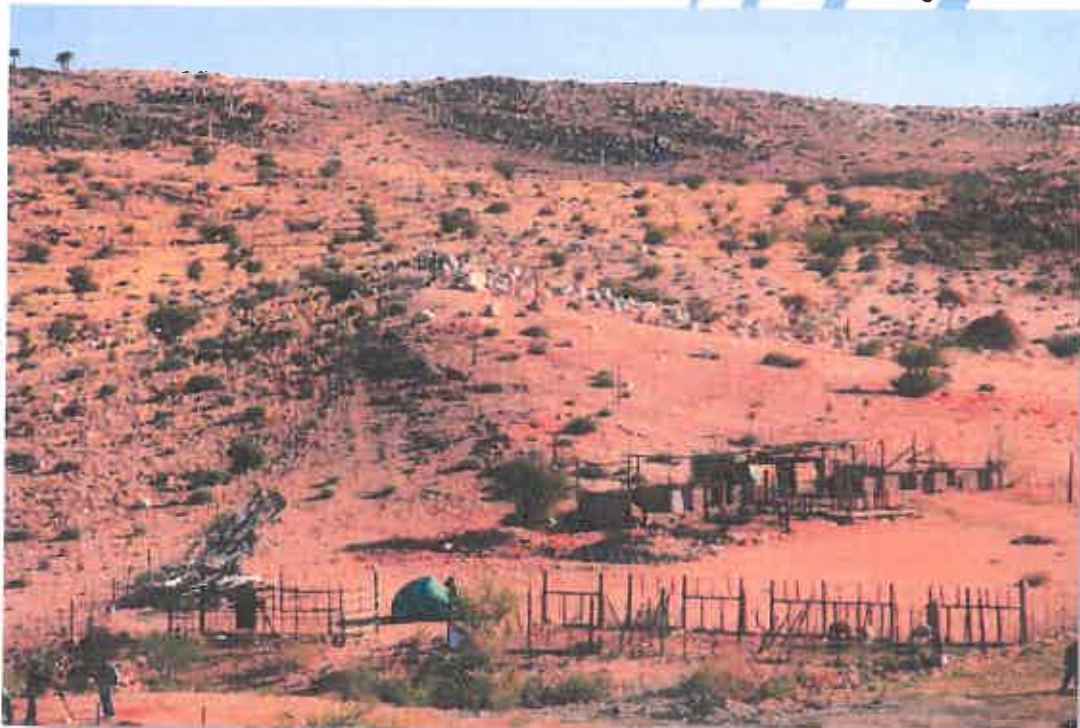


Foto 8: Die suid-westelike hoek van die aansoekgebied, soos gesien vanuit 'n oostelike rigting. 'n Informele opstal is op die foto sigbaar wat verwyder moet word vir normale dorpsuitbreiding.



Foto 9: Die informele krale wat op die aansoekgebied voorkom, soos gesien vanuit 'n noord-westelike rigting. Hierdie area is egter beplan vir residensiële ontwikkeling en die krale sal verskuif moet word.



Foto 10: Die mees westelike dele van die aansoekgebied, soos gesien vanuit 'n noordelike rigting. Hierdie deel sal ook vir residensiële doeleindes benut word, maar word beperk deur 'n stormwatersloot wat sigbaar is aan die regterkant van die foto.

- **Geologie en Bodemgesteldheid**

Die dieperliggende geologiese formasie van die gebied bestaan hoofsaaklik uit gneis, graniet en kwartsiet van die Namakwaland Mobile Gordel wat plek-plek deur kwarts en veldspaat pegmatiete versteur is. Die oppervlakte grond bestaan hoofsaaklik uit verweerde gneis met 'n konsentrasie van kwartsiet sande in die natuurlike dreineringsbane. In die algemeen kan die geologie en bodemgesteldheid van die studiegebied as hard, maar tipies van die streek en geskik vir normale ontwikkeling gesien word. Die bestaande ontwikkeling op die aansoekgebied bevestig hierdie feit.

- **Natuurlike plantegroei**

Die aansoekgebied vorm deel van reeds bestaande en gesoneerde woongebiede (Erwe 1225 en 1928, Kakamas) tesame met gedeeltes wat deel van Kakamas se dorpsmeent is (Perseel 431, Kakamas Suid Nedersetting). Dit het tot gevolg gehad dat die areas reeds in die verlede deur ontwikkeling en menslike bedrywighede (meent beweiding) versteur is. Gevolglik word geen bewaringswaardige fauna en flora op die aansoekgebied aangetref nie en word daar verwag dat ontwikkeling normaal sal voortgaan. Die omvang van die ontwikkeling vereis egter dat 'n omgewingsimpakstudie geloods word en die ontwikkeling sal dus onderhewig wees aan die goedkeuring hiervan.

2.3 OORHOOFSE BEPLANNING

Alle beplande ontwikkeling is in die verlede gemeet aan die voorstelle wat vervat is in die Gidsplan, Struktuurplan, Behuisings- en Verdigtingstrategie en nou die Geïntegreerde Ontwikkelings Plan (GOP). Die Munisipaliteit van Kai !Garib het geen formele ruimtelike ontwikkelingsraamwerkplan (ROP) nie en dus kan die aansoek nie hiervolgens evalueer word nie.

2.4 KARAKTER VAN DIE OMGEWING

Kakamas funksioneer as belangrike ekonomiese kern binne die Kai !Garib regsgebied en word gevolglik gekenmerk deur 'n groot verskeidenheid grondgebruike, wat manifesteer in 'n industriële gebied in die noord-weste, 'n sake kern in die noorde en uitgebreide woongebiede rondom hierdie gebuie.

Die aansoekgebied is in die suid-oostelike dele van Kakamas geleë, wat grootliks in die sub-ekonomiese ontwikkeling kategorie val. Hierdie aansoek behels juis 'n sub-ekonomiese behuisingsprojek en sal dus goed aansluit by hierdie bestaande stedelike struktuur in die gebied.

Sien ook meegaande Figuur 3 vir 'n uittreksel uit die plaaslike soneringsplan van Kai !Garib, sowel as meegaande foto's van die area.

2.5 INFRASTRUKTUURDIENSTE

■ Watervoorsiening

Kai !Garib Munisiplaiteit sal self verantwoordelik wees vir die voorsiening van grootmaat infrastruktuur om te verseker dat die nuwe uitbreidings van water voorsien word.

■ Padnetwerk

Die aansoekgebied bestaan uit 3 aparte gedeeltes en die padnetwerk van elk sal ooreenkomstig beskryf word:

- *Erf 1225, Kakamas, ontvang tans toegang vanaf Sonneblomstraat en Pionierstraat (klein segment). Hierdie konfigurasie sal behou word met 'n interne pad wat oor die aansoekgebied beplan word.*
- *Erf 1928, Kakamas, ontvang tans toegang vanaf Pionierstraat en sal dan ook die geval wees met die nuwe erwe wat op hierdie perseel beplan word.*
- *Perseel 431, Kakamas Suid Nedersetting, is maklik bereikbaar via Binnestraat of die R359 hoofpad, wat die aansoekgebied aan die noord-westelike en oostelike kant onderskeidelik, begrens. 'n Ekstensiewe nuwe padnetwerk word vir die area beplan om toegang tot individuele erwe te voorsien.*

Kakamas se paaie wissel tussen grond- en teerpaaie en dit sal dus belangrik wees vir die munisipaliteit om enige opgraderings te implementeer waar dit nodig sou wees. Dit sal veral belangrik wees om aandag te gee aan paaie waar stormwater gekanaliseer word.

Sien 3.3 vir 'n detail beskrywing van die beplande padnetwerk, soos dit met goedkeuring daarna sal uitsien.

■ Riolwegdoening

Die Kai !Garib Munisipaliteit voorsien Kakamas reeds van 'n spoelrioolstelsel en dit word voorsien dat die nuwe uitbreiding ook sal inskakel hierby. Die Plaaslike Owerheid sal egter self verantwoordelik wees vir die daarstelling van grootmaat infrastruktuur en die inskakeling van die nuwe ontwikkeling.

■ Stormwater

Stormwaterdreinerings geskied bognronds en in die strate van die omgewing, vanwaar dit weggevoer word in lokale stormwaterslote. Die aansoekgebied word gekenmerk deur 5 noemenswaardige stormwaterslote wat in 'n algemeen noordelike rigting vloei. Soos reeds vermeld, word hierdie slote binne die voorgestelde uitlegplan binne paaie en oopruimtes geakkommodeer, voordat dit doodloop binne die weswaarts-vloeiende mensgemaakte sloot. Hierdie mensgemaakte sloot sal in die toekoms binne 'n oopruimte geakkommodeer word, maar dit sal van kardinale belang wees dat hierdie sloot vry van enige obstruksies gehou word om skade te voorkom. Verder sal enige waterafloop van die aansoekgebied bognronds en binne die beplande strate hanteer word, soos algemene praktyk is in die area.

■ Elektrisiteit

Hierdie diens word reeds deur Kai IGarib Munisipaliteit aan Kakamas en die omliggende woongebiede voorsien. Dit word voorsien dat hierdie diens verder uitgebrei sal word na die beplande uitbreidings as deel van die Plaaslike Owerheid se verantwoordelikheid.

2.6 GROOTTE, SONERING EN REGULASIES

Die aansoekgebied bestaan uit drie aparte eiendomme wat as volg beskryf kan word:

• Erf 1225, Kakamas	2 6521 ha	Owerheid sone I
• Erf 1928, Kakamas	4628m ²	Oopruimte sone I
• Perseel 431, Kakamas Suid Nedersetting	13.4185 ha	Onbepaald

Hierdie aansoek het ten doel om die aansoekgebied te onderverdeel in 765 nuwe grondeenhede en te hersoneer tot verskeie sonerings, verwant aan woongebied uitbreiding. Die presiese sonerings, oppervlakte en gemiddeldes van die beplande erwe word onder 3.3 van hierdie verslag bespreek. Sien Figure 3 en 5 vir verdere detail in hierdie verband.

2.7 GEVOLGTREKKING

Tydens die oorweging van hierdie aansoek is dit belangrik om die volgende gevolgtrekkings rakende hierdie ontwikkeling in gedagte te hou. Dit sluit die volgende in:

- *dat daar 'n behoefte bestaan vir die residensiële uitbreiding van Kakamas;*
- *dat hierdie aansoek goed inskakel by die bestaande karakter van die omgewing;*
- *hierdie ontwikkeling die ontwikkelingspotensiaal van die gebied verder kan verhoog en dat dit in die groeiende behuisingsbehoefte in die omgewing sal voorsien;*
- *die gebied wat beoog word vir die ontwikkeling, gunstig geleë is ten opsigte van bestaande infrastruktuur, maar dat uitbreiding van dienste wel nodig sal wees.*
- *die fisiografie geskik is vir die beoogde ontwikkeling.*
- *die aansoek voldoen aan die beginsels soos uiteengesit in Hoofstuk 1 van die Noord-Kaapse Wet op Ontwikkeling en Beplanning (Wet 7 van 1998);*
- *die aansoek voldoen aan die beginsels soos uiteengesit in Artikel 3 van die Wet op Ontwikkelingsfasilitering (Wet 67 van 1995);*

3. VOORGESTELDE HERSONERING EN ONDERVERDELING

3.1 BEPLANNINGSBENADERING

Tydens die oorweging van die ligging van die beplande grondgebruik op die eiendom, is die volgende aspekte in oorweging geneem:

- *Die ontwikkeling sal inskakel by die bestaande padnetwerk van die omgewing om 'n sinvolle ruimtelike struktuur te bewerkstellig.*

- *Die ontwikkeling nie die natuurlike karakter van omgewing negatief moet beïnvloed nie.*
- *Dat stormwaterslote en die algemene topografie van die aansoekgebied op 'n sinvolle wyse binne die uitleg geakkommodeer moet word.*
- *Dat enige ongeformaliseerde strukture wat na die aanvang van die area se ontwikkelingsbeplanning opgerig is, verskuif sal moet word.*
- *Dat enige voorwaardes soos moontlik gestel deur die Kai !Garib Munisiplaiteit, aan voldoen sal word.*

3.2 PUBLIEKE DEELNAME

Die inset van die gemeenskap sal verkry word tydens die advertensie tydperk. Die normale prosedure behels:

1. *Kennisgewing geplaas in plaaslike koerant (Die Gemsbok) vir 'n periode van 21 dae.*
2. *Kennisgewing geplaas op die aansoekgebied vir dieselfde periode as in die plaaslike koerant.*
3. *'n Moontlike verdere vergadering met die onderskeie wykskomitees, indien versoek.*

3.3 VOORGESTELDE GRONDGEBUIKE

Die aansoek behels die hersonering en onderverdeling van die aansoekgebied ten einde 'n uitbreiding van woongebiede moontlik te maak. Die verskeie nuwe grondgebuike sal die volgende behels:

RESIDENSIËLE SONE I

Aanduiding op kaart: kleur - geel.

Primêre gebruik/e: woonhuis

'n gebou wat slegs een wooneenheid bevat - 'n selfstandige intertoeganklike groep kamers, slegs vir die woonakkommodasie en huisvesting van 'n enkelgesin, of 'n maksimum van 4 persone wat nie aan die omskrywing van 'n "gesin" voldoen nie, tesame met sodanige buitegeboue soos wat normaalweg daarmee gebruik word

Binne die voorgestelde uitlegplan word daar voorsiening gemaak vir 751 erwe met hierdie sonering (sub-ekonomiese enkel residensiële wooneenhede) met 'n gemiddelde oppervlak van 350m² per erf. Hierdie sonering sal in totaal 26.2ha van die aansoekgebied beslaan, wat 58.4% van die area verteenwoordig.

INSTITUSIONELE SONE II

Aanduiding op kaart : kleur - swart kruise

Primêre gebruik/e : openbare bedehuis

'n kerk, sinagoge, moskee, tempel, kapel of ander plek vir godsdienstbeoefening. Dit omvat ook enige gebou in verband daarmee soos byvoorbeeld 'n saal, Sondagskoolklasse of pastorie, maar omvat nie lyksbesorgingslokale met inbegrip van kapelle wat deel uitmaak van sulke lokale nie

Binne die voorgestelde uitlegplan word daar voorsiening gemaak vir 3 erwe met hierdie sonering (kerke) met 'n gemiddelde oppervlak van 5980m² per erf. Hierdie sonering sal in totaal 1.8ha van die aansoekgebied beslaan, wat 4% van die area verteenwoordig.

OOPRUIMTE SONE I

Aanduiding op kaart : kleur - groen

Primêre gebruik/e : openbare oopruimtes

enige grond wat in besit van die plaaslike owerheid is of gaan kom, nie op langtermyn verhuur word of gaan word nie, en aangewend word of gaan word deur die publiek as 'n oopruimte, park, tuin, speelterrein, ontspannings-terrein, piekniekterrein of plein, hetsy dit ook op 'n goedgekeurde algemene plan verskyn, al dan nie

Binne die voorgestelde uitlegplan word daar voorsiening gemaak vir 9 erwe met hierdie sonering (parke) met 'n gemiddelde oppervlak van 5799m² per erf. Hierdie sonering sal in totaal 5.2ha van die aansoekgebied beslaan, wat 11.7% van die area verteenwoordig.

VERVOERSONE II

Aanduiding op kaart : kleur - liggrys

Primêre gebruik/e : openbare straat

enige grond wat op 'n plan of diagram aangedui of binne hierdie soneringskema gespesifiseer is as opsy gesit vir straatdoeleindes en waarvan die eiendomsreg by 'n bevoegde owerheid berus en sluit enige geriewe vir openbare vervoer in

Binne die voorgestelde uitlegplan word daar voorsiening gemaak vir 2 erwe met hierdie sonering (publieke pad) met 'n gemiddelde oppervlak van 5.8ha per erf. Hierdie sonering sal in totaal 11.6ha van die aansoekgebied beslaan, wat 25.9% van die area verteenwoordig.

Hierdie sonering verteenwoordig die beplande dorpsuitbreiding se padnetwerk, wat daargestel word om toegang aan elke individuele erf te voorsien. Die breedtes van die beplande straatreserwes wissel tussen 20m en 10m, proporsioneel tot die hiërargiese orde daarvan. By uitsondering word daar voorsiening gemaak vir 'n 8m breë padreserwe waar die eiendomme wat bedien word 'n absolute minimum is. Die belangrikste roetes deur die ontwikkelingsgebied is twee 20m paaie wat van noord-wes na suid-oos en wes na oos loop, onderskeidelik. Eersgenoemde sal aansluit by Binnestraat en die aansoek ook in die suide met enige toekomstige uitbreiding verbind. Laasgenoemde pad sal die aansoekgebied, en enige toekomstige westelike ontwikkeling verbind met die R359 hoofpad in die ooste en word dan ook deurkruis met 'n 16m pad (noord na suid) wat sal verbind word met Pionierstraat. Vanuit hierdie paaie sal 'n verskeidenheid laer orde toegangspaaie spruit om toegang tot individuele erwe te verleen. Die beplande padnetwerk is uiteengesit ten einde suksesvol te skakel met die bestaande suid-westelike woongebiede van Kakamas en dorp as geheel. Verder is die daar ook aandag gegee aan die skep van geleenthede vir die skakeling van die aansoekgebied met enige toekomstige uitbreidings.

4. AANBEVELING

Uit hoofde van die voorafgaande bespreking blyk dit dat die voorgestelde **hersonering en onderverdeling van die aansoekgebied (Erwe 1225 en 1928, Kakamas en 'n gedeelte van Perseel 431, Kakamas Suid Nedersetting)** wenslik is.

4.1 GOEDKEURING VAN DIE AANSOEK

Die **Munisipaliteit Kai IGarib** word derhalwe versoek om:

- i Die aansoek om hersonering en onderverdeling ingevolge die Noord-Kaapse Wet op Ontwikkeling en Beplanning (Wet 7 van 1998) te adverteer. **Gemelde advertensies sal deur hierdie kantoor behartig word en die bewyse daarvan sal aan die Munisipaliteit gelewer word, alvorens 'n finale besluit geneem kan word.**
- ii Die aansoek tot hersonering en onderverdeling ingevolge die Noord-Kaapse Wet op Ontwikkeling (Wet 7 van 1998) en Beplanning goed te keur.

BYLAAG A
Brief van Aanstelling

Munisipaliteit Kai !Garib Municipality

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Mr. JWA Kotzee
Deals with this matter

Private Bag X6
KAKAMAS
8870

27 Augustus 2009

Our Ref.: 14.1.9
Your Ref.: 90824uit

Mnre. MACROPLAN
Posbus 978
UPINGTON
8800

VIR AANDAG: Meneer Len J Fourie TRP(SA)

RESIDENSIËLE UITBREIDING TE KAI !GARIB MUNISIPALE GEBIED

Die Raad het tydens hul vergadering gehou op 20 Augustus 2009 besluit dat u formeel aangestel word vir die hantering van die beplanning van residensiële gebiede te Kai !Garib waarmee reeds ver gevorder is. Die opdrag sluit die volgende komponente in:

- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 1200 sub-ekonomiese en 200 ekonomiese erwe te Keimoes.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 750 sub-ekonomiese erwe en 150 ekonomiese erwe te Kakamas.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 200 sub-ekonomiese erwe te Kenhardt.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 150 sub-ekonomiese erwe te Lennertsville.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 400 sub-ekonomiese erwe vir Augrabies.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 100 sub-ekonomiese erwe vir Marchand. Dit sluit die ondersoeke en besprekings rakende die moontlike grond ook in.

- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 100 sub-ekonomiese erwe vir Alheit.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 100 sub-ekonomiese erwe vir Cillie, sowel as die formalisering van sowat 50 informele huise aan die westelike kant van Cillie.
- Beplanning en finalisering (insluitend aansoek om grondgebruikverandering ingevolge Wet 7 van 1998) van ongeveer 5 informele erwe vir Lutzburg, sowel as die bespreking van moontlike uitbreidings van die dorp (moontlike sentrale gedeelte) met die plaaslike Raadslid. Die behoefte van Lutzburg sal afhang van die hoeveelheid grond beskikbaar in die onmiddellike omgewing. Dit sluit die ondersoeke en besprekings rakende die moontlike grond ook in.
- Die ondersoek, beplanning en gesprekvoering met rolspelers vir die moontlike dorpsstigting te Blaauwskop. Dit sluit in die volledige proses wat gepaard gaan met dorpsstigting.

Ons vertrou dat u genoemde in orde vind.

By voorbaat dank.

Die uwe



J MAC KAY
MUNISIPALE BESTURDER

BYLAAG B
Akte Navrae

Property	Owner	Deed/Document	LPI Enquiry	Interdict	Document Request	Transfers	Bulk Properties	User Admin	Billing	
Property Enquiry Details										

Property enquiry results for "kakamas" in the Deeds Registry at "CAPE TOWN"

Property detail:

Deeds registry	CAPE TOWN
Property type	ERF
Township	KAKAMAS
Erft number	1225
Portion	0
Province	NORTHERN CAPE
Registration division/Administrative district	NOT AVAILABLE
Local authority	KAKAMAS MUN
Previous description	PTN OF 1063-GP12146
Diagram deed number	DU 1000/800
Extent	2,65.21HA UNKNOWN
LPI Code	C03600060000122500000

Title Deeds detail:

Document	Registration date	Purchase date	Amount	Microfilm reference	Document copy?
T54793/1991	19910902	-	T/T	2005 0360 0024	Yes

Owners detail:

Document	Full name	Identity Number	Share	Person Enquiry?
T54793/1991	MUN KAI GARIB	-	-	Yes

Endorsements / Encumbrances:

Endorsement / Encumbrance	Holder	Amount	Microfilm reference	Document copy?
PUBLIC PLACE	-	-	-	Not available

History:

Document	Holder	Amount	Microfilm reference	Document copy?
T54793/1991	MUN KAKAMAS	T/T	2005 0360 0024	Yes

Property	Deeds	Deeds/Document	LPI Enquiry	Transfer	Document Request	Transfer	Full Properties	User Admin	Billing	
Property Enquiry Details										

Property enquiry results for "Kakamas Suid sett, null" in the Deeds Registry at "CAPE TOWN"

Property detail

Deeds registry	CAPE TOWN
Property type	ERF
Township	KAKAMAS SUID SETT
Erf number	431
Portion	0 (REMAINING EXTENT)
Province	NORTHERN CAPE
Registration division/Administrative district	NOT AVAILABLE
Local authority	KENHARDT CC
Previous description	FARM 430, FARM 27
Diagram deed number	T19498/1972
Extent	13.4185 H
LPI Code	C03600080000043100000

Title Deeds detail

Document	Registration date	Purchase date	Amount	Image Scanned reference	Document copy?
T19498/1972	19720815	-	SECT 16	20080625 11:57:57	Yes

Owners detail

Document	Full name	Identity Number	Share	Person Enquiry?
T19498/1972	MUN KAI GARIB	-	-	Yes
T91752/2005	MUN KAI GARIB	-	-	Yes

Endorsements / Encumbrances

Endorsement / Encumbrance	Holder	Amount	Microfilm reference	Document copy?
K1164/1973	-	-	1997 0876 4678	Yes
NOW SUBDIVISION	TOWN KAKAMAS, ERF	-	-	Not available

1847, FETW 0

History

Document	Holder	Amount	Image Scanned reference	Document copy ?
T19498/1972	MUM KAKAMAS	-	20080625 11:57:57	Yes
T19498/1972	MUM KAKAMAS	SECT 18	20080625 11:57:57	Yes

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Requested by 40901 with user reference None on: Thursday, 24 June 2010 13:18

DeedsWeb version 4.0.1

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Property	Owner	Deed/Document	ERF Registry	Interdict	Document Requests	Transfers	Bulk Properties	User Admin	Billing
Property Enquiry Details									

Property enquiry results for "Kakamas, null" in the Deeds Registry at "CAPE TOWN"

Property detail:

Deeds registry	CAPE TOWN
Property type	ERF
Township	KAKAMAS
Erf number	1928
Portion	0
Province	NORTHERN CAPE
Registration division/Administrative district	NOT AVAILABLE
Local authority	KAKAMAS MUN
Previous description	-
Diagram deed number	DU 1000/800
Extent	468.0000 SQM
LPI Code	C03600060000192800000

Title Deeds detail:

Document	Registration date	Purchase date	Amount	Microfilm reference	Document copy?
T91753/2005	20051110	-	G/P	2006 0404 2460	Yes

Owners detail:

Document	Full name	Identity Number	Share	Person Enquiry?
T91753/2005	MUN KAI GARIB	-	-	Yes

Endorsements / Encumbrances:

Endorsement / Encumbrance	Holder	Amount	Microfilm reference	Document copy?
I-731/2005LG	-	-	-	Not available
GENERAL PLAN FROM	TOWN KAKAMAS ,ERF 1911 ,PRTN 0	-	-	Not available

History:

No data found for this query!

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Requested by **40901** with user reference **None** on: Thursday, 08 July 2010 16:24

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BYLAAG C
Figuur 5: Uitlegplan

APPENDIX D (2)

Business Plan

KAI !GARIB MUNICIPALITY

BUSINESS PLAN

FOR

KAKAMAS NEW SUB-ECONOMICAL DEVELOPMENT FOR THE RELOCATION OF PEOPLE STAYING IN FLOOD AFFECTED AREAS (373 HOUSES)



LOCAL GOVERNMENT:

The Municipal Manager
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ASSISTED BY:

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Fax: 054 - 3376699

OCTOBER 2012

KAI !GARIB MUNICIPALITY

**BUSINESS PLAN FOR
KAKAMAS NEW SUB-ECONOMICAL DEVELOPMENT FOR THE RELOCATION
OF PEOPLE STAYING IN FLOOD AFFECTED AREAS
(373 HOUSES)**

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NORTHERN CAPE PROVINCE

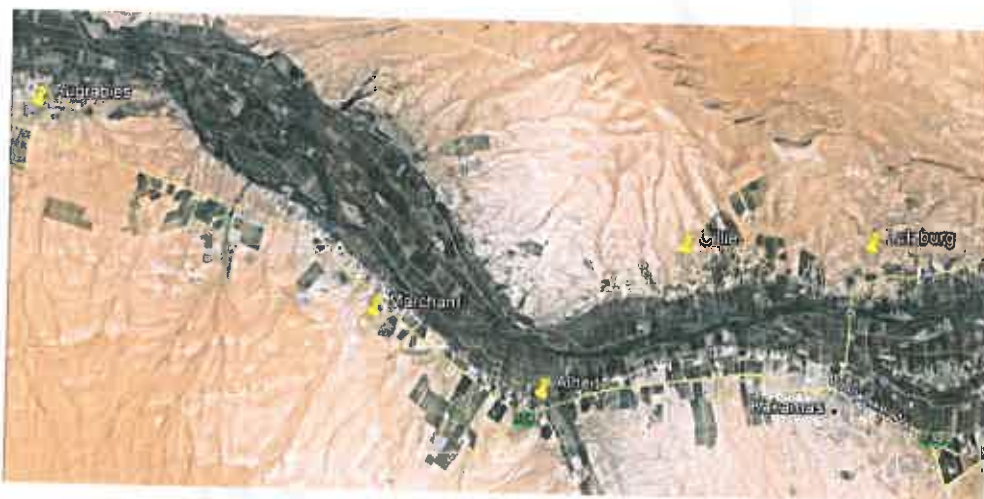
COGHSTA

HOUSING BUSINESS PLAN FOR KAI !GARIB MUNICIPALITY

NEW SUB-ECONOMICAL DEVELOPMENT FOR THE RELOCATION OF PEOPLE STAYING IN FLOOD AFFECTED AREAS (373 HOUSES)

1. INTRODUCTION

1.1 BACKGROUND/OVERVIEW OF PROJECT



People, among which mainly farm workers, has settled in areas that are subject to floods, and on islands that are inaccessible during high water conditions.

Major floods occurred in 1976, 1988 and 2011. The flood in 2011 left many people homeless. Subsistence farmers, who produced agricultural crops in these areas, also lost their harvest.

Some of these disaster-struck people moved to higher areas, but are still without any services such as water, sanitation or electricity. These living conditions form the root cause of other problems such as malnutrition, diseases due to pollution, limited access to educational and medical facilities.

During flood conditions, the road infrastructure also becomes inaccessible, making it difficult for workers to travel to their work place and back. Not only does this have a negative effect on the main income of the worker, but it also has a ripple effect on the production sector, whether it be the local or export market.

Based on the reasons stated, the municipality has indicated that there is a pressing need for houses, especially low cost housing, as well as serviced plots, within the Kai !Garib Municipal Area.

Kakamas are to expand with an additional 373 sub-economical erven, which forms the basis of this application. This figure does not accommodate all the flood related victims, nor does it meet the housing backlog.

This business plan focuses on beneficiaries who are living between the flood lines of the lower Orange River or those who were evacuated from this area. In order to accommodate these beneficiaries, the EIA and servicing of 373 new sub economical stands as well as the construction of 373 top structures on these stands (Greenfields), are included in this business plan.

This project will form part of the Kai !Garib Municipality's flood disaster rescue program, and will be executed according to the 2007-2012 Integrated Development Plan's Housing/Town Planning and Land Use Management Development Strategies as well as the Housing/Town Planning & Land Use Management IDP projects, as attached in **ANNEXURE A**.

Attached in **ANNEXURE B** is the Locality and Layout plan showing the position of the erven.

The developer for this project is the Kai !Garib Municipality. Details of their representatives are as follow:

Contact Person: Mr. A. Vosloo –Municipal Manager

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KEIMOES, 8860

Telephone number: 054 - 4616400
Fax number: 054 - 4616401
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Assisted by:
Contact Person: Mr. Niël Maritz

Contact Details: BVi Consulting Engineers
P.O. Box 1155
UPINGTON, 8800

Telephone number: 054 - 3376600
Fax number: 054 - 3376699
E-Mail: nielm@bvinc.co.za

1.2 PURPOSE/OBJECTIVE OF THE PROJECT

The main objective of this project is to improve the living conditions and quality of life of 373 disaster-struck households in terms of housing and to place the Kai IGarib Municipality in a position to meet the 2014 target to eradicate informal housing through the continuous provision of subsidised houses. This is stated clearly in the June 2008 version of the Kai IGarib IDP.

It is also expected that the project will create job opportunities for approximately 160 persons.

The aim is that ultimately 373 beneficiaries will have sole title deed ownership of the newly constructed houses, registered within their individual names.

2. PROBLEM STATEMENT

2.1 DEVELOPMENT NEEDS

The development needs and requirements are as follow:

DESCRIPTION	PROJECT	STANDS	PHASE 1 A				PHASE 1B	PHASE 2
			TOWN PLANNING	GEO-TECH	LAND SURVEYING	EIA	INTERNAL SERVICES	TOP STRUCTURES
Status	Kakamas	373 even	Completed	Completed	In Process	Outstanding	Outstanding	Outstanding

2.1.1 BUDGET CONSTRAINTS

The Kai IGarib Municipality do not have the financial- and/or human resources available to initiate this development on their own. The municipality is supported by COGHSTA and BVi Consulting Engineers.

3. PROJECT OUTLINE

3.1 LOCALITY

3.1.1 The area for the 373 even targeted for this development is located adjacent to an established sub-economical neighbourhood in Langverwag, Kakamas. The 373 sites are clustered together. Refer to the proposed layout plan in **ANNEXURE B**.

The GPS coordinates for the site where the 373 houses will be developed are:

South 28° 47' 36"
East 20° 37' 42"

3.2 TOWN PLANNING

3.1.2 TOWN PLANNING STATUS & COST IMPLICATIONS

Town planning is complete and was paid for by the Kai !Garib Municipality. This cost is included in the business plan for reimbursement by the Project Sponsor.

3.3 LAND AVAILABILITY/TRANSFER OF LAND

Land Survey is in process. Payments were made by the Municipality and are included in this business plan to be reimbursed by the Project Sponsor.

3.4 GEO-TECHNICAL STATUS & COST IMPLICATIONS

The geo-technical reports were obtained and are included in the business plan. Services have been paid for by the Kai !Garib Municipality, and included in this business plan for reimbursement by the Project Sponsor.

Please refer to **ANNEXURE D** for the geo-technical reports.

3.5 EIA STATUS & COST IMPLICATIONS

The proposed area for development is adjacent to formal and informal areas of Kakamas town. The target area will form part of the current formal town layout.

Due to the fact that the site planned for development is more than 20ha, a full EIA is required. The standard timeframe for a full EIA is 15 months, with no work to commence before EIA approval has been granted.

4. PROJECT ANALYSIS

4.1 SOCIAL COMPACT

The social agreement between the community of Kakamas and the Kai !Garib Municipality will be reached under the Municipality's IDP consultation process and will form part of the town planning process.

According to the requirements of the Northern Cape Planning and Development Act, the Public will be extensively involved during the planning phase.

4.2 SOCIO-ECONOMIC PROFILE

The income distribution of the target community in Kakamas reflects the typical income distribution generally found in previously disadvantaged communities in the greater South Africa.

The 2001 Census figures for the community (Langverwag) are as follow:

INCOME PER MONTH	HOUSEHOLDS	PERCENTAGE
0	99	7.5%
400	31	2.4%
800	189	14.4%
1600	291	22.2%
3200	352	26.8%
6400	214	16.3%
12800	95	7.2%
25600	42	3.2%
TOTAL	1313	100%

It is expected that the project will create job opportunities for approximately 300 people.

According to the table above, 46.5% of the households earn R1 600 per month or less.

The most recent figures received from the municipality estimates the income of the potential beneficiaries as follow:

BENEFICIARIES INCOME PER MONTH	HOUSEHOLDS	PERCENTAGE
No Income	91	13%
R 0 to R1 500	609	87%
TOTAL	373	100%

4.3 BENEFICIARIES

All the potential beneficiaries will be able to afford the future operation- and maintenance costs for the needed engineering services under the equitable share grant of the government. Subsidies applied for are as follow:

TOTAL FUNDS APPLIED FOR PER ERF			
DESCRIPTION	INDIRECT COST	DIRECT COST	TOTAL COST
P1 – ENGINEERING DESIGN			
P2 – PLANNING & SURVEYING			
P3 - SERVICES			
P4 - TRANSFERS			
P5 – TOP STRUCTURES			
SUB TOTAL			

BENEFICIARY	AMOUNT PER BENEFICIARY	TOTAL
P1 & P2 (700)		
P3 (700)		
P4 & P5 (373)		
TOTAL		

4.4 CONSUMER EDUCATION

A request for assistance with regard to consumer education will be submitted by the municipality to COGHSTA.

INFORMATION

4.5 RESOURCE ALLOCATION

The Kai !Garib Municipality does not have the financial- and/or human resources available to initiate this development on their own. The municipality is supported by COGHSTA and BVi Consulting Engineers.

4.6 OTHER ISSUES IMPACTING ON HOUSING DELIVERY

The upgrade of the bulk services (water, sewer and electrical) is critical, and is discussed in more detail under point 6.

As the Kai !Garib Municipality is currently not in a position to provide any bridging finance for this project or unable to pay interest charges on a loan, borrowing funds from a commercial institution is not an option.

The developer (Kai !Garib Municipality) therefore requests COGHSTA to provide 100% financing for this project.

5. HOUSING NEEDS

5.1 ALIGNMENT WITH POLICIES AND LEGISLATION

This project will be carried out strictly in alignment with the latest Kai !Garib Housing Policy, National Building and Municipal Scheme Regulations and other applicable regulations and policies.

5.2 THE NEED FOR AFFORDABLE HOUSING

The socio-economic profile of the Kakamas community and of those who were affected by the flood is a definite indication of the need that occurs for low cost/affordable housing.

The Kai !Garib Municipality's database has 1531 people listed who applied for low cost housing.

It is therefore clear that an urgent need exists for the development of affordable housing in Kakamas.

5.3 THE NEED TO RECTIFY THE HISTORICAL DISTORTED SPATIAL PATTERNS OF HUMAN SETTLEMENT

This housing project targets an area adjacent to a developed sub-economical area in Langverwag. The new area was identified in collaboration with the municipal council.

The June 2012 version of the Kai !Garib Municipality IDP describes the Spatial Analysis: Patterns and Trends as follows:

The Municipal Area of Kai !Garib is situated in the midst of a landscape along the Orange River, characterized by contrasts between semi-desert with sandy plains and wavy hills. The Orange River is the life vein of this Community and on both sides of the river, green cultivated land occurs, forming the largest economic base of this area. The Orange River is further the biggest driving force behind the whole area,

causing economic activities in the area over the last two decades to have expanded greatly.

Kai !Garib Municipality is situated between the 20°00' EL (eastern longitude) and 21° 30' EL as well as between the 28°20' SL (southern latitude) and 29°30' SL and is bordered by the Municipal Boundaries of //Khara Hais Municipality in the Northeast. It also borders Namibia in the Northwest.

The Municipal Area falls within the Siyanda District Municipality's Area and covers an area of 7449km². The Municipal Area consists of 3 large towns, i.e. Kakamas, Keimoes and Kenhardt. In between these towns, 6 former settlements are found, previously administrated by the "Benede-Oranje" District Council.

5.4 PROJECT PHASES, FINANCIAL BUDGET AND TIME FRAME

The project will be implemented through the following phases:

PHASE	DESCRIPTION	TIME FRAME	BUDGET
PHASE 1A	P2	Oct 2012 – May 2013	
PHASE 1B	P1	Oct 2012 – Dec 2012	
	P3	May 2013 – Dec 2013	
PHASE 2	P5	Jan 2014 – Jun 2015	
	P4	Feb 2014 – Jul 2015	
Total			

The program is based on a full EIA.

See **ANNEXURE E** for a more detailed program.

5.5 PARTNERSHIPS WITH DIFFERENT STAKEHOLDERS

Other stakeholders include Department of Water Affairs (DWA), Regional Bulk Infrastructure Grant (RBIG), Municipal Infrastructure Grant (MIG) and Department Rural Development on the bulk services.

5.6 HOUSING TASK TEAM

Kai !Garib Municipality has a Housing Department that handles and co-ordinate all housing related issues in accordance with COGHSTA's policies.

6. PROJECT DESCRIPTION (ENGINEERING SERVICES)

6.1 BULK SERVICES

6.1.1 Water

The bulk water infrastructure of Kakamas has over the last 3 years come under severe pressure due to primarily increased demand but also due to the

age of the infrastructure which is now requiring intervention due to the high cost of maintenance and increasing difficulty to meet the demand.

The Kakamas bulk water supply system has not been upgraded in more than 20 years and the current condition of the equipment as well as their growing inability to meet the peak demands is proof enough that an upgrade is eminent.

The bulk services needs to be upgraded to accommodate the existing demand as well as future extensions. Funding to be sourced for the upgrading of the bulk water for Kakamas.

6.1.2 Sewer

Currently, the wastewater is treated at a set of oxidation ponds located southwest of Kakamas and located on high ground.

Large sections of Kakamas and all the villages located north and northwest of Kakamas as far as Augrabies Village are still served by conservancy tanks. The wastewater from all these areas are emptied by suction tankers on a 2 weekly basis and disposed of at the existing Kakamas oxidation Ponds.

The existing wastewater treatment in Kakamas has become inadequate and is already heavily overloaded due to population growth.

The bulk services needs to be upgraded to accommodate the existing demand as well as future extensions. Funding to be sourced for the upgrading of the bulk sewer for Kakamas.

6.1.3 Storm Water Drainage

Adjacent to the site is a storm water canal which will handle all the external major run-off water. Storm water therefore doesn't pose a threat. Local storm water will be accommodated with the gravel streets.

6.1.4 Electricity

The planned development is located to the east of the existing substation, Kakamas Main Substation.

At a design ADMD of 1,54 kVA (20 Amp connection) per household for 373 even the expected maximum demand will be 1,1 MVA. This load can be accommodated on the existing medium voltage network which can be extended into the new area.

A new overhead ACSR feeder line will be required and will be connected to an existing feeder to form a ring feed.

The notified maximum demand registered with Eskom will have to be confirmed and adjusted if necessary.

An application for the upgrade of the bulk electrical services to MIG, RBIG, DoE, etc. will be submitted concurrent to this application.

6.1.5 Access Streets

The sites that will be developed in Kakamas are located adjacent to a paved main access street that runs through Langverwag.

6.1.6 Street Lighting

High mast lighting will be provided as part of the internal services, and is included in this application. Construction will be done simultaneously with the civil services.

6.2 INTERNAL SERVICES (FOR THE PROPOSED DEVELOPMENT)

The level of engineering services to be supplied will be in line with the "Guidelines for the Provision of Engineering Services and Amenities in Residential Township Development" (Red Book) as published by the National Housing Board.

6.2.1 Water Network/System

The completed water network/system is in line with the following Specifications:

- | | | | |
|-----|------------------------|---|--|
| (a) | Demand (per day) | : | 600 l/plot/day |
| (b) | Peak factor | : | 6 x average demand per day |
| (c) | Min. water pressure | : | 12 m |
| (d) | Fire extinguishing | : | Low risk - Group 3 |
| (e) | Single plot connection | : | 20 mm HDPE |
| (f) | Double plot connection | : | 25 mm HDPE |
| (g) | Water meter | : | 15 mm half positive type with single turn suction in meter box |

6.2.2 Sanitation Network/System

The completed sanitation network/system is in line with the following Specifications:

- | | | | |
|-----|-----------------------------|---|----------------------------|
| (a) | Type | : | Water borne sewerage |
| (b) | Average flow | : | 500 l/plot/day |
| (c) | Peak factor | : | 2.5 |
| (d) | Pipe material | : | uPVC |
| (e) | Min. diameter | : | 110 mm |
| (f) | Inspection hole positioning | : | 90 m max. centre to centre |

- (g) Locality : Next to plot boundary and mid block
- (h) Plot connections : Within 2.0 m from the lowest corner of the plot adjacent to the collection sewerage pipe

6.2.3 Street and Storm Water Network

The internal streets will be upgraded to a gravel standard by doing the following:

- Taking out access material to base level
- Rip and re-compact of in situ sub base
- Importing and compacting of 100mm imported base

The following standards apply:

- (a) Collector streets : 6m gravel streets (in a min. 13m reserve)
- (b) Access streets (to plots): 4.2m gravel streets (min. 10m reserve)

Local storm water has been dealt with as follows:

- (a) The street reserve is aligned to channel storm water to side drains.
- (b) Floor levels of the top structures will be designed according to the level of the street pavements.

6.2.4 Electricity

The provision of electricity for the 373 houses will be financed by the Municipality through INEP. Construction of the electrical infrastructure will be done simultaneously with the civil services.

6.2.5 Variation allowance (geo-technical)

The geological conditions encountered during construction of the civil services for erven adjacent to this area was as follows:

- 60% hard rock
- 20% boulders

This information was entered into the subsidy variation calculator, attached in **ANNEXURE K**.

6.3 DEVELOPMENT COSTS

The estimated cost for the proposed development is as follows. The calculated subsidy variation reflected in the table below was obtained from the subsidy variation calculator, attached in **ANNEXURE K**.

FUNDS APPLIED FOR INDIRECT COSTS		
DESCRIPTION	MAX SUBSIDY	SUBSIDY CLAIMED
INDIRECT COSTS		
Professional Fees		
Safety Inspector (DoL)		
Environmental Control Officer		
EIA		
Pre-planning Studies		
Project Management		
Geotechnical Evaluation		
Contour Survey		
Land Surveying and Site Pegging		
Land Survey Examination Fee		
Town Planning		
Civil Engineer : Services		
Site Supervision : Clerk of Works - Civil		
Social Facilitation		
Legal Fees		
SUB-TOTAL : INDIRECT COST		
Water Reticulation including meter		
Sanitation Reticulation		
Roads		
Storm Water		
Street Lighting		
SUB-TOTAL : DIRECT COST		
TOTAL COST OF A SERVICED STAND		
SUB-TOTAL : INDIRECT COST		
SUB-TOTAL : DIRECT COST		
TOTAL COST (ROUNDED OFF)		
SUBSIDY VARIATION FOR HOUSE PER ERF (FROM VARIATIONS CALCULATOR)		
TOTAL SUBSIDY FOR HOUSE PER ERF APPLIED FOR (ROUNDED OFF)		

6.4 IMPLEMENTATION PROCESS AND PROGRAMME

The construction of the civil and electrical services can only commence after EIA approval. The program is based on a full EIA of 15 months. Attached in **ANNEXURE E** is a high level program, covering the main project activities.

7. CONSTRUCTION OF HOUSES

7.1 BENEFICIARIES AND ADMINISTRATION (ROLES AND RESPONSIBILITIES)

Construction of the services and top structures will be handled on a tender basis, in line with the applicable rules and regulations of the Local Government's procurement policy. Project management and administration, as well as quality control will be done by qualified consulting engineers.

The beneficiaries will be represented by appointed representatives on a project steering committee that will meet on a regular basis. All aspects of the project will be discussed on this committee. Beneficiaries will be informed through meetings or written notices of all important aspects. A Community Liaison Officer will be appointed to assist with the above.

7.2 TRANSFER OF PROPERTIES

The cost of a transfer per house will be R 844.80 per house which brings the total costs of the transfer of properties to R 315,110.40.

Transfers of properties will be done in three batches:

Month	Number of plots transferred	Number of Top-structures Transferred	Value of Transfers
Jul 2015	373	373	

7.3 PLANNED HOUSES (BNG MINIMUM STANDARDS)

The houses will be constructed according to the BNG minimum standards as stipulated in the Revised Technical Norms and Standards for the Construction of Stand Alone Residential Dwellings Financed through National Housing Programs, Part 3 (of the National Housing Code) 2007.

Refer to **ANNEXURE L** for the proposed top structure alternatives.

7.4 FOUNDATION NEEDED (BASED ON GEO-TECHNICAL REPORT)

No problems are foreseen in this regard. A geotechnical investigation report was completed as part of the planning process in order to ensure that the all the conditions regarding foundations are met.

7.5 VARIATION ALLOWANCE (GEO-TECHNICAL, DISTANCE FROM MAJOR CENTRES)

The calculated subsidy variation reflected in the table below was obtained from the subsidy variation calculator, attached in **ANNEXURE K**.

7.6 CONSTRUCTION COSTS

FUNDS APPLIED FOR 40 m ² HOUSE	
3 NOV 2011	
Earthworks (provisional)	
Concrete, Formwork and Reinforcement	
Brickwork	
Roof Structure	
Windows	
Doors and Frames	
Finishing and Paintwork	
Electrical	
Plumbing and Toilet	
MATERIAL	
Labour	
SUB TOTAL	
P & G	
Overheads	
Transfer Costs	
Beneficiary Administration	
Profit	
TOTAL	
SUBSIDY VARIATION FOR HOUSE PER ERF (FROM VARIATIONS CALCULATOR)	
TOTAL SUBSIDY FOR HOUSE PER ERF APPLIED FOR (ROUNDED OFF)	

Notes:

No allowance is made for delays in construction due to unrest or related events on-site.

Above estimated costs per plot are based on completion of an average of 60 houses per month.

7.7 IMPLEMENTATION PROCESS AND PROGRAMME

The town planning, including the EIA study can commence immediately after the approval of this business plan. Unfortunately no construction work can commence before an approved EIA, as indicated in the attached Gantt Chart (**ANNEXURE E**).

The implementation program has been based on the scenario of a full EIA (15 months) for the construction of the internal services and top structures. The upgrade of the waste water treatment works will however require a full EIA (15 months). The internal sewer and bulk waste water upgrade will finish simultaneously.

7.8 ONSITE SERVICES

On site services will be constructed by the Contractor appointed for the construction of the top structures as part of the same contract.

8. MONITORING AND EVALUATION OF CONSTRUCTION

A quality control system will be implemented as part of the project management. The construction process will be monitored twice a week by a qualified Building Inspector employed by the Consulting Engineer in order to ensure that the required quality is maintained. Materials will be tested.

9. TOTAL FUNDS APPLIED FOR UNDER THIS PROJECT

9.1 PROJECT FUNDS APPLIED

The total funds applied for under this project for direct and indirect costs are as follows:

TOTAL FUNDS APPLIED FOR PER ERF			
DESCRIPTION	INDIRECT COST	DIRECT COST	TOTAL COST
P1 – ENGINEERING DESIGN			
P2 – PLANNING & SURVEYING			
P3 - SERVICES			
P4 - TRANSFERS			
P5 – TOP STRUCTURES			
SUB TOTAL			

BENEFICIARY	AMOUNT PER BENEFICIARY	TOTAL
P1 & P2 (700)		
P3 (700)		
P4 & P5 (373)		
TOTAL		

9.2 FUNDS NEEDED PER FINANCIAL YEAR

The total amount required per financial year is listed in the table below:

FINANCIAL YEAR	FUNDS NEEDED
2012/2013	
2013/2014	
2014/2015	
TOTAL	

This is a proposed and preliminary cash flow forecast. Cash flow can be revised in order to meet COGHSTA's commitments.

10. DECLARATION BY DEVELOPER

I hereby declare the information as supplied in this business plan as true and correct and hereby declare myself willing to ensure that the implementation of this project adhere to the regulations of the national housing regulations. I undertake to sign an agreement with COGHSTA upon approval of this project.

SIGNED AT ON THIS DAY OF 2012

.....
NAME

.....
CAPACITY

WITNESSES

1.

2.

APPENDIX D (3)

Biodiversity Assessment



PB Consult
Ecological & Botanical management services

KAKAMAS

LOW COST HOUSING DEVELOPMENT

BIODIVERSITY ASSESSMENT & BOTANICAL SCAN

A preliminary Biodiversity & Botanical scan in order to identify significant environmental features (and to identify the need for additional studies, if required).

March 11, 2013



PREPARED BY: PB Consult

PREPARED FOR: ENVIROAFRICA CC

REQUESTED BY: BVI ENGINEERS

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INDEPENDENCE & CONDITIONS

PB Consult is an independent consultant and has no interest in the activity other than fair remuneration for services rendered. Remunerations for services are not linked to approval by decision making authorities and PB Consult have no interest in secondary or downstream development as a result of the authorization of this proposed project. There are no circumstances that compromise the objectivity of this report. The findings, results, observations and recommendations given in this report are based on the author's best scientific and professional knowledge and available information. PB Consult reserve the right to modify aspects of this report, including the recommendations if new information become available which may have a significant impact on the findings of this report.

RELEVANT QUALIFICATIONS & EXPERIENCE OF THE AUTHOR

Mr. Peet Botes holds a BSc. (Hons.) degree in Plant Ecology from the University of Stellenbosch (Nature Conservation III & IV as extra subjects). Since qualifying with his degree, he had worked for more than 20 years in the environmental management field, first at the Overberg Test Range (a Division of Denel) managing the environmental department of OTB and being responsible for developing and implementing an ISO14001 environmental management system, ensuring environmental compliance, performing environmental risk assessments with regards to missile tests and planning the management of the 26 000 ha of natural veld, working closely with CapeNature (De Hoop Nature Reserve). In 2005 he joined Enviroscientific, an independent environmental consultancy specializing in wastewater management, botanical and biodiversity assessments, developing environmental management plans and strategies, environmental control work as well as doing environmental compliance audits and was also responsible for helping develop the biodiversity part of the Farming for the Future audit system implemented by Woolworths. During his time with Enviroscientific he performed more than 400 biodiversity and environmental legal compliance audits. During 2010 he joined EnviroAfrica in order to move back to the biodiversity aspects of environmental management. Experience with EnviroAfrica includes EIA applications, biodiversity assessment, botanical assessment, environmental compliance audits and environmental control work.

Yours sincerely,



P.J.J. Botes
Professional Environmental and Ecological Scientist

SUMMARY - MAIN CONCLUSIONS

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ASPECT	SHORT DESCRIPTION	SIGNIFICANCE RATING
Geology & soils	Geology & soils vary only slightly in the larger study area, with sandy soils found over most of the area.	No special features have been encountered (e.g. true quartz patches or broken veld) and the impact on geology and soils is expected to be very localised and low. Refer to Geology & Soils on page 9. Impact = very low
Land use and cover	Natural veld utilised for stock grazing.	Approximately 80% of the site is already settled by informal housing, and is also used for communal grazing, with relatively formal livestock (pigs, sheep and goats) pens located on a portion of the property (Refer to Landuse and Cover page 10). The additional impact on land use and cover is expected to be <u>very low and localised</u> .
Vegetation types	Bushmanland Arid Grassland	This vegetation type is considered " <u>Least threatened</u> ", and has been mostly transformed due to human activities. According to the draft Siyanda EMF, the vegetation is of medium conservation priority, but of very low environmental significance and does not fall within a proposed conservation area. <u>Impact low</u> .
Conservation priority areas.	In terms of the draft Siyanda EMF	According to the EMF the site also does not fall within a proposed conservation area (although situated near to a proposed conservation area). <u>Impact low/localised</u> .
Sensitivity index	In terms of the draft Siyanda EMF	According to the EMF, the proposed site falls within an area identified as of very low environmental sensitivity (1). <u>Impact low and localised</u> .
Protected plant species	Only one protected plant species (Refer to Endemic or Protected plant Species, page 14), in terms of the NCNCA was observed.	It is considered possible that a small number of protected species may be impacted. However, the site is mostly degraded already and the only viable option would be to consider search & rescue of all significant species. Impact considered being <u>medium low</u> .
Fauna & Avi-fauna	The site is used for live-stock grazing and has been almost totally transformed as a result of current settlement.	Although natural fauna and avi-fauna may still be present, it is expected that it would be limited to avi-fauna, insects and maybe some reptile's species. The activity is not expected to have a significant additional impact on fauna or avi-fauna. <u>Impact low</u> .
Rivers & wetlands	Most of the seasonal drainage lines on the property have already been transformed or incorporated into storm water systems. However, a few of the upper drainage lines are still relatively natural and will be impacted.	The formalisation of Ervin on the property will certainly impact on the remaining relative natural seasonal streams or drainage lines on the property. However, most of these streams have already been degraded to a large extent. It is recommended that the remaining natural streams be protected through small buffer zones, but it is expected that these drainage lines will eventually have to be formalised and incorporated within the town's storm water system. The impact is thus expected to be permanent but will be localised and is not expected to significantly alter the current degraded ecological value of the system as a whole. However, it is imperative that these systems are not used as dumping areas for household waste. The impact on rivers is thus considered <u>medium</u> .
Invasive alien infestation	A number of <i>Prosopis</i> individuals were observed, but even more alarming was the presence of the alien boxing glove cactus.	All <i>Prosopis</i> species not directly associated with the cattle pens should be removed. The <i>Prosopis</i> species at the cattle pens should be replaced over time with indigenous species (or removed if the pens are not needed any more). The shade value of these trees, most probably, makes it very important to the owners of the pens NB: The presence of the emerging invasive cactus <i>Cylindropuntia fulgida</i> (Boxing-glove cactus) is most alarming and it is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible. If implemented the impact can be regarded as positive.
RECOMMENDATION		
<p>The impact on the regional status of this vegetation type and associated biodiversity features (e.g. watercourses and drainage lines) would likely be only medium-low. No significant additional species-loss, habitat-loss, connectivity or associated impact can be foreseen from locating the low cost housing project on the proposed site. The site visit and desktop studies described and evaluated in this document led to the conclusion that the "No-Go Alternative" alternative will not result in significant gain in regional conservation targets, the conservation of rare & endangered species or gain in connectivity. At the best the No-Go alternative will only support the "status quo" of the specific site while further land will have to be investigated for development purposes.</p> <p>With the available information to the author's disposal it is recommended that the project be approved, but that all mitigation measures described in this document is implemented.</p>		

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INTRODUCTION

People, among which mainly farm workers, has settled in areas next to the Orange River (Kakamas area) that are subject to floods, and on islands that are inaccessible during high water conditions. Major floods occurred in 1976, 1988 and 2011. The flood in 2011 left many people homeless. Subsistence farmers, who produced agricultural crops in these areas, also lost their harvest. Some of these disaster-struck people moved to higher areas, but are still without any services such as water, sanitation or electricity. These living conditions form the root cause of other problems such as malnutrition, diseases due to pollution, limited access to educational and medical facilities. During flood conditions, the road infrastructure also becomes inaccessible, making it difficult for workers to travel to their work place and back. Not only does this have a negative effect on the main income of the worker, but it also has a ripple effect on the production sector, whether it be the local or export market. Based on the reasons stated, the municipality has indicated that there is a pressing need for houses, especially low cost housing, as well as serviced plots, within the Kai IGarib Municipal Area (BVI, 2012)

This project will form part of the Kai IGarib Municipality's flood disaster rescue program, and will be executed according to the 2007-2012 Integrated Development Plan's Housing/Town Planning and Land Use Management Development Strategies as well as the Housing/Town Planning & Land Use Management IDP projects. This figure does not accommodate all the flood related victims, nor does it meet the housing backlog.

The area proposed for the relocation of the flood victims had already been settled to a large degree (by some of these victims). With this application the Municipality is in effect making an effort to formalise the settlement and to incorporate the necessary services.

TERMS OF REFERENCE

EnviroAfrica (Pty) Ltd was appointed by BVI Engineers as the independent Environmental Assessment Practitioner (EAP) to undertake the Scoping/Environmental Impact Assessment (EIA) Process for the proposed development. PB Consult was appointed by EnviroAfrica to conduct a Biodiversity Assessment of the proposed development area.

PB Consult was appointed within the following terms of reference:

- Evaluate the general location of the proposed site and make recommendations on a specific location for the 20
- The study must consider short- to long-term implications of impacts on biodiversity and highlight irreversible impacts or irreplaceable loss of species.

DEFINITIONS & ABBREVIATIONS

DEFINITIONS

Construction: means the period of the project during which the actual works are carried out, deemed to include site establishment, site preparation, the works, maintenance period and decommissioning.

Construction site: means the area influenced and affected by the construction activities or under the control of the Contractor often referred to as "the Site".

Contaminated water: means water contaminated by the Contractor's activities, e.g. concrete water and runoff from plant/ personnel wash areas.

Environment: means the surroundings within which humans exist and that are made up of:

- the land, water and atmosphere of the earth;
- micro-organisms, plant and animal life;
- any part of the combination of the above two bullets and the interrelationships between them;
- the physical, chemical, aesthetic and cultural properties and conditions of the foregoing that influence human health and well-being

Environmental Aspect: any element of any construction activity, product or services that can interact with the environment.

Environmental Control Officer: a suitably qualified environmental agent responsible for overseeing the environmental aspects of the Construction phase of the EMP.

Environmental Impact: any change to the environment, whether adverse or beneficial, wholly or partially resulting from any construction activity, product or services.

No-Go Area(s): an area of such (environmental/aesthetical) importance that no person or activity are allowed within a designated boundary surrounding this area.

Owner: the owner, or dedicated person, responsible for the management of the property on which the proposed activity will be performed.

Solid waste: means all solid waste, including construction debris, chemical waste, excess cement/concrete, wrapping materials, timber, tins and cans, drums, wire, nails, food and domestic waste (e.g. plastic packets and wrappers).

Precautionary principle: means the basic principle, that when in doubt or having insufficient or unreliable information on which to base a decision, to then limit activities in order to minimise any possible environmental impact.

Watercourse: in this report the author uses a very simplified classification system to define the difference between rivers, streams or a drainage lines encountered in the Northern Cape.

- **River:** A river is a natural watercourse with a riverbed wider than 3m, usually freshwater, flowing toward an ocean, a lake, a sea or another river. In a few cases, a river simply flows into the ground or dries up completely before reaching another body of water. The flow could be seasonal or permanent.
- **Stream:** A small river or natural watercourse with a riverbed of less than 3 m, usually freshwater, flowing toward an ocean, a lake, a sea or another river. In a few cases, a river simply flows into the ground or dries up completely before reaching another body of water. The flow could be seasonal or permanent.

- **Drainage line:** A very small and poorly defined watercourse, mostly on relatively flat areas, which only flows for a short period after heavy rains, usually feeding into a stream or river or dries up completely before reaching another body of water.

ABBREVIATIONS

BGIS	Biodiversity Geographical Information System
CARA	Conservation of Agricultural Resources Act 43 of 1983
CBA	Critical Biodiversity Areas (Municipal)
DAFF	Department of Agriculture Forestry and Fisheries
DEA	Department of Environmental Affairs
DENC	Department of Environment and Nature Conservation (Northern Cape Province)
EAP	Environmental assessment practitioner
EIA	Environmental impact assessment
EMF	(Municipal) Environmental Management Framework
EMP	Environmental management plan
LCH	Low Cost Housing
NCNCA	Northern Cape Nature Conservation Act 9 of 2009
NEMA	National Environmental Management Act, Act 107 of 1998
NEMAQA	National Environmental Management Air Quality Act 39 of 2004
NEMBA	National Environmental Management Biodiversity Act, Act 10 of 2004
NEMPAA	National Environmental Management Protected Areas Act 57 of 2003
NEMWA	National Environmental Management Waste Act 59 of 2008
NFA	National Forests Act 84 of 1998
NSBA	National Spatial Biodiversity Assessment
NVFFA	National Veld and Forest Fire Act 101 of 1998
NWA	National Water Act 36 of 1998
SABIF	South African Biodiversity Information Facility
SANBI	South African National Biodiversity Institute
SIBIS	SANBI's Integrated Biodiversity Information System
SKEP	Succulent Karoo Ecosystem Project
WWTW	Wastewater Treatment Works

APPLICABLE LEGISLATION

The following applicable legislation must be read as part of the original Biodiversity scan.

Constitution of the Republic of South Africa (1996): of special relevance in terms of environment is section 24

Conservation of Agricultural Resources Act 43 of 1983 (CARA): supports conservation of natural agricultural resources (soil, water, plant biodiversity) by maintaining the production potential of the land and combating/preventing erosion; for example, by controlling or eradicating declared weeds and invader plants.

Hazardous Substances Act 15 of 1973: to control substances that may cause injury, ill-health, or death through their toxic, corrosive, irritant, strongly sensitizing or flammable nature, or by the generation of pressure

National Environmental Management: Air Quality Act 39 of 2004 (NEMAQA): replaces the Atmospheric Pollution Prevention Act (No. 45 of 1965)

- **Environmental Impact Assessment Regulations (R543 of 2010):** procedures to be followed for application to conduct a listed activity.

National Environmental Management: Biodiversity Act 10 of 2004 (NEMBA): supports conservation of plant and animal biodiversity, including the soil and water upon which it depends.

- **National list of ecosystems that are threatened and in need of protection** (GN 1002 of 9 December 2011).

National Environmental Management: Protected Areas Act 57 of 2003 (as amended Act 31 of 2004) (NEMPAA): To provide for the protection and conservation of ecologically viable areas representative of South Africa's biological diversity and its natural landscapes and seascapes.

National Environmental Management: Waste Act 59 of 2008 (NEMWA): To reform the law regulating waste management in order to protect health and the environment by providing reasonable measures for the prevention of pollution and ecological degradation and for securing ecologically sustainable development.

- **List of Waste Management Activities that have, or are likely to have a detrimental effect on the environment** (GN 718 of 3 July 2009): Identifies activities in respect of which a waste management license is required.

National Forest Act 84 of 1998 (as amended): supports sustainable forest management and the restructuring of the forestry sector.

- **List of protected tree species** (GN 734 of 16 September 2011)

National Heritage Resources Act 25 of 1999: supports an integrated and interactive system for the management of national heritage resources, including supports soil, water and animal and plant biodiversity.

National Veld and Forest Fire Act 101 of 1998 (NVFF): protects soil, water and plant life through the prevention and combating of veld, forest, and mountain fires.

- **National Veldfire Risk Classification 2010** – the DAFF fire risk assessment for South Africa (Forsyth 2010).

National Water Act 36 of 1998 (NWA): promotes the protection, use, development, conservation, management, and control of water resources in a sustainable and equitable manner.

Nature and Environmental Conservation Ordinance 19 of 1974 (as amended)

Northern Cape Nature Conservation Act 9 of 2009 (NCNCA): To provide for the sustainable utilization of wild animals, aquatic biota and plants.

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DESCRIPTION OF ENVIRONMENT

The aim of this description is to put the study area in perspective with regards to all probable significant biodiversity features which might be encountered within the study area. The study area has been taken as the proposed site and its immediate surroundings. During the desktop study any significant biodiversity features associated with the larger surroundings was identified, and were taken into account. The desktop portion of the study also informs as to the biodiversity status of such features as classified in the National Spatial Biodiversity Assessment (2004) as well as in the recent National list of ecosystems that are threatened and in need of protection (GN 1002, December 2011), promulgated in terms of the National Environmental Management Biodiversity Act (NEM: BA), Act 10 of 2004.

LOCATION & LAYOUT

Kakamas is located in the Northern Cape Province (Kai !Garib Local Municipality), just north of the N14 approximately 40 km west of Upington (Refer to Figure). The proposed housing development will be located approximately adjacent to the existing Kakamas on a >40 ha portion of the Remainder of Erf 1928 (refer to Figure 1).

Figure 1: The general location of Kakamas

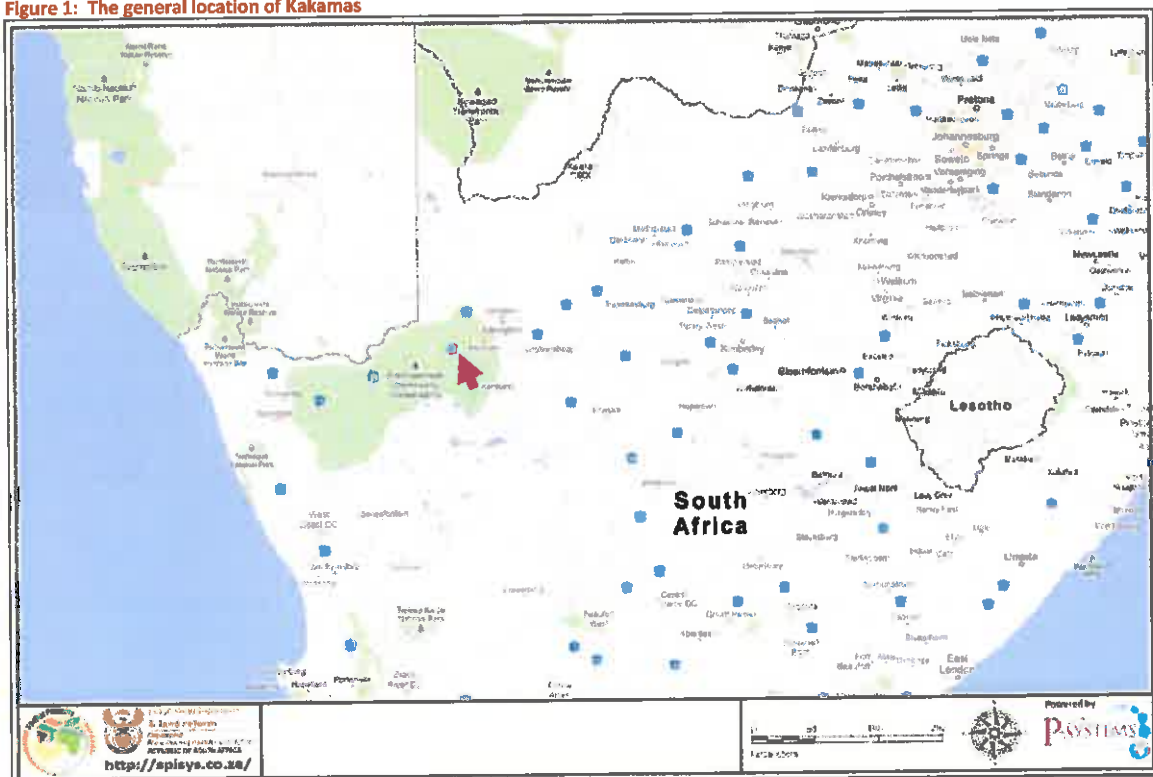


Figure 2: The proposed site for the Kakamas LCH (next to Kakamas)



Table 1: GPS coordinates describing the boundaries of the proposed final solar site location (WGS 84 format)

DESCRIPTION	LATITUDE AND LONGITUDE	ALTITUDE
North-west corner	S28 47 39.3 E20 37 31.7	682 m
North-east corner	S28 47 28.5 E20 38 11.2	668 m
South-east corner	S28 47 51.0 E20 38 14.1	678 m
South-west corner	S28 47 56.5 E20 37 44.3	686 m

METHODS

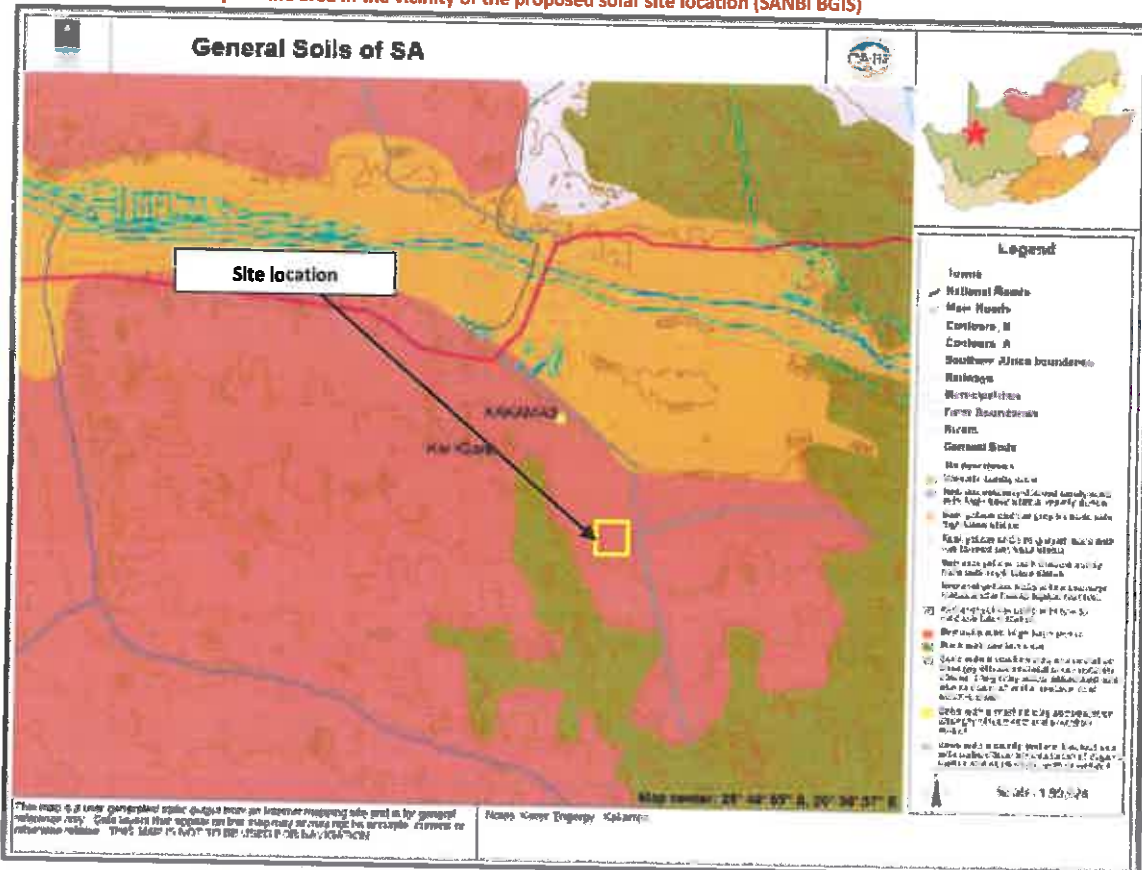
Desktop studies were conducted, coupled by a physical site visit conducted during December 2012. The timing of the site visit was reasonable in that essentially all perennial plants were identifiable and although the possibility remains that a few species may have been missed, the author is confident that a fairly good understanding of the biodiversity status in the area was obtained.

The survey was conducted by walking through the site and examining, marking and photographing any area of interest. Confidence in the findings is high. During the site visit the author endeavoured to identify and locate all significant biodiversity features, including rivers, streams or wetlands, special plant species and or specific soil conditions which might indicate special botanical features (e.g. rocky outcrops or silcrete patches).

GEOLOGY & SOILS

Geology is dominated by mudstones and shales of the Ecca Group (Prince Albert and Volksrust Formations) and Dwyka tillites, both of the early Karoo age. About 20% of rock outcrops are formed by Jurassic intrusive dolerite sheets and dykes. Soils (Refer to Figure 4) are described as soils with minimal development, usually shallow on hard or weathering rock, Glenrosa and Mispah forms, with lime generally present in the entire landscape (Fc land type) and, to a lesser extent, red-yellow apedal, freely drained soils with a high base status and usually <15% clay (Ah and Ai land types) are also found. The salt content in these soils is very high (Mucina & Rutherford, 2006).

Figure 4: General soil map for the area in the vicinity of the proposed solar site location (SANBI BGIS)



Please note that small areas littered with surface quartz stones have been observed, but they were not extensive and are not regarded as Quartz patches. Quartz patches are usually associated with arid or semi-arid habitats, characterised by concentrations of quartz stones on the surface and in the upper soil layers. Often these patches are cooler than surrounding vegetation and generally dominated by succulent “stone-plants”, many of which are endemic. In the study area the quartz stones were found on the surface only and the concentration not such that it dominated any one patch, in fact the subsoil mostly still dominated the characteristics of the vegetation. The vegetation did not differ markedly from the surrounding areas and no succulent “stone-plants” were observed. These areas were thus not considered true quartz patches or special habitats of significance.

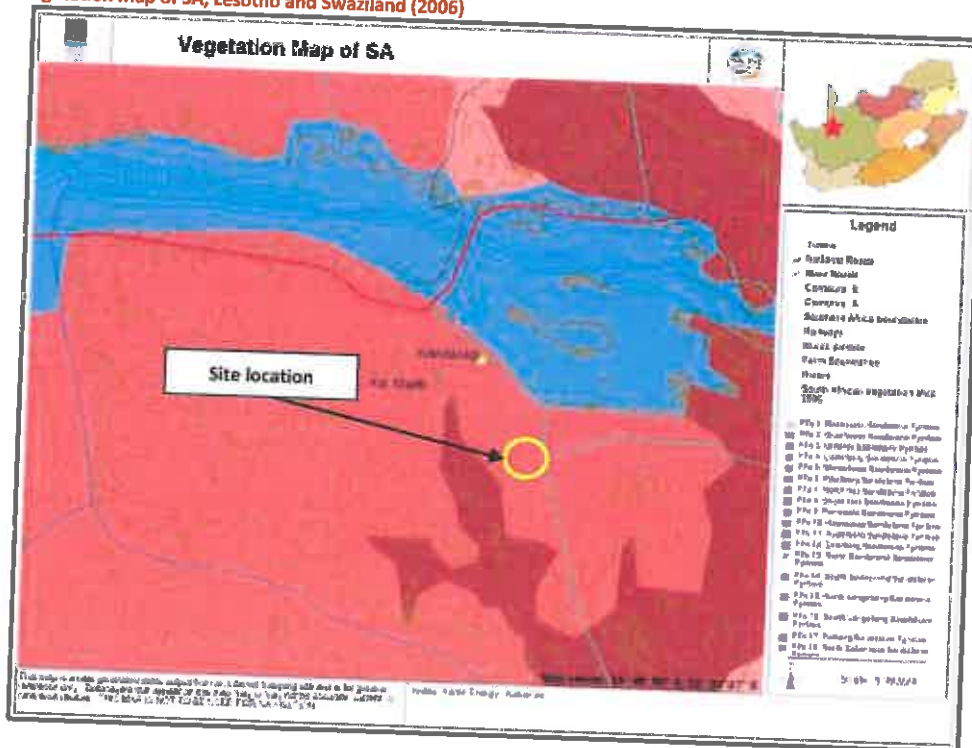
LANDUSE AND COVER

The study area is situated next to the urban edge of the town of Kakamas. Approximately 80% of the site is already settled by informal housing, and is also used for communal grazing, with relatively formal livestock (pigs, sheep and goats) pens located on a portion of the property. The proposed LCH will be located on approximately 40 ha of the Erf, adjacent to the southernmost part of Kakamas. Natural vegetation only remains on small portions of the property and in most instances have already been transformed or removed. Please note that a number of watercourses and drainage lines criss-cross the Erf.

VEGETATION TYPES

In accordance with the 2006 Vegetation map of South Africa, Lesotho and Swaziland (Mucina & Rutherford, 2006) only one broad vegetation type is expected in the proposed area and its immediate vicinity, namely Bushmanland Arid Grassland (Light red in Figure 5). This vegetation type was classified as "Least Threatened" during the 2004 National Spatial Biodiversity Assessment (NSBA). More than 99% of this vegetation still remains in its natural state, but at present only 4% is formally protected (Augrabies Falls National Park) throughout South Africa. Recently the *National list of ecosystems that are threatened and in need of protection* (GN 1002, December 2011), was promulgated in terms of the National Environmental Management Biodiversity Act (NEM: BA), Act 10 of 2004. According to this National list, Bushmanland Arid Grassland, remains classified as Least Threatened.

Figure 5: Vegetation map of SA, Lesotho and Swaziland (2006)



Bushmanland Arid Grassland is found in the Northern Cape Province spanning about one degree of latitude from around Aggeneys in the west to Prieska in the east. The southern border of the unit is formed by edges of the Bushmanland Basin while in the north-west this vegetation unit borders on desert vegetation (north-west of Aggeneys and Pofadder).

The northern border (in the vicinity of Upington) and the eastern border (between Upington and Prieska) are formed with often intermingling units of Lower Gariep Broken Veld, Kalahari Karroid Shrubland and Gordonia Duneveld. Most of the western border is formed by the edge of the Namaqualand hills. Altitude varies from 600 – 1 200 m (Mucina & Rutherford, 2006).

BUSHMANLAND ARID GRASSLAND

Bushmanland Arid Grassland is described as extensive to irregular plains on a slightly sloping plateau sparsely vegetated by grassland dominated by white grasses (*Stipagrostis* species) giving this vegetation type the character of semi-desert "steppe". Sometimes low shrubs of *Salsola* change the vegetation structure. In years of abundant rainfall rich displays of annual herbs can be expected (Mucina & Rutherford, 2006). Acocks (1953) described this vegetation as Arid Karoo and Desert False Grassland or Orange River Broken Veld while Low & Rebelo (1996) described this vegetation as Orange River Nama Karoo.

According to Mucina & Rutherford (2006) important taxa includes the following:

Graminoids: *Aristida adensionis*, *A. congesta*, *Enneapogon desvauxii*, *Eragrostis nindensis*, *Schmidtia kalahariensis*, *Stipagrostis ciliate*, *S. Obtuse*, *Cenchrus ciliaris*, *Enneapogon scaber*, *Eragrostis annulata*, *E. porosa*, *E. procumbens*, *Panicum lanipes*, *Setaria verticillata*, *Sporobolus nervosus*, *Stipagrostis brevifolia*, *S uniplumis*, *Tragus berteronianus* and *T racemosus*.

Small trees: *Acacia mellifera*, *Boscia foetida* subsp. *foetida*

Tall shrubs: *Lycium cinereum*, *Rhigozum trichotomum*, *Aptosimum spinescens*, *Hermannia spinosa*, *Pentzia spinescens*, *Aizoon asbestinum*, *Aizoon schellenbergii*, *Aptosimum elongatum*, *Aptosimum lineare*, *A marlothii*, *Barleria rigida*, *Berkheya annectens*, *Eriocephalus ambiguous*, *Eriocephalus spinescens*, *Limeum aethiopicum*, *Polygala seminuda*, *Pteronia leucoclada*, *Tetragonia arbuscula*, *Zygophyllum microphyllum*

Succulent Shrubs: *Kleinia longiflora*, *Lycium bosciifolium*, *Salsola tuberculata*, *S gabrescens*.

Herbs: *Acanthopsis hoffmannseggiana*, *Aizoon canariense*, *Amaranthus praetermissus*, *Dicoma capensis*, *Lotononis platycarpa*, *Sesamum capense*, *Tribulus pterophorus* etc.

VEGETATION ENCOUNTERED

Very little natural veld remains on the property. According to the Municipality the property had been used by subsistence farmers over a long period of time. As a result almost the entire property is already transformed as a result of grazing practices and other human and associated activities. Only to the northwest of the site small areas with a slight resemblance to natural veld remains on some of the higher “koppies” and along some of the drainage lines. Most of the species represent hardy pioneer species, with only minor occurrences of other species encountered. However, it is clear from the few species and the soils that the vegetation would have been Bushmanland Arid Grassland. Remaining natural veld was almost non-existent.

However, a number of indigenous individual plants were observed. They were mostly found scattered throughout the property or associated with some of the drainage lines or relatively undisturbed higher areas. These species includes: *Acacia* cf. *karroo* and *Acacia mellifera* (single individuals to the northeast of the property), *Aptosimum spinescens*, *Euphorbia* cf. *dregeana*, *Lycium bosciifolium*, *Salsola tuberculata*, *Sutera* species and *Codon royenii* (scattered throughout the property), *Kleinia longiflora*, *Parkinsonia africanus*, *Zygophyllum* cf. *lichtensteiniana* (mostly near drainage lines) and various grasses.

Photo 1: Looking over the property from the southern boundary towards the northeast.



Photo 2: Looking over the area from the northeast corner to the south over the property



All in all the vegetation cover was very sparse, and heavily impacted or transformed as a result of urbanisation and associated activities.

Photo 3: Panoramic view of the property from the south to the north



The upper drainage lines to the south of the property were typically associated with slightly denser vegetation than found along the lower parts of the property, which is probably associated with more intense urban pressures and more formalised building structures (see underneath).

Photo 4: The upper reaches (photo to the left) and lower reaches (photo to the right) of the same small seasonal stream



Although no *Aloe dichotoma* (Quiver tree) individuals were encountered on the site, a number of beautiful specimens were observed especially just west of the proposed site as well as single species to the south of the site.

Photo 5: Some of the quiver trees encountered just west of the proposed site



Table 2: List of species encountered on site (excluding grass species)

SPECIES NAME	FAMILY	STATUS
<i>Acacia mellifera</i>	FABACEAE	
<i>Acacia cf. karroo</i>	FABACEAE	
<i>Aptosimum spinescens</i>	SCROPHULARIACEAE	
<i>Argemone ochroleuca</i>	PAPAVERACEAE	Alien weed
<i>Euphorbia cf. dregeana</i>	EUPHORBIACEAE	All <i>Euphorbia</i> species are protected in terms of Schedule 2 of the NCNCA
<i>Kleinia longiflora</i>	ASTERACEAE	
<i>Lycium bosciifolium</i>	SOLANACEAE	
<i>Parkinsonia africana</i>	FABACEAE	
<i>Prosopis grandulosa</i>	FABACEAE	Category 2 invader
<i>Salsola tuberculata</i>	AMARANTHACEAE	
<i>Sutera species</i>	SCROPHULARIACEAE	
<i>Zygophyllum cf. lichtensteinianum</i>	ZYGOPHYLLACEAE	

ENDEMIC OR PROTECTED PLANT SPECIES

Please note that this study never intended to be full botanical assessment. However, a scan of significant species was done during the site visit, and even though the author does not claim that all species encountered were identified, all efforts were made to do just that. According to Mucina & Rutherford (2006) the following endemic taxa might be encountered in this vegetation type: *Dinteranthus pole-evansii*, *Larryleachia dinteri*, *L marlothii*, *Ruschia kenhardtensis*, *Lotononis oligocephala* and *Nemesia maxi*.

- However, none of these species was observed.

A number of protected tree species in terms of the National Forest Act of 1998 (Act 84 of 1998) have a geographical distribution that may overlap with the broader study area.

- None of these species were however observed.

The new Northern Cape Nature Conservation Act 9 of 2009 (NCNCA) also provides for the sustainable utilization of wild animals, aquatic biota and plants. Schedule 1 and 2 of the act give extensive lists of specially protected and protected fauna and flora species in accordance with this act. The Act is a very important Act in that it put a whole new emphasis on a number of Northern Cape species not previously protected in terms of any legislation. Thus even though a project may be located within a vegetation type or habitat previously not considered under immediate threat, special care must still be taken to ensure that listed species (fauna & flora) in terms of the NCNCA are managed correctly.

- Only one species protected in terms of the NCNCA was encountered namely the *Euphorbia* species (refer to Table 2).

FINE SCALE MAPPING (CBA'S)

Although a draft version of the Siyanda District Municipal, Environmental Management Framework (EMF) is available it has not been approved or published. No fine-scale mapping is as yet available for this area and as a result no critical biodiversity areas or biodiversity support areas has been promulgated for this area.

However, the proposed priorities for conservation in the Siyanda District is depicted on Maps 12a (Refer Figure 15) and 12b within this document, based on local occurrence, the national conservation target, the national ecosystem status and the national protection level of the vegetation types. A proposal is made for the prioritisation of vegetation types in the Siyanda District. The landcover of the Siyanda district reflects the results of the 2000 national landcover determination and is depicted on Map 13 from which it is evident that most of the area is in a natural state and the most significant spatial impact on the environment has come from mining which occupies an area of almost 7% of the total area. A sensitivity index is shown on Map 14 of the Draft EMP. The main factors that were used to compile the index include the following:

- The erosion potential of soil where soils with a high erosion potential were awarded a sensitivity of 1;
- The conservation priority of veld types for veld types with a medium conservation priority were awarded a sensitivity count of 1 those with a high conservation priority were awarded a count of 2 and those with a very high conservation priority were awarded a count of 3;
- Topographical areas with a high variance in shape and form were awarded a sensitivity count of 1;
- All watercourses, drainage lines and pans (including a 32 m buffer on either side) were awarded a sensitivity count of 2; and
- All transformed areas were awarded a sensitivity count of -1.

Environmental control zones are depicted on Map 15 of the EMF. The purpose of environmental control zones is to indicate areas that require a specific type or regime of control due to unique environmental elements that occur in these areas. It may or may not be linked to the application of EIA legislation and should be dealt with at a more strategic level where it should serve as a guide for decision-making and planning.

SUMMARY OF FINDINGS ACCORDING TO THE EMF

According to the Draft Siyanda Environmental Management Framework the proposed site falls within the following categories according to the various maps.

Conservation priority areas: According to Map 12a the site falls within an area regarded as having a Medium (2) conservation priority. According to Map 12b, it seems as if the site may fall just northwest to a proposed conservation area, but not within it.

Landcover: According to Map 13 of the Draft EMF, it would seem as if the proposed site falls within the area marked as shrubland.

Sensitivity Index: According to Map 14 of the Draft EMF, the proposed site falls within an area identified as of very low environmental sensitivity (1) in an index which starts at Transformed and then are given values of 0-8 (8 being of high environmental sensitivity).

Control Zones: According to Map 15, the proposed site location falls within a control zone 7 area, which is regarded as a low control zone.

MAMMAL AND BIRD SPECIES

Mammal and bird species were not regarded, as the proposed activity should have very little additional impact on these species (any species would have already been removed as a result of the current activities on site).

At the nearby Augrabies Falls National Park, wildlife includes at least 46 mammal and 186 bird species, as well as a number of reptiles. Most show adaptations to the area's large temperature fluctuations – including smaller animals like slender mongooses, yellow mongooses, and rock dassies – which utilise what little shade there are, sheltering in burrows, rock crevices and fallen trees.

Larger mammals found at Augrabies include steenbok, springbok, gemsbok, kudu, eland and Hartmann's Mountain Zebra (*Equus hartmannae*). The giraffe found at Augrabies are said to be lighter in colour than those found in the regions to the east, allegedly as an adaptation to the extreme heat. One of the most common antelope is the klipspringer, pairs of which are often seen bounding across the rocks by keen-eyed walkers. The main mammalian predators found in Augrabies are black-backed jackals, caracals, bat-eared foxes, African wild cats and an elusive population of leopards.

One reptile here is of particular note: Broadley's flat lizard, locally known as the Augrabies flat lizard, is endemic to this area. It only occurs in an area that is within about 100km of the falls. This reptile is, however, not locally rare and on warm days, the brightly-coloured males can often be seen sparring and dancing for dominance.

Birds in the area includes: Augrabies the black stork and Verreaux's (black) eagles which both breed in the area, and also pygmy falcons. As is common in the Kalahari to the north, pale chanting goshawk is one of the more common raptors, whilst flocks of Namaqua sand grouse are also common. Other species includes peregrine and lanner falcons, and rock kestrels (www.sanparks.org.za).

RIVERS AND WETLANDS

Rivers maintain unique biotic resources and provide critical water supplies to people. South Africa's limited supplies of fresh water and irreplaceable biodiversity are very vulnerable to human mismanagement. Multiple environmental stressors, such as agricultural runoff, pollution and invasive species, threaten rivers that serve

the world's population. River corridors are important channels for plant and animal species movement, because they link different valleys and mountain ranges. They are also important as a source of water for human use. Vegetation on riverbanks needs to be maintained in order for rivers themselves to remain healthy, thus the focus is not just on rivers themselves but on riverine corridors.

Various non-perennial or dry watercourses and drainage lines have been observed, criss-crossing portions of the Erf. Many of these drainage lines have already been impacted to a large degree or even formalised. Only along the upper reaches of the most southern part of the property were some of the drainage lines which were less impacted or resembling a more natural state (refer to Photo 4).

All river and drainage lines will eventually be impacted on the property or will be included into a formal storm water drainage system. Trying to protect the small streams not already transformed will be almost impossible. However, it is recommended that these drainage systems are recognised as important ecological features which should be protected and maintained as such and wherever possible be maintained as natural as possible with adequate buffer zones.

Photo 6: Formalised drainage line running from west to east in the lower portions of the property



VELD FIRE RISK

Bushmanland Arid Grassland is part of the Nama Karoo Biome (Mucina & Rutherford, 2006) which is not prone to veldfires. The purpose of the revised fire risk classification is to serve as a national framework for implementing the National Veld and Forest Fire Act, and to provide a basis for setting priorities for veldfire management interventions such as the promotion of and support to Fire Protection Associations. In the fire-ecology types and municipalities with High to Extreme fire risk, comprehensive risk management strategies are needed.

The proposed extension of Kakamas is located adjacent to the existing town of Kakamas in an arid sparsely vegetated landscape. According to the revised veldfire risk classification of March 2010 (Forsyth, 2010) in terms of the National Veld and Forest Fire Act 101 of 1998, the site is located in an area classified as a "Low Fire Risk" area. Although, the fire risk is not considered high or extreme it is still important that during construction and operation the site must adhere to all the requirements of the local Fire Protection Association (FPA) if applicable, or must adhere to responsible fire prevention and control measures.

INVASIVE ALIEN INFESTATION

Most probably because of the aridity of the area, invasive alien rates are generally very low for most of this area. Problem areas are usually associated with river systems and other wetland areas. However, a number of *Prosopis* trees were observed along the drainage lines, with a dense stand surrounding the formal cattle pen area in the northwest of the proposed site (Refer to Photo 7). In addition a number of the alien *Cylindropuntia fulgida* were also observed just south of the cattle pen area.

Photo 7: *Prosopis glandulosa* stands encountered next to the cattle pens



All *Prosopis* species not directly associated with the cattle pens should be removed. The *Prosopis* species at the cattle pens should be replaced over time with indigenous species

(or removed if the pens are not needed any more). The shade value of these trees, most probably, makes it very important to the owners of the pens.

Photo 8: *Cylindropuntia fulgida* observed on site



However all *Cylindropuntia fulgida* (Boxing-glove cactus) is an emerging invasive alien species in North West, Free State and Northern Cape Provinces. It is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible. They have the potential of becoming a highly invasive species, which is very hard to control.

SIGNIFICANT BIODIVERSITY FEATURES ENCOUNTERED

The table underneath gives a summary of biodiversity features encountered during the site visit and a short discussion of their possible significance in terms of regional biodiversity targets.

Table 3: Summary of biodiversity features encountered on Erf 1654, Kakamas and their possible significance

BIODIVERSITY ASPECT	SHORT DESCRIPTION	SIGNIFICANCE RATING
Geology & soils	Geology & soils vary only slightly in the larger study area, with sandy soils found over most of the area.	No special features have been encountered (e.g. true quartz patches or broken veld) and the impact on geology and soils is expected to be very localised and low. Refer to Geology & Soils on page 9 Impact = very low
Land use and cover	Natural veld utilised for stock grazing.	Approximately 80% of the site is already settled by informal housing, and is also used for communal grazing, with relatively formal livestock (pigs, sheep and goats) pens located on a portion of the property (Refer to Landuse and Cover page 10) The additional impact on land use and cover is expected to be <u>very low and localised</u> .
Vegetation types	Bushmanland Arid Grassland	This vegetation type is considered " <u>Least threatened</u> ", and has been mostly transformed due to human activities. According to the draft Siyanda EMF, the vegetation is of medium conservation priority, but of very low environmental significance and does not fall within a proposed conservation area. Impact <u>low</u> .
Conservation priority areas.	In terms of the draft Siyanda EMF	According to the EMF the site also does not fall within a proposed conservation area (although situated near to a proposed conservation area). Impact <u>low/localised</u> .
Sensitivity index	In terms of the draft Siyanda EMF	According to the EMF, the proposed site falls within an area identified as of very low environmental sensitivity (1). Impact <u>low</u> and localised.
Protected plant species	Only one protected plant species (Refer to Endemic or Protected plant Species, page 14), in terms of the NCNCA was observed.	It is considered possible that a small number of protected species may be impacted. However, the site is mostly degraded already and the only viable option would be to consider search & rescue of all significant species. Impact considered being <u>medium low</u> .
Fauna & Avi-fauna	The site is used for live-stock grazing and has been almost totally transformed as a result of current settlement.	Although natural fauna and avi-fauna may still be present, it is expected that it would be limited to avi-fauna, insects and maybe some reptile's species. The activity is not expected to have a significant additional impact on fauna or avi-fauna. Impact <u>low</u> .
Rivers & wetlands	Most of the seasonal drainage lines on the property have already been transformed or incorporated into storm water systems. However, a few of the upper drainage lines are still relatively natural and will be impacted.	The formalisation of Ervin on the property will certainly impact on the remaining relative natural seasonal streams or drainage lines on the property. However, most of these streams have already been degraded to a large extent. It is recommended that the remaining natural streams be protected through small buffer zones, but it is expected that these drainage lines will eventually have to be formalised and incorporated within the town's storm water system. The impact is thus expected to be permanent but will be localised and is not expected to significantly alter the current degraded ecological value of the system as a whole. However, it is imperative that these systems are not used as dumping areas for household waste. The impact on rivers is thus considered <u>medium</u> .
Invasive alien infestation	A number of <i>Prosopis</i> individuals were observed, but even more alarming was the presence of the alien boxing glove cactus.	All <i>Prosopis</i> species not directly associated with the cattle pens should be removed. The <i>Prosopis</i> species at the cattle pens should be replaced over time with indigenous species (or removed if the pens are not needed any more). The shade value of these trees, most probably, makes it very important to the owners of the pens NB: The presence of the emerging invasive cactus <i>Cylindropuntia fulgida</i> (Boxing-glove cactus) is most alarming and it is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible. If implemented the impact can be regarded as positive.

THE NO-GO OPTION

The site visit and desktop studies described and evaluated in this document led to the conclusion that the “No-Go Alternative” alternative will not result in significant gain in regional conservation targets, the conservation of rare & endangered species or gain in connectivity. At the best the No-Go alternative will result in the need to develop elsewhere.

This area is already disturbed and settled to a large degree. It makes perfect sense to utilise this area, rather than disturbing further areas in order to accommodate housing projects (all of which will result in the same permanent impact). The need for providing basic services and housing remains a very urgent need in most towns in the Northern Cape.

RECOMMENDATIONS & IMPACT MINIMIZATION

From the information discussed in this document it is clear to see that the Kakamas site was relatively well chosen from a biodiversity viewpoint. The impact on the regional status of this vegetation type and associated biodiversity features (e.g. watercourses and drainage lines) would likely be only medium-low. No significant additional species-loss, habitat-loss, connectivity or associated impact can be foreseen from locating the low cost housing project on the proposed site.

The site visit and desktop studies described and evaluated in this document led to the conclusion that the “No-Go Alternative” alternative will not result in significant gain in regional conservation targets, the conservation of rare & endangered species or gain in connectivity. At the best the No-Go alternative will only support the “status quo” of the specific site while further land will have to be investigated for development purposes.

Even though very little impact minimisation options can be implemented in this already mostly transformed area some environmental gain can still be achieved through the correct placement and layout as well as search and rescue projects. As a result it is recommended that all mitigating measures must be implemented in order to reduce the impact of the proposed activity.

With the available information at the author's disposal it is recommended that the project be approved, but that all mitigation measures described in this document is implemented.

IMPACT MINIMIZATION

- All construction must be done in accordance with an approved construction and operational phase Environmental Management Plan (EMP), which must be developed by a suitably experienced Environmental Assessment Practitioner.
- A suitably qualified Environmental Control Officer must be appointed to monitor the construction phase of the project in terms of the EMP and the Biodiversity study recommendations as well as any other conditions which might be required by the Department of Environmental Affairs.
- An integrated waste management system must be implemented during the construction phase.
- All rubble and rubbish (if applicable) must be collected and removed from the site to a suitable registered waste disposal site.
- All Prosopis species not directly associated with the cattle pens should be removed. The shade value of these trees, most probably, makes it very important to the owners of the pens.
- The Prosopis species at the cattle pens should be replaced over time with indigenous species (or removed if the pens are not needed any more).

- The presence of the emerging invasive cactus *Cylindropuntia fulgida* (Boxing-glove cactus) is most alarming and it is imperative that all individuals of this species as well as those in the immediate surrounding areas are removed as fast as possible.
- Adequate measures must be implemented to ensure against erosion.
- Housing layout should, wherever possible aim to protect drainage lines, or ensure that it is incorporated within the storm water system.
- Only existing access roads should be used for access to the terrain (solar site).
- The internal network of service roads must be carefully planned to minimise the impact on the remaining natural streams on the site.
- As a pre-cautionary measure all viable herb-, bulbs- and succulent plant species encountered within the footprint should be removed and replanted through a dedicated search and rescue operation.
- Permits must be obtained for the removal of any protected species which cannot be avoided.
- The small koppies to the south of the property (which will be too steep for development) should be regarded as no-go areas and protected as natural features or green belts.

APPENDIX D (4)

Heritage Impact Assessment

**ARCHAEOLOGICAL IMPACT ASSESSMENT
PROPOSED LOW COST HOUSING PROJECT
IN KAKAMAS, NORTHERN CAPE**

Prepared for:

ENVIROAFRICA

Att: Mr Bernard de Wit

PO Box 5367

Helderberg

7135

E-mail: Bernard@enviroafrica.co.za

On behalf of:

KAI GARIB LOCAL MUNICIPALITY

By



Jonathan Kaplan

Agency for Cultural Resource Management

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Rondebosch

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Mobile: 082 321 0172

E-mail: acrm@waccess.co.za

**FEBRUARY
2013**

Executive summary

ACRM was commissioned to conduct an Archaeological Impact Assessment for the proposed development of about 694 low cost housing units on Erf 1928 in Kakamas in the Northern Cape Province.

Kakamas is situated alongside the Orange River, about 80 kms west of Upington. The site for the proposed housing project is located south of the town, and immediately west of the R359. The land is owned by the Kai Garib local municipality and is currently zoned Open Space I. The entire ± 47 ha site has been dramatically transformed over the last two or three years. Erven have already been laid out, un-serviced plots have been fenced off, informal houses have already been constructed, and access roads built. The proposed development site is very severely degraded.

In terms of Section 38 (1) (c) (iii) of the National Heritage Resources Act 1999 (Act 25 of 1999), an Archaeological Impact Assessment of the proposed project is required if the footprint area of the proposed development is more than 5000 m².

The AIA forms part of the Basic Assessment process that is being conducted by EnviroAfrica cc.

The aim of the study is to locate and map any archaeological heritage that may be impacted by the proposed project, to assess the significance of the potential impacts and to propose measures to mitigate the impacts.

A foot survey of the proposed development site was undertaken on 28 January 2013, in which the following observations were made:

- No archaeological heritage was encountered during the study.
- There are no visible graves on the proposed development site.
- There are no old buildings, structures or features, old equipment, public memorials or monuments in the footprint area.

The results of the study indicate that the proposed development of low cost housing on Erf 1928 in Kakamas will not have any impact on the archaeological heritage.

The following recommendations are made:

1. No archaeological mitigation is required.
2. Should any unmarked human burials/remains or ostrich eggshell water flask caches be uncovered during construction activities, these must immediately be reported to the archaeologist (Jonathan Kaplan 082 321 0172), or Ms Katy Smuts at the South African Heritage Resources Agency (021 462 4502). Burials, etc must not be removed or disturbed until inspected by the archaeologist.

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1. INTRODUCTION

ACRM was commissioned to conduct an Archaeological Impact Assessment (or AIA) for the proposed development of about 694 low cost housing units on Erf 1928 in Kakamas (Kai Garib Municipality), about 80 kms west of Upington, in the Northern Cape (Figures 1 & 2). The subject property is zoned Open Space I and is owned by the local authority.

The AIA forms part of the Basic Assessment process that is being conducted by EnviroAfrica cc.

The aim of the study is to locate and map any archaeological heritage that may be impacted by the proposed project, to assess the significance of the potential impacts and to propose measures to mitigate the impacts.

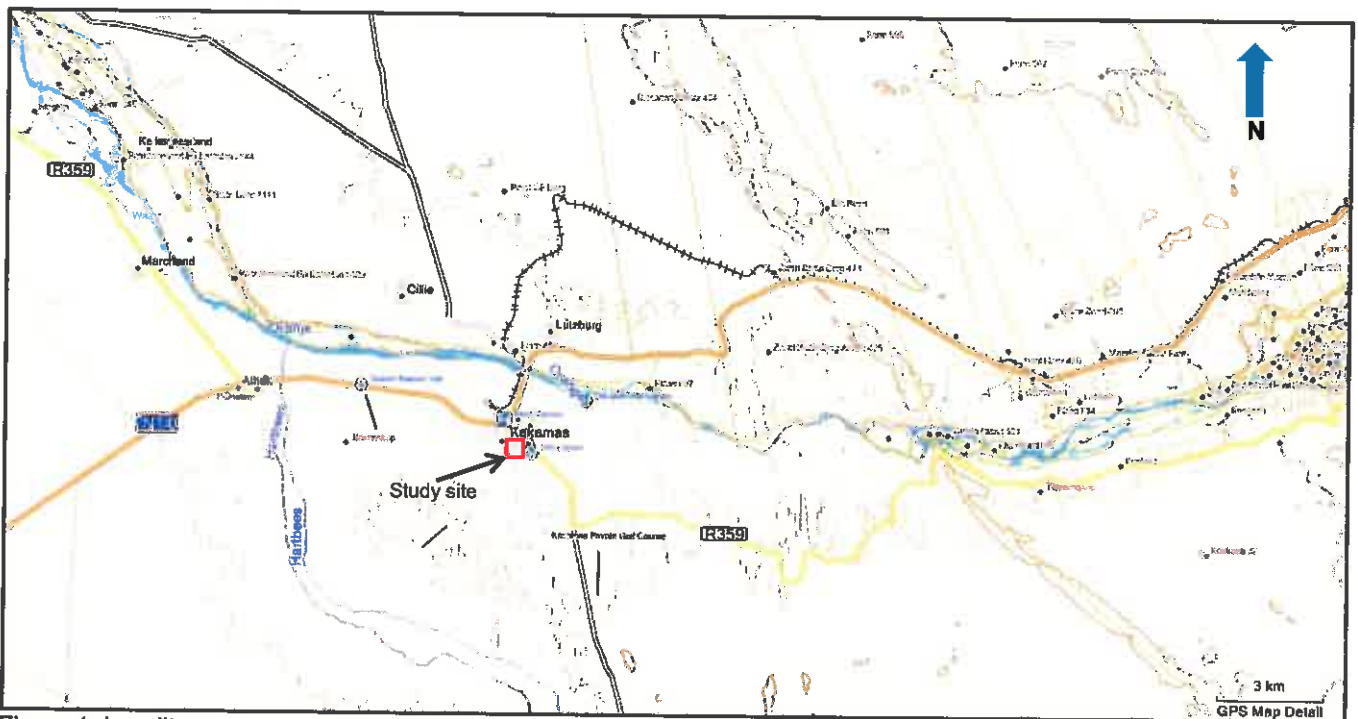


Figure 1. Locality map.

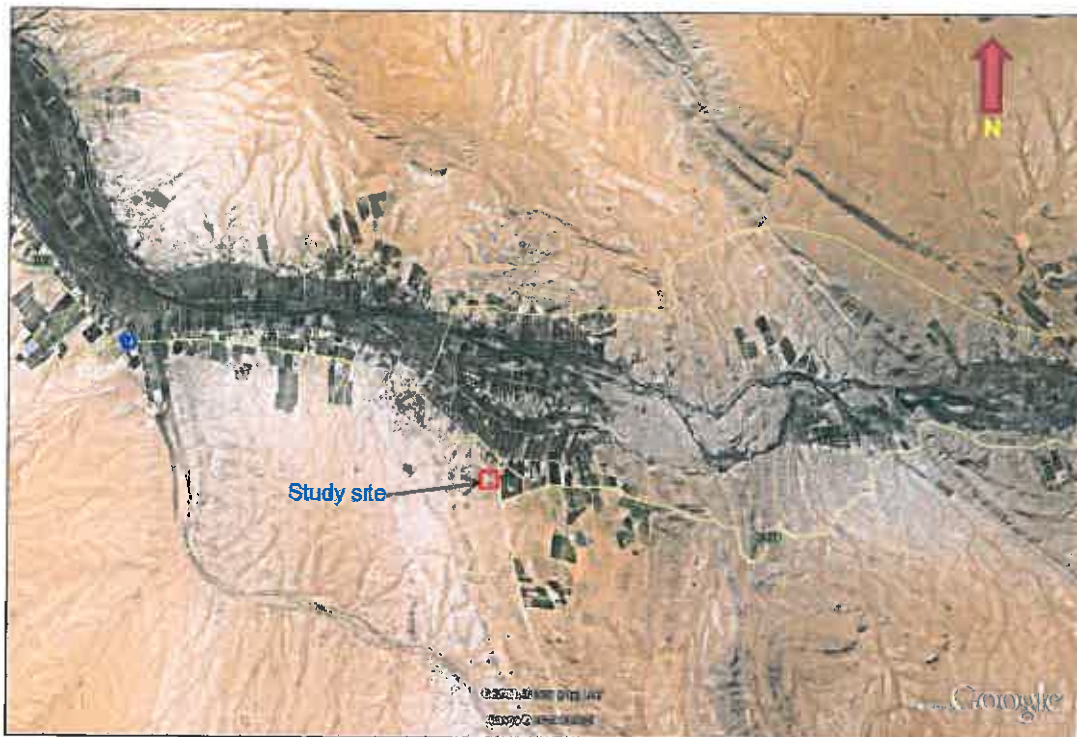


Figure 2. Google Aerial photograph indicating the location site for the proposed development.

2. HERITAGE LEGISLATION

The National Heritage Resources Act (Act No. 25 of 1999) makes provision for a compulsory Heritage Impact Assessment (HIA) when an area exceeding 5000 m² is being developed. This is to determine if the area contains heritage sites and to take the necessary steps to ensure that they are not damaged or destroyed during development.

The NHRA provides protection for the following categories of heritage resources:

- Landscapes, cultural or natural (Section 3 (3))
- Buildings or structures older than 60 years (Section 34);
- Archaeological sites, palaeontological material and meteorites (Section 35);
- Burial grounds and graves (Section 36);
- Public monuments and memorials (Section 37);
- Living heritage (defined in the Act as including cultural tradition, oral history, performance, ritual, popular memory, skills and techniques, indigenous

knowledge systems and the holistic approach to nature, society and social relationships) (Section 2 (d) (xxi)).

3. TERMS OF REFERENCE

The terms of reference for the study were to:

- Determine whether there are likely to be any important archaeological heritage that may be impacted by the proposed development;
- Indicate any constraints that would need to be taken into account in considering the development proposal;
- Identify potentially sensitive archaeological areas, and
- Recommend any further mitigation action.

4. DESCRIPTION OF THE RECEIVING ENVIRONMENT

Erf 1928 (S 28 47 47.7 E 20 37 55.8) is located south of Kakamas, and immediately west of the R359. Access to the site is from Voortrekker Way. The entire ± 47 ha site has been dramatically transformed over the last two or three years. Erven have been laid out, plots have been fenced off, informal houses have already been constructed, and access roads built. There are no services in place yet. Dumping of domestic refuse and rubble is widespread. Pedestrian traffic is extensive and there are numerous small footpaths and tracks that intersect the site. There is a small quartz-covered kopje overlooking the site on the southern boundary, from where the photographs of the site were taken (Figures 3-9). At least two small drainage channels intersect the site. There is virtually no natural vegetation on the proposed development site. The site is very severely degraded.

There are no old buildings, structures or features, or any old equipment on the proposed development site.

There are no visible graves on the subject property.

Surrounding land use is small scale farming (within the footprint area), formal housing, sports fields, and schools in the north, light industry and agriculture east of the R359 and vast tracts of vacant land in the south.

Archaeological study proposed low cost housing development in Kakamas



Figure 3. Google aerial photograph of the proposed site including surrounding land use

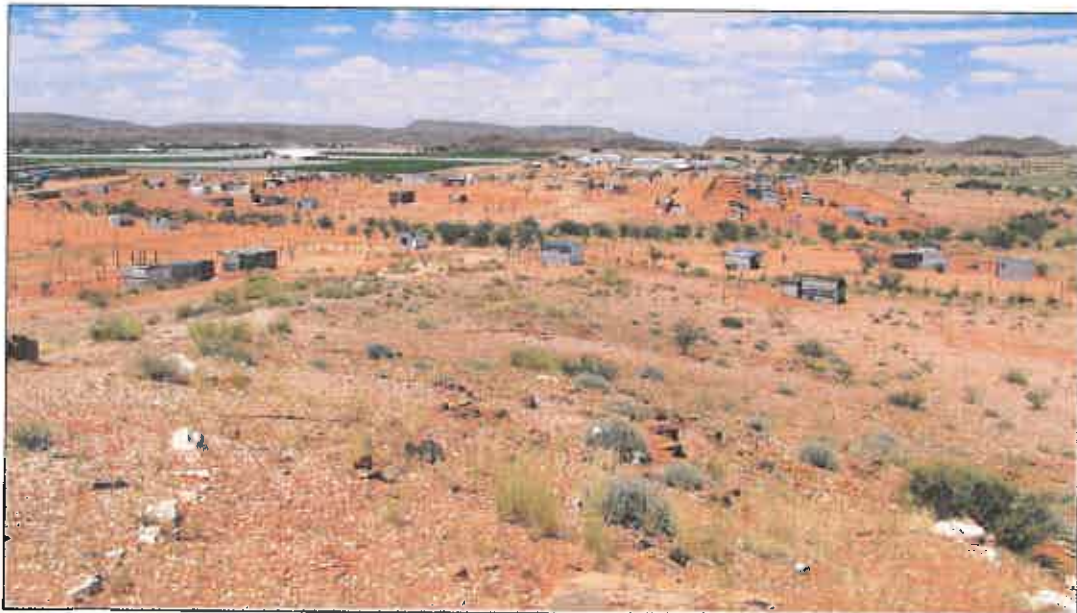


Figure 4. View of the proposed development site facing north.

Archaeological study proposed low cost housing development in Kakamas



Figure 5. View of the proposed development site facing north

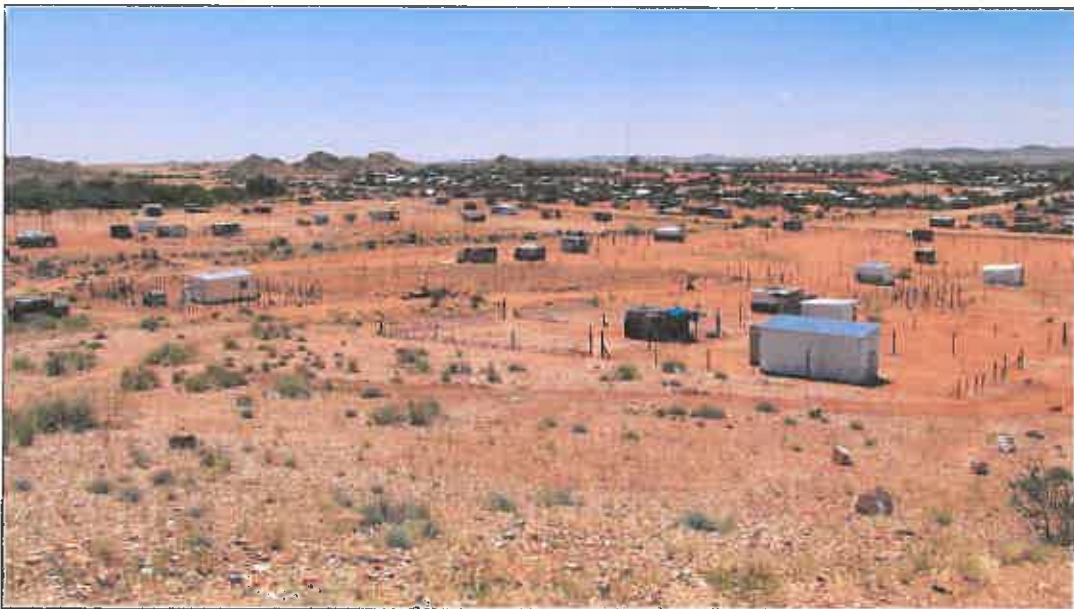


Figure 6. View of the proposed development site facing north

Archaeological study proposed low cost housing development in Kakamas



Figure 7. View of the proposed development site facing northwest.



Figure 8. View of the proposed development site facing east. Small scale farming operations (pigs and chickens) is set among the trees in the background.

5. STUDY APPROACH

5.1 Method of survey

A fairly random foot survey of the proposed development site was undertaken by J. Kaplan on 28 January, 2013.

A desk top study was also done.

5.2 Constraints and limitations

There were no constraints or limitations associated with the study and archaeological visibility was very good.

5.3 Identification of potential risks

Given the highly transformed nature of the proposed development site, and the fact that no archaeological heritage was encountered during the study, there are clearly no potential archaeological risks associated with the proposed development.

5.4 Results of the desk top study

Very little archaeological work has been done in Kakamas. Stone artefacts in banded ironstone and indurated shale were documented alongside the R359 during a survey for a water pipeline between the town and Kenhardt (Kaplan 2008), while very low density scatters of MSA implements in banded ironstone, quartzite and indurated shale were encountered during a study for a proposed solar energy farm west of the town's waste water treatment works (Kaplan 2012). Orton (2012) also recorded very low density scatters of LSA and MSA tools in quartz, indurated shale and banded ironstone during a survey for a proposed solar energy farm near the Augrabies Falls National Park a few kilometres further to the northwest. Orton (2012) also describes an archaeological sequence in the Augrabies Falls region which spans the Early, Middle and Later Stone Age pre-colonial history in the region. Much of the information has been generated by excavations of open scatters of stone artefacts, pottery and ostrich eggshell, as well as excavations of several small shelters near the Augrabies Falls and the town of Augrabies. Orton (2012) also notes that many skeletons, most dating to the 18th and 19th Centuries were exhumed from the area between Augrabies and Upington in the late 1930s. Historical sites and remains (such as forts) relating to events such as the Anglo Boer War are also well preserved in the region, including the presence of war graves in Kakamas, Pofadder and Keimoes. Orton (2012) also reports that the water related infrastructure in the Kakamas area was important for agricultural development and several water wheels and excavated tunnels and leiwaters/furrows in Kakamas have been declared Provincial Heritage Sites.

6. FINDINGS

No archaeological heritage was encountered during the survey.

7. ASSESSMENT OF IMPACTS

The overall impact of the proposed development on archaeological heritage will be very low (Table 1).

Potential impacts on archaeological heritage	
Extent of impact:	Site specific
Duration of impact;	Permanent
Intensity	Low
Probability of occurrence:	Improbable
Significance without mitigation	Low
Significance with mitigation	Low
Confidence:	High

Table 1. Assessment of archaeological impacts.

8. CONCLUSION

The survey has identified no impacts to pre-colonial archaeological material.

The receiving environment is not a sensitive or threatened archaeological landscape.

9. RECOMMENDATIONS

With regard to the proposed construction of low cost housing units on Erf 1928 in Kakamas, the following recommendations are made:

1. No further archaeological mitigation is required.
2. Should any unmarked human burials/remains or ostrich eggshell water flask caches be uncovered, or exposed during construction activities, these must immediately be reported to the archaeologist (Jonathan Kaplan 082 321 0172), or Ms Katy Smuts at the South African Heritage Resources Agency (021 462 4502). Burials must not be removed or disturbed until inspected by the archaeologist.

10. REFERENCES

Kaplan, J. 2012. Archaeological Impact Assessment the proposed Keren Energy Keimoes Solar Plant on Erf 1654, Keimoes. Report prepared for EnviroAfrica. Agency for Cultural Resource Management.

Kaplan, J. 2008. Phase 1 Archaeological Impact Assessment proposed construction of a water treatment plant and supply pipeline from Keimoes to Kenhardt, Western Cape Province. Report prepared for EnviroAfrica. Agency for Cultural Resource Management.

Orton, J. 2012. Heritage Impact Assessment for the proposed Augrabies Solar Energy Facility, Kenhardt Magisterial District, Northern Cape. Report prepared for Rosenthal Environmental. Archaeology Contracts Office, University of Cape Town.

Appendix E

Public Participation

APPENDIX E:

PUBLIC PARTICIPATION:

- 1) Interested and Affected Party list**
- 2) Proof of posters, notification letters and advertisements**
- 3) Comments and response report**

APPENDIX E (1)

Interested and Affected Party List

APPENDIX E (2)

**Proof posters, notification letters and
advertisements**

EnviroAfrica

Environmental Planning and Impact Assessment Consultants
 Operating/engaging on Impacts/controlling Consultants

IRAP List for:
 Advert Place:

Kaj/Gardab LCEI
 DEADP Ref: []
 Date: []

No.	Title	Individual Name	Business	Address	Postal Address	Town/City	Code	Telephone	Fax	Email
1.1	Mr	Patrick	High	Kaj/Gardab Municipality	Private Bag 26	Kalamas	8600			
2.1										
3.1										
4.1	Mr	D	Nyanga (Municipal Manager)	Siyanda District Municipality	Private Bag 2009	Uptown	8600	(054) 297 2900		
5.1	Municipal	Ward Councilors	Albany Ward	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.2	Mr	Breda	Beck	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.3	Mr	Angela	De Jager	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.4	Mr	Deary	Fraser	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.5	Mr	Arnold	Yano	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.6	Mr	Walter	Ellis	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.7	Mr	Andrew	Snyman	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.8	Mr	Frederick	Henderson	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.9	Mr	William	Konifer	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.10	Mr	Ann	De Bruijn	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.11	Mr	Erwin	Meyer	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.12	Mr	April	U/J Medians	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.13	Mr	Avilun	Jan Wijk	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.14	Mr	Janet	Stylin	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.15	Mr	Mary	Thas	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
5.16	Mr	Thom	Sobram	Kaj/Gardab Municipality	P.O. Box 8	Kalamas	8600			
6.1										
7.1	Mr	Wendie	Moshob (HOD)	Department of Agriculture & Land Reform	Private Bag 25016	Kimberly	8300	(053) 261 9102		
7.2	Mr	Gerd	Ayngon-Narfordim (HOD)	Department of Correctional Services, Home	Private Bag 26005	Kimberly	8300	(053) 261 9515		
7.3	Mr	K	Nogwell (HOD)	Department of Roads and Public Works	P.O. Box 2522	Kimberly	8300	(053) 261 2244	(053) 261 2244	
7.4	Mr	The	Practical Manager	SARFA Northern Cape	P.O. Box 1900	Kimberly	8300			
7.5	Mr	U	Suppliers	Department of Water Affairs - Northern Cape	Private Bag 26001	Kimberly	8300			enviro@water.gov.za
7.6	Mr	A	Yuphi	Department of Environment and Nature Conservation	P.O. Box 231	Uptown	8600	(054) 297 2900		enviro@water.gov.za
7.7										
7.8										
8.1										
8.2										
8.3										
9.1	Mr	Ngweni	9.1 Mr Ngweni							

SOMERSET MALL
 2012 -12- -4
 COUNTER 2

EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Siyanda District Municipality
Private Bag X6039
Uplington
8800

Att: Mr D Ngxanga

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI/2012 (NCP/EIA/0000180/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai IGarib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on a portion of Erf 666, Kelmoes, located off the N14. The site is approximately 49ha.

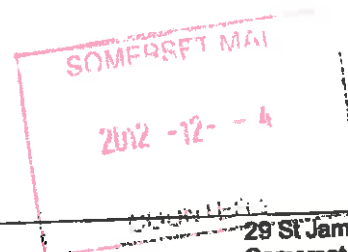
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kelmoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

Public Participation: Interested and Affected Parties (I&APs) are hereby notified of the application and invited to register (in writing) and/or provide initial comments and identify any issues, concerns or opportunities relating to this project to the contact details provided below, on or before 25 January 2013. In order to register or submit comment, I&APs should refer to the project name and DEA reference number above, and provide their name, address & contact details (*indicating your preferred method of notification*) and an indication of any direct business, financial, personal, or other interest which they have in the application. Please note that future correspondence will only be sent to registered Interested and Affected Parties. You are also requested to pass this information to any person you feel should be notified.

P.O.Box 5367
HELDERBERG 7135
Fax: (086) 512 0154
Tel: (021)851 1816

e-mail: admin@enviroafrica.co.za



29 St James Street
Somerset West
VAT 4870170513
CK 97 46008/23

EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Siyanda District Municipality
Private Bag X6039
Upington
8800

Att: Mr D Ngxanga

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

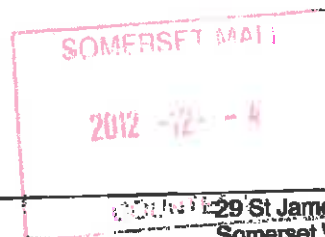
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Siyanda District Municipality
Private Bag X6039
Upington
8800

Att: Mr D Ngxanga

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEH/2012 (NCP/EIA/0000180/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai !Garib Municipality, to undertake the Environmental Impact Assessment for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

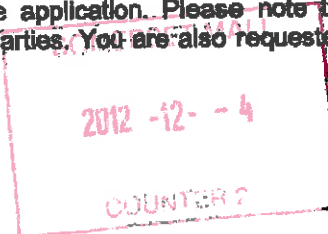
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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Department of Roads and Public Works
PO Box 3132
Kimberley
8301

Att: Mr K Nogwili

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE1/2012 (NCP/EIA/0000180/2012)

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28 November 2012

The Provincial Manager
SAHRA Northern Cape
PO Box 1930
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NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI !GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE1/2012 (NCP/EIA/0000180/2012)

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Consultant: EnviroAfrica (P.O. Box 5367, Helderberg, 7135, Fax: 086 512 0154 / Tel: 021 851 1616 /

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28 November 2012

The Department of Water Affairs-Northern Cape
Private Bag X6101
Kimberley
8300

Att: Mr LJ Saunders

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Department of Environment and Nature Conservation
PO Box 231
Upington
8800

Att: Mr Yaphi

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE11/2012 (NCP/EIA/0000180/2012)

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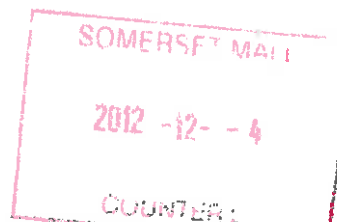
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kaigariëb Municipality
PO Box 8
Keimoes
8860

Att: Aylon van Wyk

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE1/2012 (NCP/EIA/0000180/2012)

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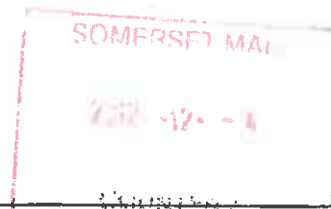
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kallgarieb Municipality
PO Box 8
Keimoes
8860

Att: Mr Andrew Syers

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI/2012 (NCP/EIA/0000180/2012)

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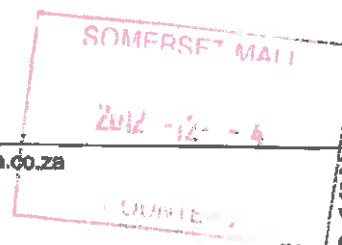
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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kaifgarieb Municipality
PO Box 8
Keimoes
8860

Att: Mr Anwill Isaacs

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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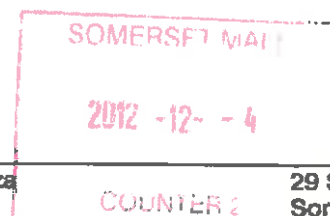
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Omgewingsbeplanning en Impakbeoordeling Konsultante

Kallgarieb Municipality
PO Box 8
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8860

28 November 2012

Att: Mr Erwin Meyer

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
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SOMERSET MALI

2012 -12- - 4

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COUNTER 2

29 St James Street
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kaigariëb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Mr Frederick Handona

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE1/2012 (NCP/EIA/0000180/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai Garib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on a portion of Erf 666, Keimoes, located off the N14. The site is approximately 49ha.

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28 November 2012

Kai!garieb Municipality
PO Box 8
Keimoes
8860

Att: Mr James Styles

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/D000180/2012)

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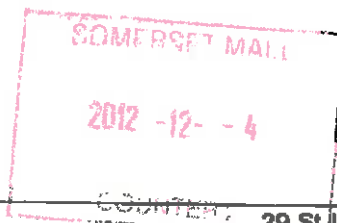
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Project Description & Location: The site is located on a portion of Erf 666, Keimoes, located off the N14. The site is approximately 49ha.

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Kai/Garib Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Mr Thom Solomon

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai Garib Municipality
PO Box 8
Keimoes
8880

Att: Mr Walter Klim

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI/2012 (NCP/EIA/0000180/2012)

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Kallgarieb Municipality
PO Box 8
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8860

28 November 2012

Att: Mr Willem Kamfer

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI/2012 (NCP/EIA/0000180/2012)

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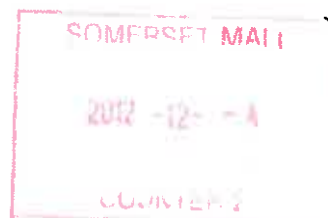
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Northern cape department of Agriculture and Land Reform
Private bag X5018
Kimberley
8300

28 November 2012

Att: Mr Wonders Mothibi

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI !GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kallgarieb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms Angela Du Plessis

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE1/2012 (NCP/EIA/0000180/2012)

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Omgewingsbeplanning en Impakbeoordeling Konsultante

Kai!garib Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms Anna De Bruin

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE11/2012 (NCP/EIA/0000180/2012)

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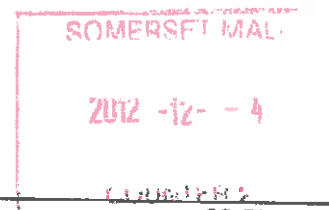
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kaligarib Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms April van der Westhuizen

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEH/2012 (NCP/EIA/0000180/2012)

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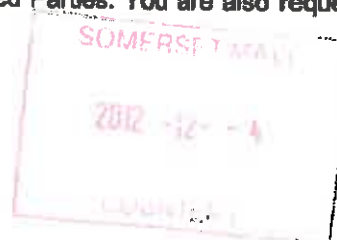
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kailgarieb Municipality
PO Box 8
Keimoes
8880

28 November 2012

Att: Ms Brenda Bock

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI//KEH/2012 (NCP/EIA/0000180/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai !Garib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on a portion of Erf 666, Keimoes, located off the N14. The site is approximately 49ha.

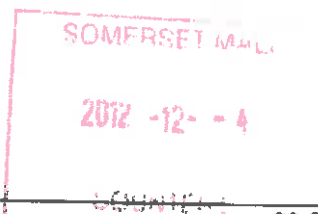
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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28 November 2012

Kai!garib Municipality
PO Box 8
Keimoes
8860

Att: Ms Desrey Fienles

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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Project Description & Location: The site is located on a portion of Erf 666, Keimoes, located off the N14. The site is approximately 49ha.

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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Department of Cooperative Governance and Human Settlements
Private Bag X5005
Kimberley
8300

Att: Ms Greta Apelgren-Narkedien

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KE1/2012 (NCP/EIA/0000180/2012)

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Omgewingsbeplanning en Impakbeoordelings Konsultante

Kaigarieb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms Mary Titus

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Municipal Manager
Kai!garieb Municipality
PO Box 8
Keimoes
8860

Att: Mr Abraham Vosloo

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI1/2012 (NCP/EIA/0000180/2012)

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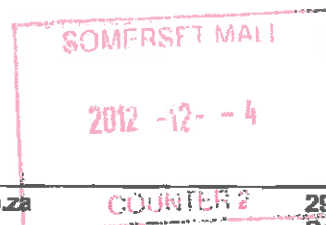
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
 Omgevingsplanneer en Impaktoormiddeling Kommissie

INVITATION TO COMMENT

Registered IBAPs 2012

IBAP List for
 Advert Placee:

Kaj/Gardieb LCH

IBAP Ref: DRADP Ref: _____
 Date: _____

No.	Title	Testary/Name	Bureaux	Affiliation	Postal Address	Town/City	Code	Telephone	Fax	Email
1.1	Mr	Patrick		Kaj/Gardieb Municipality	Private Bag 26	Johannesburg	2000			
2.1										
3.1										
4.1	Mr	D	Nyanga (Municipal Manager)	Byumba District Municipality	Private Bag 20889	Uitenhage	6000	(031)557 2600		
5.1										
6.1										
7.1	Mr	Wendens	Stedelijk (BOO)	NC Department of Agriculture & Land Reform	Private Bag 25018	Roseburg	6600	(031)624 9102		wendens@mvaf.gov.za
7.2	Ms	Greta	Agrykultuur-Nutskontrole (POO)	Department of Cooperative Governance, Human Settlements and Public Works	Private Bag 25005	Roseburg	6600	(031)624 9102		
7.3	Mr	X	Regulerende (BOO)	Department of Roads and Public Works	PO Box 5332	Roseburg	6601	(031)624 9102		
7.4	The		Environmental Manager	SANRAL Northern Cape	PO Box 1000	Roseburg	6600			
7.5	Mr	Lj	Scenarist	Department of Water Affairs - Northern Cape	Private Bag 26101	Roseburg	6600	(031)624 9102		
7.6	Mr	A		Department of Environment and Nature Conservation	PO Box 201	Uitenhage	6000	(031) 512265		am@mvaf.gov.za
7.7										
7.8										
8.1										
8.2										
8.3										
9.1	Office	Newspaper								
9.1	Mr									

2012 -12- - 4

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Siyanda District Municipality
Private Bag X6039
Upington
8800

Att: Mr D Ngxanga

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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SOMERSET MAIL

2012-12-24

COUNTER

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CK 97 46008/23

EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garib Municipality
PO Box 8
Keimoes
8860

Att: Mr A Vosloo

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

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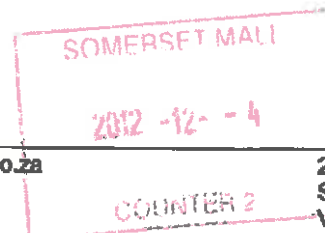
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garib Municipality
PO Box 8
Keimoes
8860

Att: Ms Brenda Bock

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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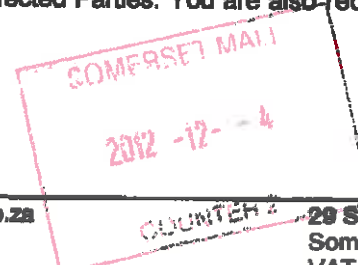
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kal!Garieb Municipality
PO Box 8
Keimoes
8860

Att: Ms Angela du Plessis

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI!/KAK1/2012 (NCP/EIA/0000179/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kal !Garib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, 22 and 24

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

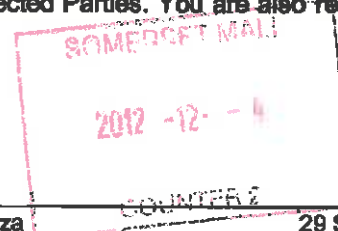
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

Public Participation: interested and Affected Parties (I&APs) are hereby notified of the application and invited to register (in writing) and/or provide initial comments and identify any issues, concerns or opportunities relating to this project to the contact details provided below, on or before 25 January 2013. In order to register or submit comment, I&APs should refer to the project name and DEA reference number above, and provide their name, address & contact details (*indicating your preferred method of notification*) and an indication of any direct business, financial, personal, or other interest which they have in the application. Please note that future correspondence will only be sent to registered Interested and Affected Parties. You are also requested to pass this information to any person you feel should be notified.

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garib Municipality
PO Box 8
Keimoss
8860

Att: Ms Desrey Fienies

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

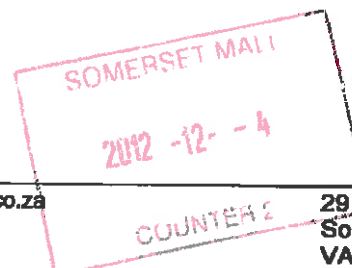
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garib Municipality
PO Box 8
Keimoes
8860

Att: Mr Andrew Snyers

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NCEIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

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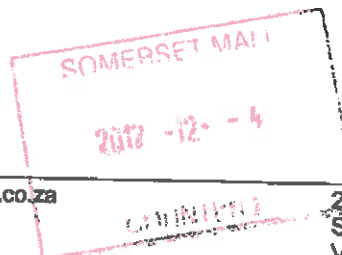
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

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28 November 2012

Kai/Garieb Municipality
PO Box 8
Keimoes
8860

Att: Mr Walter Klim

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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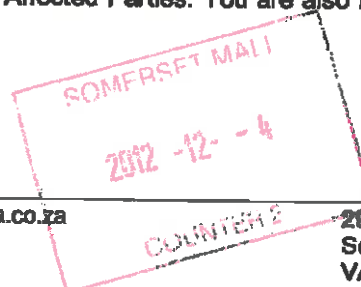
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

KallGarieb Municipality
PO Box 8
Keimoes
8860

Att: Mr Anwill Isaacs

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SFY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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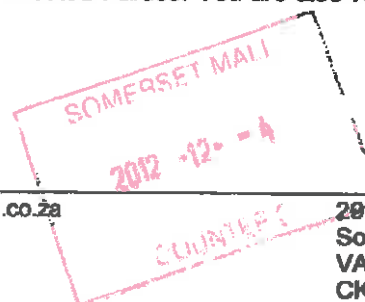
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28 November 2012

Kai!Garib Municipality
PO Box 8
Keimoes
8860

Att: Mr Willem Kamfer

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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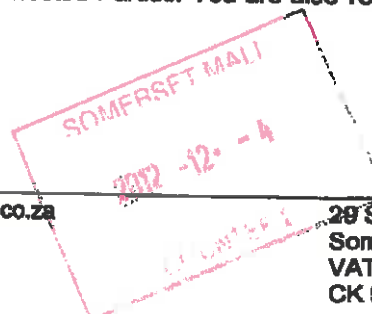
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garieb Municipality
PO Box 8
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8860

Att: Ms Anna De Bruin

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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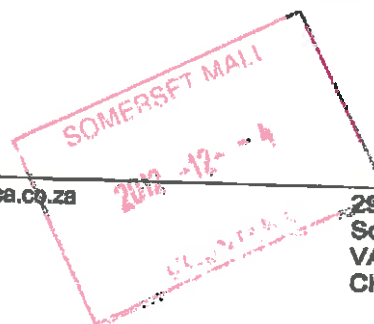
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai Garib Municipality
PO Box 8
Keimoes
8860

Att: Mr Erwin Meyer

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garib Municipality
PO Box 8
Kelmoes
8860

Att: Ms April van der Westhuizen

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
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28 November 2012

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Att: Avilon van Wyk

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai Garib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, 22 and 24

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

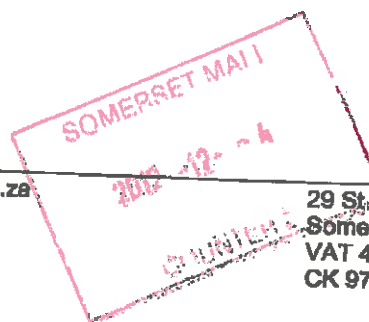
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

Public Participation: Interested and Affected Parties (I&APs) are hereby notified of the application and invited to register (in writing) and/or provide initial comments and identify any issues, concerns or opportunities relating to this project to the contact details provided below, on or before 25 January 2013. In order to register or submit comment, I&APs should refer to the project name and DEA reference number above, and provide their name, address & contact details (*indicating your preferred method of notification*) and an indication of any direct business, financial, personal, or other interest which they have in the application. Please note that future correspondence will only be sent to registered Interested and Affected Parties. You are also requested to pass this information to any person you feel should be notified.

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai/Garib Municipality
PO Box 8
Kelmooes
8860

Att: Mr James Styles

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai Garib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

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Government Notice R544 (Listing Notice 1): Activity No. 11, 18, 22 and 24

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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COUNTER 2

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garieb Municipality
PO Box 8
Keimoes
8860

Att: Ms Mary Titus

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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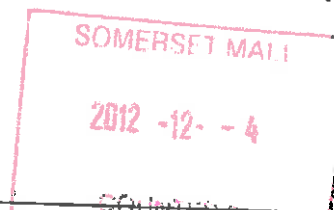
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kai!Garib Municipality
PO Box 8
Keimoes
8860

Att: Mr Thom Solomon

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KAKAMAS, KAI! GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SFY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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Application for environmental authorization to undertake the following activities:

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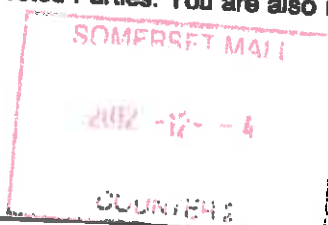
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Northern Cape Department of Agriculture & Land Reform
Private Bag X5018
Kimberley
8300

Att: Mr Wonders Mothibi

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

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Application for environmental authorization to undertake the following activities:

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Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

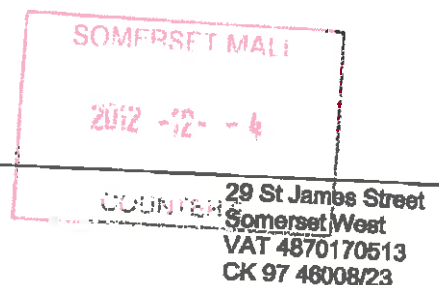
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Department of Cooperative Governance and Human Settlements
Private Bag X5005
Kimberley
8300

Att: Ms Greta Apelgren-Narkedlen

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 48.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

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SOMERSET MAIL

2012-12-14

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Department of Roads and Public Works
PO Box 3132
Kimberley
8301

Att: Mr K Nogwili

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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Government Notice R546 (Listing Notice 3): Activity No. 14

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Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

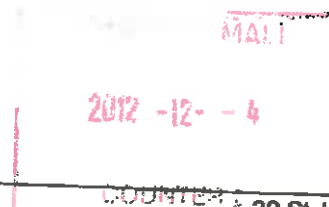
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Provincial Manager
SAHRA Northern Cape
PO Box 1930
Kimberley
8301

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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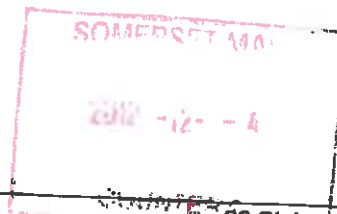
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Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Department of Water Affairs-Northern Cape
Private Bag X8101
Kimberley
8300

Att: Mr LJ Saunders

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KAK1/2012 (NCP/EIA/0000179/2012)

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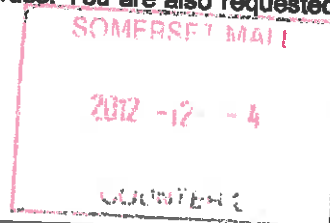
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Department of Environment and Nature Conservation
PO Box 231
Uptington
8800

Att: Mr Yaphi

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS
PROPOSED LOW COST HOUSING, KAKAMAS, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NCEIA/SIY/KAI/KAK1/2012 (NCEIA/0000179/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai !Garib Municipality, to undertake the **Environmental Impact Assessment** for the proposed project.

Application for environmental authorization to undertake the following activities:
Government Notice R544 (Listing Notice 1): Activity No. 11, 18, 22 and 24
Government Notice R545 (Listing Notice 2): Activity No. 15
Government Notice R546 (Listing Notice 3): Activity No. 14

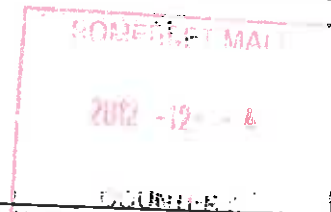
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The site is located on Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing (approximately 694 erven), including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

Public Participation: Interested and Affected Parties (I&APs) are hereby notified of the application and invited to register (in writing) and/or provide initial comments and identify any issues, concerns or opportunities relating to this project to the contact details provided below, **on or before 25 January 2013**. In order to register or submit comment, I&APs should refer to the project name and DEA reference number above, and provide their name, address & contact details (*indicating your preferred method of notification*) and an indication of any direct business, financial, personal, or other interest which they have in the application. Please note that future correspondence will only be sent to registered Interested and Affected Parties. You are also requested to pass this information to any person you feel should be notified.



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INVITATION TO COMMENT

Registered IRAPs 2012

IRAP List for: **Kaj/Gazdab LCH** DRADP Ref:
 Address: **Pharisa** Date:

No. / Title / Reg No.	Terrestrial/Plasma	Assessment	Affiliation	Postal Address	Telephone	Code	City	Province
1.1 Mr Patrick		Wells	Kaj/Gazdab Municipality	Pharisa Reg 26		8970	Pharisa	Free State
2.1								
3.1								
4.1 Mr D		Nyanga (Municipal Manager)	Siyanda District Municipality	Pharisa Reg 26/09		8970	Uptown	Free State
5.1 Municipal Manager								
5.2 Cdr Brink			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.3 Cdr Angie			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.4 Cdr Dany			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.5 Cdr Anwil			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.6 Cdr Waller			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.7 Cdr Andrew			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.8 Cdr Frielick			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.9 Cdr Willem			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.10 Cdr Anna			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.11 Cdr Erwin			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.12 Cdr April			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.13 Cdr Avlon			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.14 Cdr Justus			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.15 Cdr Merry			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
5.16 Cdr Tiaan			Kaj/Gazdab Municipality	P.O. Box 8		8980	Kaj/Gazdab	Free State
6.1								
7.1 Mr Wonders		Michael (FOOD)	NC Department of Agriculture & Land Reform	Private Reg 20015		8300	Kimberly	Free State
7.2 Mr Gada		Agulana-Madoban (FOOD)	Department of Cooperative Governance & Human Settlements	Private Reg 20016		8300	Kimberly	Free State
7.3 Mr K		Neyani (FOOD)	Department of Roads and Public Works	P.O. Box 5152		8301	Kimberly	Free State
7.4		Private Manager	SABRA Northern Cape	P.O. Box 1090		8301	Kimberly	Free State
7.5 Mr L		Strommen	Department of Water Affairs - Northern Cape			8300	Kimberly	Free State
7.6 Mr A		Yaphi	Department of Environment and Nature Conservation	Private Reg 24/01		8300	Kimberly	Free State
7.7								
7.8								
8.1								
8.2								
8.3								
9.1 Mr Newspaper								

2012-12-14
 2012-12-14
 2012-12-14

EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kaigariëb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Mr Kamfer

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai !Garib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22
Government Notice R545 (Listing Notice 2): Activity No. 15
Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

Public Participation: Interested and Affected Parties (I&APs) are hereby notified of the application and invited to register (in writing) and/or provide initial comments and identify any issues, concerns or opportunities relating to this project to the contact details provided below, **on or before 25 January 2013**. In order to register or submit comment, I&APs should refer to the project name and DEA reference number above, and provide their name, address & contact details (*indicating your preferred method of notification*) and an indication of any direct business, financial, personal, or other interest which they have in the application. Please note that future correspondence will only be sent to registered Interested and Affected Parties. You are also requested to pass this information to any person you feel should be notified.

SOMERSET

2012-12-4

COUNTER 2

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kailgarieb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Mr Meyer

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAIL GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kailgarib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 866, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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SOMERSET MAIL

2012-12-4

COUNTER C

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Kaigariëb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Mr Snyers

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai IGarib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

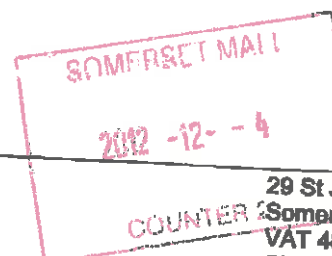
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kallgarieb Municipality
PO Box 8
Kelmoes
8860

28 November 2012

Att: Ms Titus

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai IGarib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22
Government Notice R545 (Listing Notice 2): Activity No. 16
Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Kelmoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

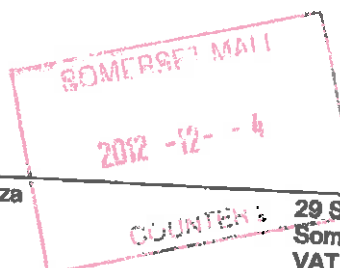
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kelmoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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Kailarieb Municipality
PO Box 8
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8860

28 November 2012

Att: Mr Styles

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai IGarib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

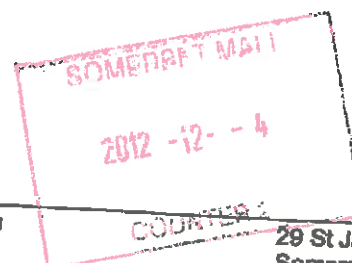
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&AP's will be notified of the decision by post and/or preferred method of communication.

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Omgewingsbeplanning en Impakbeoordeling Konsultante

Kallgarieb Municipality
PO Box 8
Kelmoes
8860

28 November 2012

Att: Mr van Wyk

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

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Government Notice R546 (Listing Notice 3): Activity No. 14

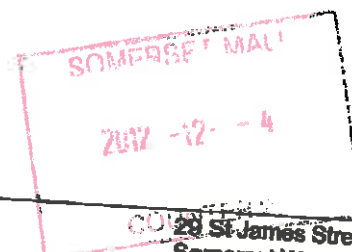
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Kelmoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Kelmoes affected and displaced by flooding of the Orange River.

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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Northern Cape Department of Agriculture & Land Reform
Private Bag X5018
Kimberley
8300

28 November 2012

Att: Mr Wonders Mothibi

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/STY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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Application for environmental authorization to undertake the following activities:
Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22
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Application has been made to the Competent Authority to follow a Basic Assessment process. Instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

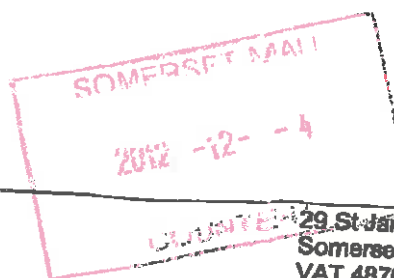
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Ongewingsbeplanning en Impakbeoordeling Konsultante

Kaigariëb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms Brenda Bock

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended ("NEMA"), Environmental Impact Assessment Regulations 2010.

The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai IGarib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process. Instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue. Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

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Ongewingsbeplanning en Impakbeoordeling Konsultante

Kaifgarieb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms De Bruin

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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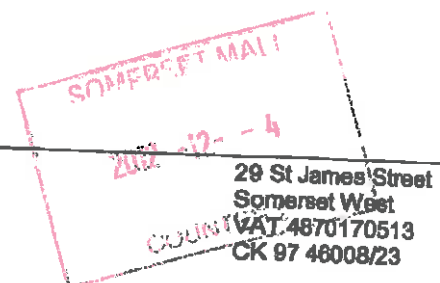
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Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Kaigariëb Municipality
PO Box 8
Keimoes
8860

Att: Ms Du Plessis

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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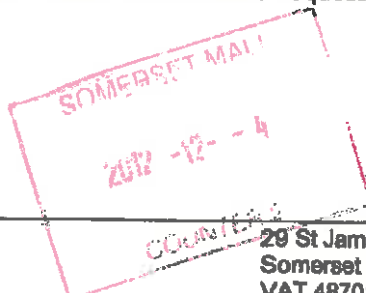
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kaifgarieb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms Fienles

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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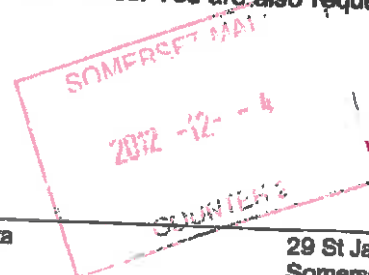
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

Kaigariëb Municipality
PO Box 8
Keimoes
8860

28 November 2012

Att: Ms Titus

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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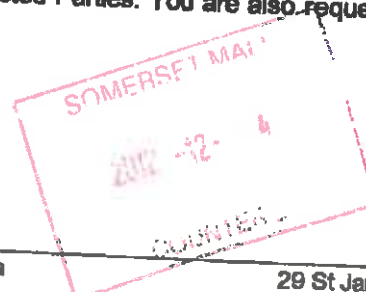
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Siyanda District Municipality
Private Bad X8039
Upington
8800

Att: Mr D Ngxanga

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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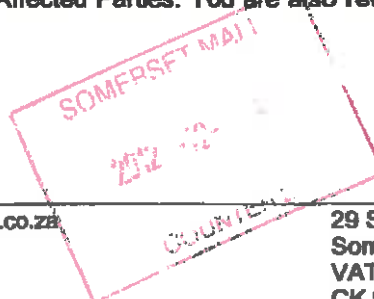
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Department of Environment and Nature Conservation
PO Box 231
Upington
8800

Att: Mr Yaphi

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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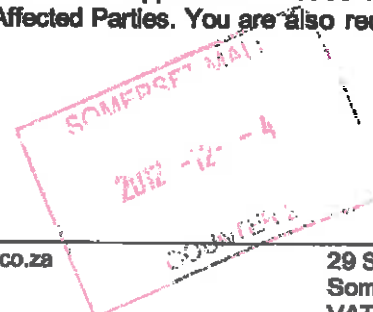
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Department of Water Affairs-Northern Cape
Private Bag X6101
Kimberley
8300

Att: Mr LJ Saunders

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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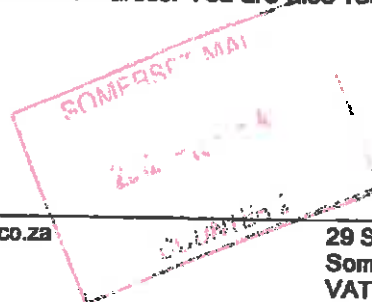
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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Municipal Manager
Kai!garieb Municipality
PO Box 8
Keimoes
8860

Att: Mr Abraham Vosloo

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI!/KEI2/2012 (NCP/EIA/0000181/2012)

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The proposed low cost housing development and associated infrastructure includes the below activities listed in terms of the NEMA EIA Regulations 2010. EnviroAfrica cc has been appointed by Kai !Garib Municipality, to undertake the **Environmental Impact Assessments** for the proposed project.

Application for environmental authorization to undertake the following activities:

Government Notice R544 (Listing Notice 1): Activity No. 11, 18, and 22

Government Notice R545 (Listing Notice 2): Activity No. 15

Government Notice R546 (Listing Notice 3): Activity No. 14

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

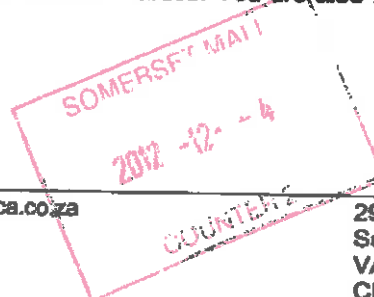
It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

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EnviroAfrica

Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

The Provincial Manager
SAHRA Northern Cape
PO Box 1930
Kimberley
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NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

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SOMERSET MAIL
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Environmental Planning and Impact Assessment Consultants
Omgewingsbeplanning en Impakbeoordeling Konsultante

28 November 2012

Department of Cooperative Governance and Human Settlements
Private Bag X5005
Kimberley
8300

Att: Ms Greta Apelgren-Narkedien

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI GARIB MUNICIPALITY, NORTHERN CAPE
DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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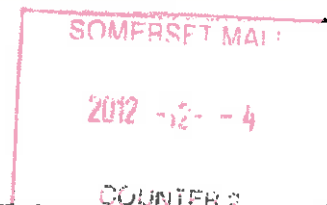
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28 November 2012

Department of Roads and Public Works
PO Box 3132
Kimberley
8301

Att: Mr K Nogwill

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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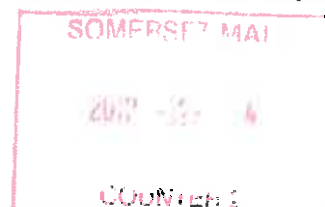
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28 November 2012

Kai!garieb Municipality
PO Box 8
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Att: Mr Kilm

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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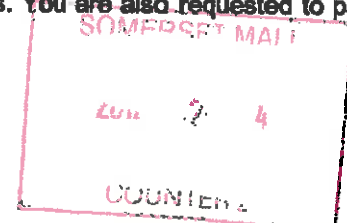
Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Project Description & Location: The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Blesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 148ha and 1200 residential erven are proposed.

It is proposed that the property be rezoned and subdivided for the development of serviced low cost housing including associated infrastructure. It is required due to the demand for serviced low cost housing and to provide housing for residents of Keimoes affected and displaced by flooding of the Orange River.

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28 November 2012

Kai!garib Municipality
PO Box 8
Keimoes
8860

Att: Mr Handona

NEMAA BASIC ASSESSMENT PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING, KEIMOOES, KAI! GARIB MUNICIPALITY, NORTHERN CAPE

DEPARTMENT OF ENVIRONMENTAL AFFAIRS (DEA) REF NO: NC/EIA/SIY/KAI/KEI2/2012 (NCP/EIA/0000181/2012)

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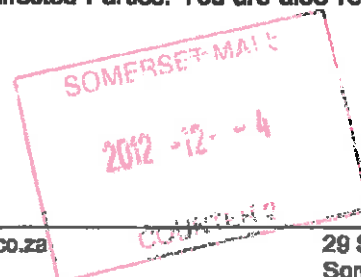
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by *Butcher of the Year* is an encouraging sign of volunteerism and nation building by recognizing and celebrating the contribution of diverse individuals, groups and institutions towards the upliftment of South African communities. Acknowledge community workers for their outstanding work and sacrifice – irrespective of race, colour or creed – all members of our rainbow nation. Identify and highlight those community workers who freely give of their time and efforts to uplift their communities and set an example for others to follow. Recognise corporations that make positive contributions to the upliftment of their communities. Encourage other community members to uplift themselves in the same manner as these role.

Speaking at the event last night MEC Alvin Botes hailed them as the unsung heroes and heroines who are continuing to fight the challenges of inequality and poverty. He said “They burn the midnight oil and walk long distances, often without food and money, to comfort the sickest of the sick and the poorest of the poor.”

He also said “We salute those who run projects aimed at the eradication of poverty, hunger and unemployment in rural and urban areas. Poverty compromises people’s ability to enjoy their basic human rights. Those who lack basic amenities cannot enjoy the other rights in our constitution.”

In conclusion MEC Botes said: “Tonight we are going to salute many charitable people, among these are members of pension communities. They are safeguarding the money and dignity of our parents and grandparents against abuse, robbery, theft and exposure.”

The Community Builder of the Year is divided into the following 5 Categories of which each category winner received prize money of R 20 000 which must be used for the sustainability of the project.

- WINNER YOUTH** – Ricardo Jonahan – Kgatelopele Youth Community Development Project - Groblershoop
- WINNER ADULT** **CATEGORY – Didiologeng Tiro** – Curling Wire – Barkley West
- WINNER SENIOR CATEGORY** – Stella Matsipe – Tswelelopele Elderly Club – Olfantshoek
- WINNER GROUP CATEGORY** – Kasper Spandiel – Kasper Spandiel Coaches – Ritchie
- WINNER DISABLED GROUP** – Tebogo Meremantsi – Joe Morolong Disability Cluster

KAI GARIB MUNICIPALITY

NEMA PUBLIC PARTICIPATION PROCESS

PROPOSED LOW COST HOUSING DEVELOPMENTS, KALIGARIB MUNICIPALITY, NORTHERN CAPE

ENVIROAFRICA CC

Notice is hereby given of the public participation process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998), as amended (“NEMA”), Environmental Impact Assessment Regulations 2010.

Kal (Garib Municipality) is proposing low cost housing developments and associated infrastructure in Kakamas and Keimoes. EnviroAfrica cc has been appointed by Kai (Garib Municipality, to undertake the Environmental Impact Assessments for the proposed projects.

Project Description and Location: It is proposed that the properties listed below be rezoned and subdivided for the development of serviced low cost housing, including associated infrastructure. These are required due to the demand for serviced low cost housing and to provide housing for residents of Kakamas and Keimoes affected and displaced by flooding of the Orange River.

Kakamas: Erf 1928, Kakamas, located off the R359. The site is approximately 46.8ha and 694 residential erven are proposed.

Keimoes (A): Erf 666, Keimoes, located off the N14. The site is approximately 49ha.

Keimoes (B): The application is located over two sites located on Erf 666, Keimoes. Site 1 - Off Protea Avenue and Biesbok Avenue, Site 2 - Off Alwyn Street. Combined, the site is approximately 146ha and 1200 residential erven are proposed.

Application for environmental authorization to undertake the following activities:

- Kakamas:** Government Notice (GN) R544 Activity No. 11, 18, 22 and 24. GN R545: Activity No. 15. GN R546: Activity No. 14.
- (DEA Reference number: NCE/EMSIY/KAU/KAKEI/2012 (NCP/EIA/0000179/2012))**
- Keimoes (A):** Government Notice (GN) R544 Activity No. 11, 18 and 22. GN R545: Activity No. 15. GN R546: Activity No. 14.
- (DEA Reference number: NCE/EMSIY/KAU/KEI/2012 (NCP/EIA/0000180/2012))**
- Keimoes (B):** Government Notice (GN) R544 Activity No. 11, 18 and 22. GN R545: Activity No. 15. GN R546: Activity No. 14.
- (DEA Reference number: NCE/EMSIY/KAU/KEI/2012 (NCP/EIA/0000181/2012))**

Application has been made to the Competent Authority to follow a Basic Assessment process, instead of a Scoping and Environmental Impact Report.

Application for exemption: The applicant is intending to apply for exemption from Regulation 10(2)(d) of Government Notice No. R543, which states that the applicant must, within 12 days of the date of the decision, place a notice in the same newspaper(s) used for the placing of advertisements as part of the public participation process, informing Interested and Affected Parties of the decision, where the decision can be accessed and the right to appeal. Registered I&APs will be notified of the decision by post and/or preferred method of communication.

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Consultant: EnviroAfrica CC, P.O. Box 5367, Helderberg, 7135 / Fax: 086 512 0154 / Tel: 021 8511616 / E-mail: admin@enviroafrica.co.za

NOTICE TO REGISTERED INTERESTED AND AFFECTED PARTIES (I&APs) TO REGISTER AND SUBMIT COMMENTS ON THE APPLICATION FOR EXEMPTION FROM REGULATION 10(2)(D) OF GOVERNMENT NOTICE NO. R543, WHICH STATES THAT THE APPLICANT MUST, WITHIN 12 DAYS OF THE DATE OF THE DECISION, PLACE A NOTICE IN THE SAME NEWSPAPER(S) USED FOR THE PLACING OF ADVERTISEMENTS AS PART OF THE PUBLIC PARTICIPATION PROCESS, INFORMING INTERESTED AND AFFECTED PARTIES OF THE DECISION, WHERE THE DECISION CAN BE ACCESSED AND THE RIGHT TO APPEAL. REGISTERED I&APs WILL BE NOTIFIED OF THE DECISION BY POST AND/OR PREFERRED METHOD OF COMMUNICATION.

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APPENDIX E (3)

Comments and response report:

No comments were received during the initial Public Participation Process period

Appendix F

Environmental Management Programme

DRAFT ENVIRONMENTAL MANAGEMENT PLAN

**FOR THE
MANAGEMENT OF ACTIVITIES RELATING TO THE PROTECTION OF
THE NATURAL ENVIRONMENT DURING THE CONSTRUCTION AND
OPERATIONAL PHASES OF THE**

PROPOSED LOW COST DEVELOPMENT ERF 1928, KAKAMAS, NORTHERN CAPE

*This EMP is a DEA&DP Requirement,
and is to be presented to contractors at the On Site Start-Up Meeting*

Compiled by

EnviroAfrica cc

May 2013

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**ENVIRONMENTAL MANAGEMENT PLAN FOR ACTIVITIES RELATING TO THE PROTECTION OF
THE NATURAL ENVIRONMENT DURING THE CONSTRUCTION AND OPERATIONAL PHASE OF
THE
PROPOSED LOW COST HOUSING DEVELOPMENT ON ERF 1928, KAKAMAS,
NORTHERN CAPE**

(This EMP is a condition as set out in the EA)

1. INTRODUCTION

This Environmental Management Plan (EMP) forms part of the conditions as set out in the Environmental Authorisation (EA) and recommendations as detailed in the Basic Assessment Report (dated May 2013)

This EMP binds all contractors, sub-contractors and other persons working on the site to adhere to the terms and conditions of the EMP throughout the construction of the De Roodezandt Development and associated infrastructure.

Any other Site Specific additional activities decided and agreed upon at the "On Site Start-Up Meeting" must be included to form part of the EMP.

EMP Circulation List

Full copies of this EMP will be made for the ECO, Site Engineer and/or Contractor. Appendices will also be made and circulated where relevant.

2. COMMENCEMENT OF WORKS

The site project contractors must timeously receive a copy of the site EMP and any other further additional information that pertains to site conditions/amendments or deviations from original site plan. This EMP must form part of the Contractors Contract.

A copy of the EMP must be on site at all times and available for presentation to any authority requesting to see such document.

No work on site may take place until:

- The Environmental Contract is signed between the relevant parties
- One week's written notice given to the Department before commencement of any construction activity (As per the EA)
- EMP has been approved by the relevant authorities
- On-Site Start-Up Meeting has been held
- Site and No-Go areas has been demarcated
- Contractors are in possession of the EMP and other relevant documentation
- Contractors signed the Declaration Of Understanding
- All mandatory site equipment is in place

- On Site Environmental Education & Awareness training session has taken place with all relevant construction personnel present.
- Search and Rescue of important vegetation on site takes place.

NB: Work refers to: Camp Establishment, Earthmoving activities and any preliminary construction activities.

3. ENVIRONMENTAL CONDITIONS OF APPROVAL

- Environmental Authorisation Conditions Of Approval – see Appendix 9 for the full EA
- Original Basic Assessment Report Recommendations – see Appendix 11
- Local Authority Conditions of Approval – if applicable
(see attached as appendices)

4. ISSUES OF CONCERN

Issues of concern that were identified in the Environmental Impact Assessment process and/or included in the EA include but are not restricted to the following:

- Protection of sensitive natural vegetation

The pre-determined environmental issues and respective activities must be addressed during the “On Site Start-Up Meeting” (OSSM) and reflected in the On-Site Start-Up Report.

The Site Specific recommendations as per conditions of the Environmental Authorisation are to be included and to be reflected in the On-Site Start-Up Report (refer point 6 under start-up report)

Such activities include but shall not be limited or restricted to;

- Access route
- Demarcation of working footprint and removal and storage of topsoil material
- Waste management
- Mandatory site equipment
- Establishment of construction site compound and fuel stores
- Ablution and Toilet Facilities
- Refuse Management
- Concrete works & batching proposals
- Soil Erosion Control
- Fire fighting equipment & Emergency fire reaction plan
- New access road construction (if required)

5. ON-SITE START-UP MEETING

The mandatory **on-site start-up** meeting that is conducted preferably **14 days but not less than 5 working days** prior to commencement of any site/camp establishment, earthworks and/or construction activities and will relate to additional discussed information that must be complied with during the entire construction phase.

ON-SITE START-UP MEETING REPORT to be attached as Appendix 1 to the EMP. The Start-Up Meeting Report to include all site-specific issues and arrangements as discussed and agreed on at the site start-up meeting.

The On-Site Start-Up Meeting additional information pertains to specific site construction agreements that was discussed on site by all the relevant parties and agreed on and must be included in the On Site Start-Up Meeting Report. **(The arrangements and agreements must fall within the conditions as set out in the EA)**

At the on-site start-up meeting (OSSM), the following issues must be addressed:

- The EMP & other relevant site documents
- Project to be discussed and all uncertainties are cleared
- Method statement/s to be discussed
- Road (if required) and construction area to be demarcated
- Materials stockpile and lay down areas to be demarcated
- Method of stockpiling to be discussed
- Fire fighting procedures
- Mandatory fire fighting equipment & fire preventative measures
- Solid waste removal intentions
- Placement, type and service of toilets to be agreed on
- Placement and type of rubbish bins and removal of rubbish to be agreed on
- Labour overnight camp to be demarcated and services agreed on (if required)
- Environmental Education and awareness training session to all contractors & onsite staff/labour

The following people must attend the on-site Start-Up Meeting:

- ☞ A representative from the Applicant
- ☞ Main contractor's representative.
- ☞ Site supervisor/foreman
- ☞ Environmental consultant (EC/ECO)
- ☞ Environmental site officer (ECO/ESO)

Minutes of the on-site Start-Up Meeting will be condensed to a report format and circulated to all attendees of the above named meeting for their perusal and comments if needed. A Non-response is deemed an acceptance of the contents and agreements of the report. **(Appendix 1)**

The main contractor must provide (i) a list of all sub-contractors and their scope of work for the contract and (ii) a time schedule of works.

The On-site Start-up Meeting report will also form part of this Environmental Management Plan. If any discrepancies between the start-up report and the EMP arise then the EMP will take precedence until clarification on the discrepancy is clarified. If any discrepancies between the EMP and the EA then the EA will take precedence until clarification on the discrepancy is clarified.

IT IS THE RESPONSIBILITY OF THE MAIN CONTRACTORS TO ENSURE THAT ALL SUB-CONTRACTORS, THAT WORK ON THE SITE DURING AND AFTER THE CIVILS CONTRACT, ARE INFORMED OF THE ENVIRONMENTAL CONDITIONS PERTAINING TO THE SITE.

NB! NO WORK WILL START UNTIL THE ABOVE IS IN PLACE AND AGREED ON.

6. METHOD STATEMENT

Method statements from the contractor will be required for specific sensitive actions on request of the authorities, Applicant/s representative or the ECO. A method statement forms the base line information on which sensitive area work takes place and is a "live document" in that modifications are negotiated between the Contractor and ECO/Applicant, as circumstances unfold. All method statements will form part of the EMP documentation and are subject to all terms and conditions contained within the EMP main document.

These documents must be available to the authorities for inspection or on request.

A method statement describes the scope of the intended work in a step-by-step description in order for the ECO and the Applicant to understand the contractor's intentions. This will enable them to assist in devising any mitigation measures, which would minimize environmental impact during these tasks.

The Contractor must submit the method statement before any particular construction activity is due to start. Work may not commence until the ECO and Applicant have approved the method statement.

Method statements need to be compiled by the contractor for approval by the Applicant and the ECO. The contractor must submit written method statements to the Applicant for the purposes of the environmental specification, a "Method Statement" is defined as a written submission by the contractor to the Applicant setting out the plant, materials, labour and method the contractor proposes using to carry out an activity, in such detail that the Applicant and the ECO is able to assess whether the contractor's proposal is in accordance with the specifications and/ or will produce results in accordance with specifications.

The contents of the Method statement cannot be changed or altered.

The method statement must cover applicable details with regard to:

- Construction procedures
- Materials and equipment to be used
- Getting the equipment to and from site
- How the equipment/ material will be moved while on site

- How and where material will be stored
- The containment (or action to be taken if containment is not possible) of leaks or spills of any liquid or material (of any potential hazardous material) that may occur
- Timing and location of activities
- Compliance/ non-compliance with the Specifications, and
- Any other information deemed necessary by the Applicant and the ECO.

The Contractor must abide by these approved method statements, and any activity covered by a method statement must not commence until the Applicant and the ECO has approved of such Method Statement.

NB: No work may commence or take place until all relevant parties have approved the Method Statement.

Explanation of method statements and a pro forma method statement sheet that must be completed by the Contractor for each activity requiring a method is attached as **Appendix 4 & Appendix 5.**

7. ENVIRONMENTAL DECLARATION of UNDERSTANDING (for the Environmental Management Plan (EMP))

The purpose of the Environmental Declaration of Understanding agreement between the applicant / client, the engineer, the contractor and the Environmental Consultant is;

1. To enforce compliance by all PARTIES with the EA and this Environmental Management Plan.
2. To maintain proof of compliance with the site EA.
3. Applicant to inform all relevant parties of the EA and EMP (as per condition of the EA).
4. To protect the ENVIRONMENT of the site against environmental damage;
5. To mitigate and rehabilitate any damage to the ENVIRONMENT.
6. Ensure that all contractors and sub-contractors are familiar with the EMP & EA and sign the mandatory Declaration of Understanding indicating their undertaking to work within the framework of the environmental requirements.

This agreement outlines the obligations on the ECO to ensure compliance by all parties with the EMP

8. PENALTIES

The Applicant (on recommendation by the ECO) reserves the right at all times for the duration of this agreement to impose restrictions and associate penalties on the contractor with respect to the specific nature, timing and extent of construction activities on environmentally sensitive sites.

In instances of non-compliance with the EMP by the contractor (or any of their employees) or sub-contractor/s (or any of their employees) that move on or off the site, the on-site ECO must issue a written warning indicating the non-conformance to the contractor.

The Applicant, in consultation with the Environmental Consultant/ECO must determine the amount of the penalty applicable in accordance with the Penalties for Non-Compliance Schedule of Tariffs (**Appendix 2**).

Such penalty amount must be produced in writing and presented to the contractor within seven (7) days of the written warning. The Applicant may recover penalties by deducting the fine from the offending contractor.

The contractor will be responsible for all costs incurred where emergency procedures are implemented to deal with accidents impacting on the environment as well as the rehabilitation of such damage in conjunction with the ECO and site engineer.

In serious cases, at the discretion of the Applicant and the Environmental Consultant/ECO, any multiple offences can be added together.

The ECO (after consultation with Environmental Consultant/ the Applicant) may also *stop the works or part thereof until the situation is resolved; no extension of time is claimable by the contractor.*

These penalties do not preclude any prosecution under any law or regulation.

This set of procedures must be understood by all relevant onsite project managers / project managers and site workers.

See **Appendix 2** for the Penalties for Non- Compliance.

9. RESPONSIBILITY OF THE APPLICANT

Kai! Garib Municipality (as the Applicant) must be responsible for ensuring compliance with the conditions contained in the EA by any person acting on his behalf, including but not limited to an agent, servant, employee or any person rendering a service to the Applicant in respect of the activity, including but not limited to contractors and consultants.

The Applicant is responsible for appointing the ECO, Site Engineer and Contractor for the duration of the construction contract and for ensuring that the Site Engineer and Contractor fulfil their obligations in terms of this EMP.

The Applicant and or its representative must notify DEA&DP and any other relevant authority, in writing, within 24 hours thereof if any condition of this authorisation is not adhered to.

10. THE SITE ENGINEER / SITE MAIN CONTRACTOR

The Site Engineer / Site main contractor is responsible for ensuring that the construction contract and daily construction activities as per the original site specifications are implemented in terms of the Environmental Management Plan which includes additional on-site Start-Up Meeting agreements

The Site Engineer and the ECO are expected to develop a close working relationship and to stay in contact with each other.

The Site Engineer issues site instructions to the Contractor and all requests and communications between the ECO and Contractor are via the Site Engineer.

The only exception to this is where the ECO needs to issue a "stop works" order on the Contractor or the Site Engineer if serious environmental harm is about to happen or is happening as a result of construction activity. This "stop-order" must be confirmed by the ECO as soon as practically possible to all affected construction personnel.

When the ECO is not on site, the resident engineer will be responsible for implementation of the EMP. Any construction and construction related activities that might lead to damage to the environment should be immediately brought to the attention of the site ECO.

The site engineer or the appointed engineer's representative must complete the daily "ENVIRONMENTAL DAILY CHECKLIST" (see Appendix 6)

11. THE CONTRACTOR

The Contractor must ensure that all of its sub-contractors, employees, suppliers, agents, etc., are fully aware of the environmental issues detailed in the site EMP. The Contractor must liase closely with the Site Engineer and the ECO and must ensure that the works on site are conducted in an environmentally sensitive manner and fully in accordance with the requirements of the EMP, at all times.

Any main bulk service providers must be advised of the construction activities as well as the requirements of this EMP and the Contractor must be responsible for their activities conducted within their work areas.

All contractors working on site must have proper and competent contractor supervision during their time of contract.

If more than one contractor work on the site simultaneously then the responsibility lies on each contractor to adhere to the conditions of the EMP and related documents.

This is for the duration of the contract.

The supervisors must work closely with the appointed environmental officer and discuss the daily programme with the appointed environmental officer. Any problems that might lead to damage to the environment must be discussed prior to commencement of the activity.

THE ECO MUST ENSURE THAT ALL CONTRACTORS / SUB-CONTRACTORS HAVE SIGNED THE "DECLARATION OF UNDERSTANDING" (Appendix 3) IN THIS CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN BEFORE CONSTRUCTION COMMENCES.

12. SITE PERSONNEL: ENVIRONMENTAL AWARENESS TRAINING

All daily site construction personnel must attend an on-site Induction Environmental Education and Awareness training (E&AT) session together with any site-specific environmental training they may require to carry out their duties.

All contractor and sub-contractor teams involved in work on site must be briefed on their obligations towards environmental controls and methodologies in terms of this EMP prior to commencement of any construction and construction related activities

The on-site Environmental Education and Awareness Training session must take the form of an on-site environmental talk and where necessary relevant demonstrations conducted by the ECO.

The on-site Environmental Education and Awareness Training session must be aimed at all levels of site contractors, sub-contractors and related site workers & site management.

In the case of new workers coming on site throughout the construction programme, the site contractor is responsible to ensure all new labour arriving on site is made aware of the contents of the EMP and is briefed on the E&AT.

13. ENVIRONMENTAL CONTROL OFFICER

13.1 Frequency of site visits

An ECO must be appointed for the duration of the construction phase (as required by the EA). The ECO must comply with the following:

- Conduct a start-up meeting before construction commences
- ECO to monitor the development at least twice a month until the development is completed
- Conduct a closing down visit as soon as possible after completion of the Development
- Conduct an Environmental compliance audit within 6 months after completion of the civil contract.

13.2 Requirements for the Posts

Environmental Control Officer: [ECO]

- A recognised environmental practitioner with a degree in environmental management and a sound knowledge of the environment and environmental management principles.
- An independent person with 5 or more years of environmental site management and able to ensure EMP compliance monitoring experience on construction projects.

13.3 Monitoring responsibilities of the ECO

- The ECO will undertake regular site inspections and to monitor and assist in environmental tasks he/she must compile daily / weekly reports/checklist and submit to EnviroAfrica / the Applicant

- Is to ensure that the mitigation/rehabilitation measures and recommendations referred to in the Environmental Authorisation are implemented and to ensure compliance with the provisions of the EMP.
- Must notify DEA&DP and any other relevant authority, in writing, within 24 hours thereof if any condition of the EA is not adhered to.
- Is responsible for the environmental issues involved with the construction phase of the project;
- Co-ordinating any aspect of site activity that may have an effect on the environment;
- Must work in close conjunction with the Applicant /Site representative, contractors and sub-contractors
- Must identify and demarcate the impact area i.e. construction footprint area before any construction activities commence
- Must demarcate the necessary areas for storage of materials, ablutions, eating areas of contract workers, etc.
- Must identify 'No go' areas and areas sensitive to erosion and have these areas demarcated. Environmental awareness of the workers is essential. This must be in the form of an on-site talk and must be conducted at an appropriate technical level
- The ECO will keep a site inspection diary. The purpose of the site diary is to record construction progress and environmental compliance. This information is then recorded in the form of an ECO checklist and/or diary entries and photographic records for visual reference. (Appendix 8).
- These documents must be available to the authorities for inspection or on request. The diary must include meetings/discussions with the contractor and must reflect environmental queries, agreed actions and dates of eventual compliance. These must form part of the official environmental record

13.4 Authority of the ECO

The ECO has the authority to stop works if in his/her opinion there is a serious threat to or impact on the environment caused directly from the construction operations.

This authority is to be limited to non-compliance to the EMP and emergency situations where consultation with the Environmental Consultant is not immediately available.

The ECO is to inform the Environmental Consultant of the reasons for the stoppage as soon as possible. A relevant reason should be supplied to the Applicant/Site representative as soon as possible after stoppage of such works.

Upon failure by the contractor or his employee to show adequate consideration to the environmental aspects of this contract i.e. wilful destruction of the environment, the ECO may recommend to the Applicant/site representative to have the contractor's representative or any employee(s) removed from the site or work suspended until the matter is remedied.

No extension of time will be considered in the case of such suspensions and all costs will be borne by the contractor

13.5 Appointment of an ESO. (Environmental Site Officer)

When necessary the ECO may appoint an ESO to carry out the site inspections and the following will apply:

- The ESO is appointed prior to commencement of construction activities, site inspections are decided upon between the Applicant and the ECO depending on the environmental sensitivity of the construction areas and site location.
- The frequency of site inspections is also determined prior to commencement of works but can change if the need arises.

13.5 Qualifications of an ESO.

The appointed Environmental Site Officer must fulfil the following criteria:

- Have at least 6 years' experience as an Environmental Site Officer.
- Have a sound understanding of the contents of the EMP.
- Must be able to enforce compliance to all relevant site documents.
- Have a basic knowledge of the NEMA and other relevant information.
- A construction background would be an advantage.
- Must be able to work with site personnel and resident engineers.

14. CHANGES TO MANAGEMENT PLAN

Although care has been taken to address all known relevant environmental issues for the construction phase, it may become necessary to add or amend certain procedures or instructions to improve the efficiency of the Environmental Management Plan (EMP).

Only those additions or amendments of this EMP that will either improve environmental protection or can be proven not to have any negative effect to the immediate and surrounding environment will be considered.

Changes or deviations have to be motivated in writing by means of a Method Statement and the same procedures for a standard Method Statement have to be followed.

Any additions or amendments must be submitted by the ECO to DEA&DP after the ECO has consulted with the Environmental Consultant and the Applicant. Please note that any additions or amendments to this EMP must be approved by DEA&DP before they are implemented.

No deviation from the contents of the EMP is allowed without the above-named prescribed procedures.

15. RECORD KEEPING

All records relating to the implementation of this management plan (e.g. Declaration of Understanding, ECO Checklist and/or diary, Method Statements, etc.) must be kept together and can be retrieved easily. These records must be available for scrutiny by any relevant authorities.

Photographs are to be taken of the site prior to, during and immediately after construction, as a visual reference. These photographs must be stored with other records related to this EMP.

Any environmental non-compliances reported must have the support of sufficient photographic proof to mitigate the non-compliance report.

16. ENVIRONMENTAL COMPLETION STATEMENT

An Environmental Completion Statement is a report by the ECO/EC to the relevant authorities stating completion of the project and compliance with the EMP and conditions.

The following environmental statements must be completed on completion of all site construction activities and submitted in line of sequence to the relevant office for perusal and reference.

16.1 ESO: ENVIRONMENTAL CLOSING STATEMENT

The ESO must submit an **environmental closing statement** on completion of the construction phase of the development. The environmental closing statement must cover all aspects of daily/weekly construction activities that took place during the ESO site inspections.

16.2 ECO: ENVIRONMENTAL COMPLETION STATEMENT

The ECO must submit an **environmental closing statement** relating to all environmental and technical issues that occurred on site as well as any conclusions regarding incidents such as written warnings, stoppages of works and penalty fines.

16.3 ENVIRONMENTAL AUDIT REPORT

An Environmental Audit Report by the ECO must be submitted by the Applicant to the satisfaction of the Department of Environmental Affairs and Development Planning, within six months after construction has been completed and also after the sites have been rehabilitated.

17. MANAGEMENT SPECIFICATIONS (CONSTRUCTION PHASE)

(This EMP is additional to conditions as set out in the EA)

17.1 Fauna and Flora

The Contractor must not deface, paint, damage or mark any natural features (e.g. trees, rock formations, buildings, etc.), if these should be situated in or around the Site, for survey or other purposes unless agreed beforehand with the Engineer and the ECO. Any features affected by the Contractor in contravention of this clause must be restored/rehabilitated to the satisfaction of the Engineer and the ECO.

Except to the extent necessary for the carrying out of the works, flora must not be removed, damaged or disturbed nor must any vegetation be planted. Any removal of vegetation that is necessary should be kept strictly to the demarcated area. Indigenous vegetation patches surrounding the proposed site, if any, should be established as no-go areas. .

Trapping, poisoning and/or shooting of animals is strictly forbidden. No domestic pets or livestock are permitted on Site. Where the use of herbicides, pesticides and other poisonous substances are to be used, the Contractor must submit a Method Statement.

All incidents of harm to any animal or natural vegetation (apart from the agreed upon areas) must be reported to the ECO.

17.2 Protection and Rescue of Fauna and Flora

As a pre-cautionary measure all viable herb-, bulbs- and succulent plant species encountered within the footprint should be removed and replanted through a dedicated search and rescue operation.

Permits must be obtained for the removal of any protected species which cannot be avoided.

The small koppies to the south of the property (which will be too steep for development) should be regarded as no-go areas and protected as natural features or green belts.

If required, any flora identified during construction to be rescued must be removed and placed in an area specifically allocated for these plants to ensure that the necessary care thereof will take place until being relocated and planted in designated areas.

Any areas of vegetation that are to be protected during construction must be demarcated and indicated on a site plan. A Method Statement is to be submitted to the ECO by the Contractor, detailing the method of fencing for protection of the conservation areas.

17.3 Clearing of Vegetation, Stripping & Conservation of Topsoil

A Method Statement must be submitted detailing the methods to be used for vegetation clearing. All cleared areas must be stabilised as soon as possible. Burning of cleared vegetation on site is prohibited. The burying of cleared vegetation or use as part of backfill or landscape shaping is prohibited unless written approval is obtained from the ECO.

Cleared vegetation may be used for mulch or slope stabilisation of the Site. Should bulk vegetation be removed from the designated working areas (foot print area) then tall vegetation shall first be removed through brush cutting and chipping of larger shrub material; this may be added to the topsoil material stockpiles as mulch. Unless otherwise agreed upon, only indigenous plant material shall be used for this purpose.

Prior to any activities within the demarcated work areas, topsoil material shall be removed to a depth of 300mm or deeper if specified by the engineer in consultation with the ECO, and stockpiled in a designated area for use in rehabilitation of the site post construction. Any area where the topsoil will be impacted by construction activities, including the construction offices and storage areas, must have the topsoil stripped and removed and covered with herbaceous vegetation (other than alien species), overlying grass and other fine organic matter and stockpiled for subsequent use in rehabilitation.

Topsoil storage areas must be convex and should not exceed 2m in height. The Contractor must ensure that the material does not blow or wash away. Topsoil must be treated with care, must not be buried or in any other way be rendered unsuitable for further use (e.g. by mixing with spoil) and precautions must be taken to prevent unnecessary handling and compaction. In particular, topsoil must not be subject to compaction greater than 1 500 kg/m² and must not be pushed by a bulldozer for more than 50 m. Trucks may not be driven over the stockpiles.

Topsoil from different soil types must be stockpiled separately and replaced in the same areas from which they were taken if this proves to be the case. Specific attention should be given to the areas that may house rare and threatened species. Topsoil areas must be demarcated in order to ensure the safekeeping of topsoil and to separate different stockpile types.

17.4 Protection of Archaeological & Paleontological remains

Should any unmarked human burials/remains or ostrich eggshell water flask caches be uncovered, or exposed during construction activities, these must immediately be reported to the archaeologist (Jonathan Kaplan 082 321 0172), or Ms Katy Smuts at the South African Heritage Resources Agency (021 462 4502). Burials must not be removed or disturbed until inspected by the archaeologist.

In the event that previously unknown archaeological features are exposed during the construction phase, the Contractor should inform the Engineer and the ECO who will advise the Applicant on the necessary course of action.

Note that the Contractor may not, without a permit issued by the responsible heritage resource authority; destroy, damage, excavate, alter, deface or otherwise disturb any archaeological site or archaeological material. The latter is a criminal offence under the Heritage Resources Act.

17.5 Appropriate use of Machinery

Contractor must, at all times, carefully consider what machinery is appropriate to the task while minimizing the extent of environmental damage.

The contractor may not operate any machinery including a fuel driven compressor outside the demarcated area.

Where practical, all maintenance of plant and machinery on Site must be performed in workshops. If it is necessary to do maintenance outside of a workshop area, the Contractor must obtain the approval of the Engineer and the ECO prior to commencing activities

All vehicles and equipment must be routinely inspected for fuel and oil leaks, kept in good working order and serviced regularly. Leaking equipment must be repaired immediately or removed from the Site. When servicing equipment, drip trays must be used to collect the waste oil and other lubricants. Drip trays must also be provided in construction areas for stationary plant (such as compressors) and for "parked" plant (such as scrapers, loaders, vehicles). Drip trays will be kept free of water that will float the oil to overspill. All drip trays / bungs to attain a 120% capacity of the plant fuel / oil capacity.

Appropriate 2.5kg (minimum requirement) dry powder SABS approved and service certified fire-fighting extinguisher must be a mandatory item on all vehicles working and moving on or off the construction site.

17.6 Demarcating and fencing

Final site demarcation must be carried out with all relevant parties (who will be responsible) present for the day-to-day activities on the site, they include;

Applicant	Representative
Environmental Consultant	Environmental Consultant (EC)
Main Contractor	Project Site Manager
Sub-contractor	Project contractor
ECO/ESO	Environmental Control Officer or Site Officer

The proposed site will be demarcated prior to the commencement of any construction activities whatsoever, this includes site establishment, the moving of construction material or any other items onto the site, etc.

The site will be demarcated with appropriate strong steel dropper poles. A single strand of orange baler twine is to be attached to the dropper poles to indicate boundaries and no-go areas for site personnel and vehicular movement. (Alternative fencing may be decided upon dependent on site requirements)

The construction area i.e. road, stockpile areas and development footprint etc. must be demarcated and fenced off with steel dropper poles and orange baler twine approximately 1m high is considered adequate. The demarcation will be agreed on during the start-up meeting.

All fencing and fence placement / positioning must be approved by the ECO on site.

Work areas and access routes must be clearly demarcated to minimise environmental impact.

NB. Steel dropper poles and orange baler twine has proven to be the most environmentally friendly means of on-site demarcation.

In the event that sensitive features are threatened by construction activities, temporary fencing off of these areas (for individual areas such as trees or rocks) or the construction area (when working in a mainly natural environment) is recommended.

The Contractor must maintain in good order all demarcation, fencing and barriers for the duration of construction activities, or as otherwise instructed. Any temporary fencing removed for the execution of any portion of the works is to be reinstated by the Contractor as soon as practicable. The Contractor at the end of the contract must remove all demarcation, fencing or barriers not forming part of the final works on Site.

Once in place the demarcation barriers may not be moved or altered without consultation with the site ESO and the main contractor.

17.7 "NO-GO" Areas

"NO-GO" areas, if so designated by the EMP, EA or ON SITE START-UP MEETING, are certain pre-determined areas where construction activities are prohibited. The contractor must ensure that no person, machinery and/or equipment enter the "NO-GO" areas at any time during the contract period. If so required by specifications in the EMP, certain areas must be "No go" areas. The Contractor must ensure that, insofar as he has the authority, no person, machinery, equipment or material enters the designated "No Go" areas at any time.

Areas of special importance will be decided upon between the Engineer, Contractor and the ECO and demarcated as "No go" areas on a site plan and fenced off. Such areas are out of bounds to the Contractor and his staff, sub-contractors and their staff or suppliers and their staff and to any other person involved in the construction, without the written permission specified by the ECO.

All private property outside of the construction areas as set out in the site layout plan shall be considered no-go areas.

17.8 Water, Storm water, Erosion & Sedimentation Control

The Contractor must take appropriate and active measures to prevent erosion resulting from his own construction activities and operations as well as storm water control measures to the satisfaction of the ECO.

Occupants on site must have access to safe drinking water. Water to be supplied by the contractor shall be from a legal source and comply with recognised standards for potable and other uses.

During construction, the Contractor must protect areas susceptible to erosion by installing all the necessary temporary and permanent drainage works as soon as possible.

It is illegal to discharge water into a public stream if the quality does not conform to the required health or water standards. Other measures as may be necessary must be taken to prevent the surface water from being concentrated in streams and from scouring the slopes, banks or other areas. All potential hazardous fluids / materials must be protected from the rain to prevent them being washed into storm water channels or any aquatic ecosystems. All such measures must be discussed with and approved by the ECO.

17.9 Fuel, Tar Compounds and Oil

Basic guidelines to follow if any fuels are to be stored are as follows:

- These areas must comply with general fire safety requirements.
- All vehicles, equipment, fuel and petroleum services and containers must be maintained in a good condition that prevents leakage and possible contamination of soil or water supplies. Drip trays are to be used in these storage areas to prevent contamination of the ground in the event of spillages or leaks.
- All plants / fuel tanks must have a drip tray present to use in the event off accidental spillage of oils and fuels and must contain a capacity level of 120% of the capacity of the plant fuel and oil tanks.
- Drip trays must be used when refuelling plant or equipment.
- A suitable leak proof container for the storage of oiled equipment (filters, drip tray contents and oil changes etc.) must be established.
- Fuels and oils must be safely located out of harm's way from the elements and safety and fire prevention must be strictly adhered to.
- All spills are to be recorded in the ESO diary.
- A bioremediation/ hydrocarbon spill remediation product approved by the ECO must be stored on site and near the fuel stores for any emergencies such as spills. Once a purpose manufactured hydrocarbon spill remediation product has been used or has been used to treat contaminated materials (soil, rubble etc.), it can be disposed of as per general waste provided this is not in excessive quantities.

Fuel Storage proposals must be cleared by the ECO before any storage or stockpiling takes place.

17.10 Hazardous Substances

If potentially hazardous substances are to be stored on site, the Contractor must provide a Method Statement detailing the substances/materials to be used, together with the storage, handling and disposal procedures of the materials to the Engineer and the ECO.

Paints: - No paint products may be disposed of on Site and brush/roller wash facilities must be established to the satisfaction of the Engineer and the ECO. Oil based paints and chemical additives and cleaners such as thinners and turpentine must be strictly controlled. A Method Statement detailing the paint management procedures is required.

Hazardous building materials: - Any Hazardous building materials (e.g. asbestos, fibre claddings, refrigerants, coolants, sub-station cooling oils, etc.) must be identified and dealt with in accordance with the relevant safety and health legislation. All such material must be separated on Site and disposed of at appropriate licensed disposal sites. The Contractor must supply the ECO with a certificate of disposal.

Hazardous materials should be stored under lock and key in designated areas with properly displayed and visible warning signs.

17.11 Concrete Works

The Engineer (in collaboration with the ECO) must indicate the permitted location of batching plants (including the location of cement stores and sand and aggregate stockpiles), if these are to be present on Site, on a site plan. A Method Statement indicating the layout and preparation of such facilities must be submitted.

Cleaning of equipment and flushing of mixers must not result in pollution of the surrounding environment. All wastewater resulting from batching of concrete must be disposed of via the contaminated water management procedure. Used cement bags must be stored in weatherproof containers to prevent wind dispersion and water contamination. Used cement bags must be disposed of on a regular basis via the solid waste management system, and must not be used for any other purpose.

Disposal of cement bags on site must be arranged with the site ECO.

All visible remains of excess concrete must be physically removed and disposed of on completion of cement work. Washing the remains into the ground is not acceptable. All excess aggregate must also be removed.

The following recommendations must be implemented to minimise impact.

- The concrete mixing must take place on top of boarding and/or impermeable sheeting to protect the ground. This board and or sheeting must be removed from the site once the mixing is complete
- Concrete batching to take place at identified areas only in consultation with the ECO.
- Cement contaminated water may not enter a natural or man-made (e.g. trench / sloop or dam) water system. Preventative measures include establishing sumps from where contaminated water can be either treated in situ or removed to an appropriate waste site.
- Dry mixing batching areas to be carefully placed in consultation with the ECO.
- If possible/appropriate ready mix concrete must be used.
- Cement bags are to be stored securely out of harm's way from the elements (wind and rain). Bags has to be covered and placed on plastic sheeting
- Sand and stone to be stored on plastic if it is stored outside the future fenced off site.
- Excess or spilled concrete must be confined within the works area and then removed to a waste site.
- Wash-down areas must be confined to within the concrete batching area only.

NB: In the event of Ready Mix concrete deliveries taking place on site the site foreman, must ensure that no wash-down of ready mix trucks takes place on or around the site, except at the concrete batching area where concrete wastewater may be contained in the existing bunding pit. Any alternative method of disposal must have to approval of the site ECO.

17.12 Blasting / drilling (if required)

In the unlikely event where blasting or rock drilling is required, the following recommendations must be implemented:

- A Method statement must be provided for each case separately prior to commencement of blasting works.
- The contractor must take all necessary precautions to prevent damage to special features and the general environment, which includes the removal of fly rock.
- The contractor must ensure that no pollution results from drilling operations, either as a result of oil and fuel drips, or from drilling fluid. The contractor must take all reasonable measures to limit dust generation as a result of drilling operations.
- The ECO must be given 24-hour notice before blasting events.

17.13 Fires and smoking

No fires are allowed on site.

If Smoking is allowed on site then arrangements to be made for disposal of cigarette buds. No smoking will be allowed outside the agreed upon areas.

Adequate fire fighting equipment according to the fire hazard during the construction period must be available on site and in good working order (at least one type ABC (all-purpose) 2.5 kg extinguisher and 3 fire beaters per working area). The persons on site must be trained in the use of such equipment.

The main contractor must provide a list of all authorities involved in fire fighting in the region. This list must include emergency contact numbers and must be visible at the site office.

Welding, gas cutting or cutting of metal will only be permitted inside the working areas.

The Contractor must pay the costs incurred to organizations called to put out any fires started by him. The Contractor must also pay any costs incurred to reinstate burnt areas as deemed necessary by the Applicant.

It is required that contractors have available the emergency telephone numbers of the nearest local Fire Fighting Station and that an emergency fire fighting re-action plan has been drawn up with on-site workers and the land-owner.

17.14 Emergency Procedures

It is the responsibility of the contractor to assess the potential risks to the environment as a result of the project. As such, the contractor must have the necessary standard emergency operating procedures in place to deal with any potential emergency such as oil spills or fire.

All staff should be made aware of the necessary basic emergency procedures in the event of an emergency including injuries to staff. The appropriate equipment and identified personnel to deal with such basic emergencies should be available on site.

Fire: The Contractor must advise the relevant authority of a fire as soon as one starts and must not wait until he can no longer control it. The Contractor must ensure that his employees are aware of the procedure to be followed in the event of a fire.

Spills: The Contractor must ensure that his employees are aware of the procedure to be followed for dealing with spills and leaks, which must include notifying the Engineer, the ECO and the relevant authorities. Treatment and remediation of the spill areas must be undertaken to the reasonable satisfaction of the ECO and Local Authority.

17.15 Dust Control

The Contractor must take all reasonable measures to minimize the generation of dust as a result of construction activities (including dust generated on haul roads) to the satisfaction of the ECO and Local Authority

17.16 Solid Waste Management

No on-site burying or dumping of any waste materials, vegetation, litter or refuse must occur.

The Contractor must provide problem-animal and weatherproof bins with lids of sufficient number and capacity to store the solid waste produced on a daily basis. The lids must be kept firmly on the bins at all times. Bins must not be allowed to become overfull and must be emptied at least once a day. Waste from bins may be temporarily stored on Site in a central waste area that is weatherproof and scavenger-proof, and which the Engineer and the ECO has approved.

All solid waste must be disposed of off-site at an approved landfill site in terms of section 20 of the Environment Conservation Act (Act No. 73 of 1989). The Contractor must supply the ECO with a certificate of disposal. All hazardous waste must be disposed of at a licensed hazardous waste site.

The Contractor must make provision for workers to clean up the Contractor's camp and working areas on a daily basis so that no litter is left lying around and so that the site is in a neat and tidy state. The Contractor must remove from site the refuse collected at least once a week.

The Contractor must be responsible for the establishment of a refuse control system that is acceptable to the ECO.

Disposal arrangements must be made in advance and cleared with the ECO before construction starts.

17.17 Toilets & Ablution Facilities

The Contractor must provide suitable sanitary arrangements near the construction site for all site employees. A minimum of one toilet must be provided per 15 persons at each working area (station) or as stipulated in the Management plan.

The toilet must be within easy reach (max 300m) of the working area and be in good working condition and cleaned on a daily basis. Toilet paper must be provided. The toilets must be emptied on a weekly basis or when full or when instructed by the ECO on site.

Disposal arrangements must be made in advance and cleared with the ECO before construction starts. Sanitation provision and servicing must be to the satisfaction of the ECO. The Contractor must ensure that toilets are emptied prior to any builders' holidays, and/or weekends.

Toilets must be of a neat construction and must be provided with doors and locks and must be secured to prevent them blowing over. Toilets should be properly screened from the adjacent properties.

NB. NO BURYING OR BURNING OF ANY WASTE MATERIAL ON OR NEAR THE CONSTRUCTION SITE NOR ANYWHERE ON THE SURROUNDING PROPERTY IS PERMITTED.

17.18 Stockpiling

Any stockpiling of gravel, cut, fill or any other material including spoil must only be allowed in degraded areas or areas below the future cover of buildings and tar or paved parking surface. The Contractor must indicate the proposed areas for such operations and method of undertaking such operations in a Method Statement to be submitted to the ECO for approval before any such activity begins. Any area used for stockpiling and not covered by building development must be returned to at least the state they were in before stockpiling and it must be ensured that the erosion potential of these areas is not increased.

The Contractor must ensure that the material does not blow or wash away or mix with each other. If the stockpiled material is in danger of being washed or blown away, the Contractor must cover it with a suitable material, such as hessian, netting or plastic.

17.19 Preparation of Building Material

The Contractor must ensure that any delivery drivers are informed of all procedures and restrictions (including "no go" areas) required to comply with the Specifications. The Contractor must ensure that these delivery drivers are supervised during off-loading, by someone with an adequate understanding of the requirements of the Specifications.

All manufactured and/or imported material must be stored within the demarcated area, and, if so required, out of the rain. All lay down areas outside of the construction camp must be subject to the Engineer and the ECO's approval in such a way as not to cause a nuisance or environmental damage.

All building materials are to be prepared at the batching plant, to enable the effects of cement and other substances, and the resulting effluent to be more easily managed.

It is essential that any imported material i.e. base material for road works, building sand, bedding base sand for pipe / cable lines etc. must be screened and of which the origins must be identified prior to arriving at the receiving environment, and this must be approved by the Engineer / ECO.

17.20 Discharge of construction water

Potential pollutants of any kind and in any form must be kept, stored, and used in such a manner that any escape can be contained and the water table not endangered. This particularly applies to water emanating from runoff from fuel depots/workshops/truck washing areas. Wash down areas must be placed and constructed in such a manner to ensure that the surrounding areas are not polluted.

Contaminated water includes water that is carrying excess sediment due to construction activities. The contractor, being responsible for the construction and effective containment and maintenance of settlement ponds must ensure that the surrounding environment is not adversely affected as a result of construction activities. Contaminated water storage facilities must not be allowed to overflow and appropriate protection from rain and flooding must be implemented. Contaminated water that is removed from site must be disposed of at a facility approved by the ECO and Local Authority. No contaminated water that does not meet the water quality standards and criteria under the National Water Act may be released into a natural system, whether it is to surface or groundwater

All cement effluent from mixer washings, and run-off from batching areas and other work areas must be contained in suitable sedimentation ponds. Sedimentation ponds must be allowed to dry out on a regular basis to allow for solid material to be removed. This material must be disposed of in a suitable manner, depending on the nature of the material, and to the discretion of the ECO.

17.21 Treating (flushing / testing) of Pipelines (if required)

Cleaning/sterilization/flushing of pipelines shall not impair surrounding environmental quality. Any contaminated water from such activities shall be contained until it complies with the standards contained in the National Water Act or other relevant Acts, as well as those laid down by the Local Authority. Alternatively, it shall be removed from site and disposed of at an approved waste disposal site.

17.22 Contractors Temporary Camping site & Eating Areas

The Contractor must designate eating areas for the approval of the ECO, which must be clearly demarcated. No eating of meals must take place outside these designated areas without the approval of the Contractor/ECO. The feeding or leaving of food for animals is strictly prohibited. Sufficient waste bins must be present in this area and emptied regularly.

The contractor must supply cooking facilities that are suitable for the environment and are not liable to cause the outbreak of fires.

No overnight camping/stay on site allowed. If overnighing is necessary for security purposes then it must be cleared with the ECO on site.

No washing in dams or streams are allowed.

17.23 Traffic, Access Routes & Haul Roads

The Contractor must control the movement of all vehicles and plant including that of his suppliers so that they remain on designated routes. In addition, such vehicles and plant must be so routed and operated as to minimise disruption to regular users of the routes not on the Site. On gravel or earth roads on Site, the vehicles of the Contractor and his suppliers must not exceed a speed of 25 km/h. On public roads adjacent to the Site, vehicles will adhere to municipal and provincial traffic regulations.

As far as possible, any access routes/haul roads must utilise existing roads or tracks. Any new access roads/haul roads must be designed so as to minimise erosion and must run across slopes and not directly up-hill.

All temporary access routes must be rehabilitated at the end of the contract to the satisfaction of the ECO.

Method Statements for any new access/ haul roads must be submitted

17.24 Site Clean Up and Rehabilitation

The Contractor must ensure that all structures, equipment, materials and facilities used or created on site for or during construction activities are removed once the project has been completed. The construction site must be cleared, and cleaned to the satisfaction of the ECO.

Immediately after the demolition of the campsite, the contractor shall restore the site to its original state, paying particular attention to its appearance relative to the general landscape.

The contractor's procedure for rehabilitation shall be approved by the ECO and Engineer.

This shall include but not be limited to:

- Earthworks to reinstate the physical characteristics of the site. Here attention to the natural vertical and lateral heterogeneity in landform shall guide the reinstatement of natural areas
- Replacement of topsoil material – care shall be taken to ensure that the same material that was removed from each area is replaced there, since this will carry the seed complement appropriate for re-establishment of each plant community type
- Final landscaping by machine, but landscaping by hand may be required in many areas under rehabilitation
- Re-seeding and / or replanting of rehabilitated areas

The Contractor shall not be permitted to use fertilisers or pesticides

It is imperative that any potential erosion problems are addressed. This may require subsequent site visits to monitor the efficacy of erosion control measures.

17.25 Land Management

Vehicles accessing the construction site must be made aware of driving in hazardous road conditions, sharp bends, narrow roads, bad weather, or near children or domestic animals along the road.

Vehicle movements should be kept to a minimum during rain to avoid damage to access roads.

No fences or gates on the relevant construction property must be damaged. All access gates to the property (construction site) to be kept closed at all times to prevent domestic and or wild animals from getting out. Access by unauthorised personnel should be controlled. The access gates to the construction areas must always be closed.

Soil erosion must be prevented at all times along the access roads and around construction areas.

No bush or brush clearing to be undertaken without the knowledge of the ECO / Engineer.

17.26 Socio-Cultural Issues

Adjacent and nearby Property owners or property occupiers must be treated with respect and courtesy at all times.

The cultural lifestyles of the communities living in close proximity to the construction areas must be respected.

17.27 Additional Associated Installations

17.27.1 Construction of new access roads (if required)

In the event of the construction of a new access road to the site, the access route is pre-determined prior to the On Site Start-Up Meeting.

Discussions pertaining to the “Access Road Start-Up Meeting” include the following but not restricted to;

- EMP and contents thereof
- Demarcation of the access route
- Containment of soil and rock from excavations
- Transit areas for excess excavation road materials
- Stockpile areas for sub-base and surface material
- Earthmoving machinery for specific tasks
- Mandatory Site Equipment
- Placing of on-site toilet facilities
- Specific requests from land-owners
- Dust Pollution
- Post construction erosion methods
- Site Specific agreements emanating from the Start-Up Meeting

18 MANAGEMENT SPECIFICATIONS (OPERATIONAL PHASE)

The most important part of the operational phase will be to ensure that the site is meticulously maintained and that the operations are carefully monitored. The applicant will remain overall responsible for the environmental performance of the site and must be aware of the legal requirements and obligations. The applicant must also be aware of the legal action that can be taken against him as a person with regards to negligence leading to environmental pollution.

This section of the Environmental Management Programme (EMP) is required to address the protection and ongoing management of the natural resources both on and off the site during the operational stages of the development to guide the Property Owner/Property Owners Association (POA) to manage activities on site on an ongoing basis in an environmentally sustainable manner. The overarching goal is to ensure that undue or reasonably avoidable impacts of the proposed development are avoided and that positive impacts of the development are enhanced.

The following points of action must be considered during the operational phase (maintenance activities) to avoid any environmental impacts:

- All maintenance activities will consider the environment.

- The POA will ensure that any maintenance activities that are undertaken are carried out in line with the specifications and recommendations set out in section 17 of this document.
- Any incidents that have resulted in a large negative impact on the environment are to be reported to DE&NC.

19 TERMS AND ABBREVIATIONS:

The following definitions and abbreviations are applied:

CMC	Cape Metropolitan Council
DEA&T	Department of Environmental Affairs and Tourism
DE&NC	Department Environmental and Nature Conservation (Northern Cape)
DWA&F	Department of Water Affairs and Forestry
EA	Environmental Authorisation
EIA	Environmental Impact Assessment
EMP	Environmental Management Programme, although the term Environmental Management <i>Plan</i> is often used interchangeable with <i>Programme</i> .
EMS	Environmental Management System
IEM	Integrated Environmental Management
*ECO	Environmental Control Officer
*ESO	Environmental Site Officer
ER	Engineer's Representative
I&AP	Interested & Affected Party
OSSM	On Site Start-Up Meeting
POA	Property Owners Association
SAHRA	South African Heritage Resources Agency

Environment means the surroundings within which humans exist and that are made up of:

- the land, water and atmosphere of the earth;
- micro-organisms, plant and animal life;
- any part of the combination of the above two bullets and the interrelationships between them;
- the physical, chemical, aesthetic and cultural properties and conditions of the foregoing that influence human health and well-being.

Potentially hazardous substance is a substance, which, in the reasonable opinion of the Engineer, can have a deleterious (detrimental) effect on the environment.

Method Statement is a written submission by the Contractor to the Engineer or relevant responsible person such as the Project Leader, in response to the Specification, or a request by the Engineer/Project Leader, setting out the plant, materials, labour, method, responsible persons and timeframe that the Contractor proposes using to carry out an activity, identified by the relevant specification or the Engineer/Project Leader when requesting the Method Statement, in such detail that the Engineer/Project Leader is enabled to assess whether the Contractor's proposal is in accordance with the Specifications and/or will produce results in accordance with the Specifications.

The Method Statement shall cover applicable details with regard to:

- construction procedures;
- materials and equipment to be used;
- getting the equipment to and from site;
- how the equipment/ material will be moved while on site;
- how and where material will be stored;
- the containment (or action to be taken if containment is not possible) of leaks or spills of any liquid or material that may occur;
- timing and location of activities;

- compliance/non-compliance with the Specifications;
- any other information deemed necessary by the Engineer/Project Leader.

reasonable means, unless the context indicates otherwise, reasonable in the opinion of the Engineer/Project Leader after he has consulted with a person, not an employee of the client, suitably experienced in "environmental implementation plans" and "environmental management plans", both as defined in the Environmental Management Act (Act No 107,1998).

solid waste means all solid waste, including construction debris, chemical waste, excess cement/concrete, wrapping materials, timber, tins and cans, drums, wire, nails, food and domestic waste (e.g. plastic packets and wrappers).

contaminated water means water contaminated by the Contractor's activities, e.g. concrete water and runoff from plant/ personnel wash areas.

construction site means the area influenced and affected by the construction activities or under the control of the Contractor, often referred to as "the Site".

contractor's camp means the designated and suitably demarcated areas on the Site within which all site offices and staff facilities are situated and within which equipment will be stored, for instance, borrow areas, batching plant, crusher plant, sand washing plant, workshop, offices, rest areas, ablution areas, etc., whichever is applicable.

construction means the period of the project during which the actual works are carried out, deemed to include site establishment, site preparation, the works, maintenance period and decommissioning.

precautionary principle means the basic principle, that when in doubt or having insufficient or unreliable information on which to base a decision, to undertake actions that will have minimum risk.

Applicant	The person/organisation (usually the holder of the Environmental Authorisation) with rights to undertake the development of the site.
Audit/Monitoring	Regular inspection and verification of construction activities for degree of compliance to the Environmental Management Programme.
Bund	Enclosure under/around a storage facility to contain any spillage – the storage capacity of the bung must be 120% of the total capacity of the possible spillage amount
Batch plant	Machinery used on site for the large-scale mixing and production of concrete or plaster and associated equipment and materials.
Construction phase	The construction phase period of a cellular communications Construction site is defined as from the commencement of site establishment up to and including the practical site handover.
Contract	An accepted offer to execute specified work within a stated time for a monetary reward. It takes the form of all the documents and drawings issued when tenders are invited (in which the nature and quantity of the work to be executed are set out), the schedules of which documents have been priced by the contractor for completion within a stated time, and the acceptance, in writing, of the Contractor's price) (source: SABS 0120; 1986). OR The General Conditions of Contract and Special Conditions, Specifications, Drawings, Tender, written records of matters agreed after the submission of the Contractor's tender, Letter of Acceptance and Agreement, together with other documents which the parties have agreed in writing shall form part of the Contract and such amendments or additions to the Contract as may be agreed in writing between the parties (source: GCC, 1990).
Contractor	The natural or juristic person or partnership whose tender has been accepted by, or on behalf of the Employer and where applicable, includes the Contractor's heirs, executors, administrators, trustees, judicial managers or liquidators, as the case may be.
Declaration of Understanding	Form that is signed by all contractors involved in the construction works of their understanding and acceptance of the CEMP and site-specific additions to the CEMP.
Development site	The boundary and extent of development works and infrastructure.

Developer	The developer is the person/body responsible for the development of the project and could be the same as, or different to the Applicant.
Emergency	A situation requiring immediate action and where failure to implement appropriate actions timeously may result in environmental damage.
Engineer	A person who represents the Applicant and is responsible for the technical, environmental and contractual implementation of the works to be undertaken.
Engineer's Representative	<p>The person appointed from time to time by the Engineer in terms of the General Conditions of Contract. The Engineer's Representative shall:</p> <ul style="list-style-type: none"> • Observe the execution of the Works, examine and test materials and workmanship and receive from the Contractor such information as he shall reasonably require. • Have the authority: <ul style="list-style-type: none"> ○ Given to him by any provisions of the Contract. ○ Given to him by the Engineer. ○ To deliver to the Contractor oral or written communications from the Engineer. ○ To receive on behalf of the Engineer oral or written communications from the Contractor. <p>The powers and authority of the Engineer's Representative would be subject to certain conditions.</p>
Environmental Awareness Course	An environmental education course for the Contractors management staff and labour force which informs them of the requirements of the EMP.
Environmental Completion Statement	A report document submitted to the relevant authority showing that the EMP environmental controls were appropriately implemented on a project.
Environmental Completion Audit	Similar to an Environmental Completion Statement but it is more detailed and will contain detailed information regarding controls and their effectiveness. This document would be required for large projects normally where a professional environmental scientist was appointed as the ECO.
Environmental Management Programme:	<p>A programme for managing potential impacts identified during the approval process. It could consist of one or more of the following components, depending on necessity dictated by the nature of the development:</p> <ul style="list-style-type: none"> • Standard Environmental Specification • Detailed Environmental Specification • Guideline documents and tools for implementation by the different role players • The Environmental Education Course • Standard Revegetation Specification • Detailed Revegetation Specification <p>As mentioned earlier, the term <i>Environmental Management Plan</i> is often used interchangeable with <i>Environmental Management Programme</i>, and for the purposes of this document will be assumed to have the same definition.</p>
Environmental Authorisation	Environmental Authorisation issued by DEADP for the authorisation to commence construction under certain environmental compliances.
*ESO (Environmental Site Officer)	Designation is reserved for suitably qualified environmental site managers, who are to be appointed by the Engineer, and are mainly associated with large and complex developments.
*ECO (Environmental Control Officer)	Designation is reserved for suitably qualified authority or officer acting on their behalf. The ECO is usually a professionally registered Environmental Scientist.
Environmental Specification	For the purposes of this study, this designation is reserved for the combination of the Standard Environmental Specifications and the Detailed Environmental Specifications.
ECO vs. ESO	ECO might also mean the ESO but the ESO does not mean the ECO. The ESO is responsible to the ECO
General Conditions of Contract	A document that sets out the general rights and obligations of the parties to a contract, on such matters as sureties, quality of work, program, supervision, insurance, co-operation with others, provision of plant, material and labour, the regulation of wages, samples, tests, examination, commencement and completion of work, penalties for delay, requirements for maintenance, methods of dealing with defects, variations, measurements and payments, and the settlement of disputes. In South Africa, the most widely accepted general conditions of contract for general civil engineering works is the SAICE General Conditions of Contract for Works of Civil Engineering Construction (sixth edition, 1990).

No Go Areas	Areas identified as being environmentally sensitive in some manner and delineated on plan, and on the site with pegs or fencing and which are out of bounds to unauthorised persons. Authorisation must be obtained from the Engineer/Project Leader prior to entry.
Particular Specification	A specification that covers construction work involving a specialist type of operation that is not adequately covered in a Standardized Specification.
Project Specification	A specification that describes the Works in general terms (including the locality, the conditions on Site, the extent of the Contract, the construction programme, and the service facilities available and to be taken into consideration) and that may include clauses that amend or amplify or add to any requirement(s) of a standardized specification (or standard or particular specification) in the sequence in which the requirements and specifications occur in the contract documents.
Reference Group:	The funding body and major role-players (including the environmental authorities) who may resolve environmental disputes, which could arise between the different role-players on site.
Revegetation Specification Site	This designation is reserved for the combination of the Standard Revegetation Specifications and the Detailed Revegetation Specifications. The boundary and extent of development works and infrastructure, including any areas off the main site on which works are to be carried out in order to allow the development to proceed successfully.
Specification	A technical description of the standards of materials and workmanship that the Contractor is to use in the Works to be executed, the performance of the Works when completed and may include the manner in which payment is to be made. It is essential for the specifications to be clear, concise and to the point, and use should not be made of ambiguous terms or phraseology.
Standard Specification	An established or accepted model specification. In South Africa the most widely accepted standard specification for general civil engineering works is the set of SABS 1200 Standardized Specifications (refer to definition below), however, other Standard Specifications such as BS, AAWA and Standard Water Specifications are also used.
Standardized Specification	A specification that is published by the South African Bureau of Standards (SABS) and that so covers a particular class of civil engineering construction that the specification is generally applicable throughout the Republic of South Africa.
Top material	This refers to any surface material in the construction area, whether it is soil, fine material or stones including vegetation.
Works	The works to be executed in accordance with a contract.

20 APPENDICES:

Appendix 1: SITE START-UP REPORT

Appendix 2: PENALTIES FOR NON-COMPLIANCE

Appendix 3: DECLARATION OF AGREEMENT

Appendix 4: INFORMATION ON METHOD STATEMENTS

Appendix 5: EXAMPLE OF METHOD STATEMENT

Appendix 6: CONTRACTOR/S REPRESENTATIVE: ENVIRONMENTAL DAILY CHECKLIST

Appendix 7: BASIC RULES OF CONDUCT

Appendix 8: ENVIRONMENTAL SITE DAILY REPORT/CHECKLIST

Appendix 9: ENVIRONMENTAL AUTHORISATION.

Appendix 10: RECOMMENDATIONS AS PER BASIC ASSESSMENT REPORT

Appendix 11: DRAWINGS (SEE BASIC ASSESSMENT REPORT).

Appendix 12: Other documents.

APPENDIX 1: START-UP REPORT

TO BE INCLUDED AFTER START-UP MEETING

APPENDIX 2: PENALTIES FOR NON-COMPLIANCE

PENALTIES FOR NON-COMPLIANCE

The contractors / sub-contractors must contact the ECO at any stage if unsure about any matter, or if a pollution incident occurs, or vegetation or animals are damaged.

ECO = Environmental Control Officer ESO= Environmental Site Officer

PHASE	Penalty for Non-compliance	
	Bottom range	Top Range*
PRE-CONSTRUCTION PHASE		
Construction area to be marked off before construction starts.		5000
The demarcated area must be maintained throughout the construction phase	500	1000
Site area for stock piling of building material must be demarcated	500	5000
Site area for storing of waste material must be demarcated	500	5000
Fencing off the construction site with mesh fencing of 1.8m, where necessary or other suitable material as agreed on by ECO	500	1000
Sitting of access road/s to be approved by ECO & demarcated with stakes before any construction starts (if applicable)		5000
Temporary route used for construction must be determined on site with ECO (if applicable)	1000	5000
Telecommunications & AC power routes must be determined with the ECO (if applicable)	1000	5000
Sensitive features that may be harmed must be clearly marked or demarcated.	500	2000
Vegetation that may not be removed must be clearly marked or demarcated.	500	5000
Contractor must make the Construction team and all sub-contractors aware of all environmental aspects that could lead to imposition of penalties	100	5000
Contractor to sign Declaration of understanding (DOU) before construction starts		5000
Contractor to assure that all subcontractors be informed and signed DOU	1000	5000
Method statements must be provided on request by the ECO. No work may commence until the Method Statement is accepted by the ECO and Engineer	1000	5000
CONSTRUCTION PHASE		
Information		
A copy of the EMP & Record of Decision with all the conditions of approval and the relevant Method Statements must be at site at all times.	200	5000
Construction crew behaviour		
Construction crews may not overnight on site.	200	5000
No amplified music allowed on site	100	200
Construction crew must stay within the demarcated construction area. (Applicable in sensitive sites)	50	500
Eating of meals only allowed in demarcated area	50	500
No pets permitted on site		100
Driving, Parking & Storing of machinery and vehicles are only allowed inside demarcated areas and existing roads	1000	5000
Machinery may only be used on the road and may not disturb the vegetation on the sides of the road except if cleared by ECO. Machinery used must be carefully considered to limit environmental damage	500	5000
No vegetation other than that agreed on may be damaged - i.e. no access to areas outside construction area.	500	2000
No individual may cause unnecessary damage to flora and fauna on, around or near the site	20	2000
No littering allowed (incl. cigarette butts)	50	500
Excavations		
No topsoil may be removed or altered outside the demarcated area		2000

and/or which was not specified.		
Commercial sources of sand, rock and gravel to be cleared with ECO	200	5000
All surplus material to be taken off-site and be disposed of at approved site	500	5000
Toilets		
Sufficient ablution facilities must be provided		3000
Toilets to be secured to prevent them from falling or blowing over.	100	1000
They must be serviced regularly, (according to the manufacturer's instructions) and kept clean.	100	1000
Everybody on site must make use of ablution facilities	50	1000
Fire Prevention		
All mandatory fire fighting equipment (as specified at start-up) must be on site at all times	500	4000
Fire fighting equipment to be in good working order and serviced.	500	2000
No fires, including cooking fires, allowed on site	1000	5000
Concrete & Cement Activities		
Wash-down site of Ready Mix delivery trucks must be pre-determined prior to commencement of the activity.	500	5000
Concrete may only be mixed within the boundaries of the bunding area or demarcated area and/or where was agreed on by the ECO.	500	5000
All excess cement & concrete mixes to be contained on construction site and removed from site when necessary or requested by the ECO	200	5000
Any cement / concrete spillage to be cleaned up immediately.	500	5000
Mixing and storage areas must be appropriately located in demarcated area or as agreed upon at the on-site Start-Up Meeting	500	1000
Dust pollution control		
Ensure that loose building material is covered to prevent dust pollution	100	1000
Water run-off		
Contamination of water bodies, rivers, dams or wetlands must be prevented at all cost	500	5000
Rainwater from construction & building site/s must be channelled, contained & allowed to dry out, so as not to transport any pollutants into the surrounding area. Temporary trenches, straw stabilising, brush cutting can be used	500	5000
Waste control		
Sufficient refuse bins must be placed on site	500	2000
Refuse bins must be cleaned on a regular basis	100	1000
General litter / building refuse must be cleaned up on a regular basis from the site	500	3000
Cement-contaminated water; paint; oil; cement slurries etc. must be stored in watertight containers or as agreed with ECO	500	5000
Store all refuse & waste material in wind & animal proof containers	100	1000
Waste must be disposed of at an official waste deposit site on a regular basis.	500	5000
The absence of or inadequate drip trays or bunding facilities	500	5000
Failure to address oil/fuel leaks from on-site machinery	200	5000
Herbicides		
No herbicides or pesticides whatsoever may be used.	200	2000
Construction road		
Road must be upgraded to prevent degradation and erosion of the road and surrounds.	500	5000
Power and Telecommunications supply		
Demarcate power supply route	500	5000
No vehicles to drive through vegetation unless authorised by ECO	500	5000
Storage of equipment may only take place at an area demarcated by the ECO.	500	5000
Working must be done in phases to prevent trampling of vegetation	N/A	
Use of generators and fuel powered equipment		
A watertight cover must be place under the power generator	500	5000

equipment to prevent accidental spillage of fuel & oil seeping into the soil.		
Drip tray must be able to take 120% of fuel on site	500	5000
All waste material generated from the use of this equipment must be contained and removed from the site	500	5000
Mobile fuel powered equipment must be well maintained and must not have any fuel or oil leaks.	200	5000
Soil Stabilisation		
Ensure that soil material for filling and stabilisation comes from a source that does not contain seeds alien to the area. The source must be cleared with the ECO.	100	2000
Rehabilitation		
Remove rocks and stones and stock pile in area recommended by ECO	500	5000
Remove all plants that can be used for rehabilitation and store on- or off-site in appropriate manner as agreed with ECO	200	5000
Removal of all old concrete and alien materials from site	500	5000
Site must be cleared of all waste and building material	500	5000

*(Large scale / repeated offence)

APPENDIX 3: DECLARATION OF UNDERSTANDING

DECLARATION OF UNDERSTANDING

I, _____

Representing _____

Declare that the conditions of the authorisation were brought under my attention and that I have read and understood the contents of the Environmental Management Plan (which includes all documents as per the Environmental Authorisation).

SITE: _____

Environmental Authorisation ref: _____

I also declare that I understand my responsibilities in terms of enforcing and implementing the Environmental Specifications as set out in the various documents for the aforementioned site.

I also undertake to inform all persons under my supervision of such specifications and contents of the documents.

Signed: _____

Place: _____

Date: _____

Witness 1: _____

Witness 2: _____

APPENDIX 4: INFORMATION ON METHOD STATEMENTS

INFORMATION ON METHOD STATEMENTS

Method Statements are to be completed by the person undertaking the work (i.e. the Contractor). The Method Statement will enable the potential negative environmental impacts associated with the proposed activity to be assessed.

The Method Statement can only be implemented once approved by the ECO.

The Contractor (and, where relevant, any sub-contractors) must also sign the Method Statement, thereby indicating that the works will be carried out according to the methodology contained in the approved Method Statement.

The ECO will use the Method Statement to audit compliance by the Contractor with the requirements of the approved Method Statement.

Changes to the way the works are to be carried out must be reflected by amendments to the original approved Method Statement; amendments require the signature of the ECO denoting that the changed methodology or works are necessary for the successful completion of the works, and are environmentally acceptable. The Contractor will also be required to sign the amended Method Statement thereby committing him/herself to the amended Method Statement.

This Method Statement **MUST** contain sufficient information and detail to enable the ECO to apply their minds to the potential impacts of the works on the environment. The Contractor will also need to thoroughly understand what is required of him/her in order to undertake the works.

THE TIME TAKEN TO PROVIDE A THOROUGH, DETAILED METHOD STATEMENT IS TIME WELL SPENT. INSUFFICIENT DETAIL WILL RESULT IN DELAYS TO THE WORKS WHILE THE METHOD STATEMENT IS REWRITTEN TO THE ER'S AND ESO'S SATISFACTION. The page overleaf provides a *pro forma* method statement sheet, which needs to be completed for each activity requiring a method statement in terms of the EMP.

APPENDIX 5: EXAMPLE OF METHOD STATEMENT

METHOD STATEMENT

CONTRACT:..... **DATE:**.....

PROPOSED ACTIVITY (give title of method statement and reference number):

WHAT WORK IS TO BE UNDERTAKEN (give a brief description of the works):

WHERE ARE THE WORKS TO BE UNDERTAKEN (where possible, provide an annotated plan and a full description of the extent of the works):

START AND END DATE OF THE WORKS FOR WHICH THE METHOD STATEMENT IS REQUIRED:

Start Date:

End Date:

HOW ARE THE WORKS TO BE UNDERTAKEN (provide as much detail as possible, including annotated maps and plans where possible):

Note: please attach extra pages if more space is required

DECLARATIONS

1) ENVIRONMENTAL CONSULTANT AND/OR ENVIRONMENTAL CONTROL OFFICER

The work described in this Method Statement, if carried out according to the methodology described, is satisfactorily mitigated to prevent avoidable environmental harm:

(Signed) (Print name)

(Signed) (Print name)

Dated: _____

2) PERSON UNDERTAKING THE WORKS

I understand the contents of this Method Statement and the scope of the works required of me. I further understand that this Method Statement may be amended on application to other signatories and that the ECO will audit my compliance with the contents of this Method Statement

(Signed) (Print name)

Dated: _____

3) APPLICANT/REPRESENTATIVE

The works described in this Method Statement are approved.

(Signed) (Print name) (Designation)

Dated: _____

4) APPROVING AUTHORITY

The works described in this Method Statement are approved.

(Signed) (Print name) (Designation)

Dated: _____

APPENDIX 6: CONTACTOR: ENVIRONMENTAL DAILY CHECKLIST

CONTACTOR/S REPRESENTATIVE: ENVIRONMENTAL DAILY CHECKLIST

SITE: _____

PHASE OF WORK AND % OF COMPLETION: _____

ENVIRONMENTAL ASPECT	YES/ NO (✓ or X)	COMMENTS
• How many workers are on site		
• All new personnel on site are aware of the contents of the EMP and have been through the environmental awareness course.		
• Contractor's camp is neat and tidy and the labourers' facilities are of an acceptable standard.		
• Sufficient and appropriate fire fighting equipment is visible and readily available.		
• Waste control and removal system is being maintained.		
• Refuse bins in place and maintained		
• Toilets are in place and clean		
• Demarcation and other fences are being maintained.		
• What machinery are on site		
• Drip trays are being utilised were there is a risk of incidental spillage		
• Bunds/ drip trays are being emptied on a regular basis (especially after rain).		
• No leakages (oil & fuel) are visible from construction vehicles		
• No go areas, remaining natural features and trees have not been damaged.		
• Dust control measures (if necessary) are in place and are effectively controlling dust.		
• Noise Control measures (if necessary) is in place and is working effectively.		
• Erosion control measures (if necessary) are in place and are effective in controlling erosion. (Access road, site areas etc.)		
• Stockpiles are located within the boundary of the site, do not exceed 2 m in height and are protected from erosion.		

Completed by:..... Sign:..... Date:.....

To be submitted at the end of each week to the Environmental Site Officer (ESO)

Received by:

Environmental Site Officer: :..... Sign:..... Date:.....

APPENDIX 7: BASIC RULES OF CONDUCT

BASIC RULES OF CONDUCT

The following list represents the basic Do's and Don'ts towards environmental awareness, which all participants in this project must consider whilst carrying out their tasks. These are not exhaustive and serve as a quick reference aid.

NOTE: ALL new site personnel must attend an environmental awareness presentation. Please inform your foreman or manager if you have not attended such a presentation or contact the ESO.

DO:

- USE THE TOILET FACILITIES PROVIDED – REPORT DIRTY OR FULL FACILITIES
- CLEAR YOUR WORK AREAS OF LITTER AND BUILDING RUBBISH AT THE END OF EACH DAY – use the waste bins provided and ensure that litter will not blow away.
- REPORT ALL FUEL OR OIL SPILLS IMMEDIATELY & STOP THE SPILL CONTINUING.
- DISPOSE OF CIGARETTES AND MATCHES CAREFULLY. (Littering is an offence.)
- CONFINE WORK AND STORAGE OF EQUIPMENT TO WITHIN THE IMMEDIATE WORK AREA.
- USE ALL SAFETY EQUIPMENT AND COMPLY WITH ALL SAFETY PROCEDURES.
- PREVENT CONTAMINATION OR POLLUTION OF STREAMS AND WATER CHANNELS.
- ENSURE A WORKING FIRE EXTINGUISHER IS IMMEDIATELY AT HAND IF ANY "HOT WORK" IS UNDERTAKEN e.g. welding, grinding, gas cutting etc.
- REPORT ANY INJURY OF AN ANIMAL.
- DRIVE ON DESIGNATED ROUTES ONLY.
- PREVENT EXCESSIVE DUST AND NOISE.

DO NOT:

- REMOVE OR DAMAGE VEGETATION WITHOUT DIRECT INSTRUCTION.
- MAKE ANY FIRES.
- INJURE, TRAP, FEED OR HARM ANY ANIMALS – this includes birds, frogs, snakes, lizards etc.
- ENTER ANY FENCED OFF OR MARKED AREA.
- ALLOW CEMENT OR CEMENT BAGS TO BLOW AROUND.
- SPEED OR DRIVE RECKLESSLY
- ALLOW WASTE, LITTER, OILS OR FOREIGN MATERIALS INTO THE STREAM
- SWIM IN THE DAM.
- LITTER OR LEAVE FOOD LAYING AROUND

Notes:

1. Must any animals such as tortoises, chameleons or snakes be encountered then do not harm them. The ESO or ER must be contacted to remove these safely. The harming of any animal will result in disciplinary action.
2. Construction and heavy machine operators must be particularly sensitive to staying within access routes and prevention of unnecessary damage. Dust and noise is also of particular concern. Ensure that vehicles and machinery do not leak fuel or oils. Refuelling or maintenance must be done within the maintenance camp area only.
3. Alien plant clearing and control work teams must be closely supervised.

BASIESE GEDRAGSKODES

Die volgende lys vertenwoordige die Moets en Moenies vir omgewingsbewustheid wat alle deelnemers aan hierdie projek in ag moet neem tydens die uitvoer van hul take. Hierdie lys is nie volledig nie en dien slegs as 'n vinnige verwysing.

NOTA: ALLE nuwe terreinpersoneel moet 'n aanbieding ten opsigte van omgewingsbewustheid bywoon. Indien u nog nie so 'n aanbieding bygewoon het nie, lig asseblief u voorman of bestuurder in of kontak die Omgewings Terreinbeampte.

MOETS:

- GEBRUIK DIE BESKIKBARE TOILET-GERIEWE – RAPPORTEER VUIL OF VOL GERIEWE.
- MAAK U WERKPLEK SKOON VAN ROMMEL OF BOUROMMEL AAN DIE EINDE VAN ELKE DAG – gebruik beskikbare vullisdromme en verseker dat rommel nie rondwaai nie.
- RAPPORTEER ALLE BRANDSTOF- EN OLIE STORTINGS ONMIDDELIK – STOP VERDERE STORTING.
- WEES VERSIGTIG MET DIE WEGDOEN VAN SIGARETTE EN VUURHOUTJIES. (rommelstrooi is 'n oortreding.)
- BEPERK WERKAKTIWITEITE EN DIE STOOR VAN TOERUSTING TOT DIE ONMIDDELIKE WERKAREA.
- GEBRUIK VEILIGHEIDSTOERUSTING EN VOLDOEN AAN ALLE VEILIGHEIDS-MAATREËLS.
- VOORKOM BESOEDILING VAN STROME EN WATERBANE
- VERSEKER DAT 'N BRANDBLUSSER IN WERKENDE TOESTAND BYDERHAND IS WANNEER "WARM" WERK VERRIG WORD bv. Sweis, wegslyp, gasny, ens.
- RAPPORTEER BESEERDE DIERE.
 - RY SLEGS OP AANGEWESSE ROETES.
- VOORKOM OORMATIGE STOF EN GERAAS.

MOENIE:

- PLANTEGROEI VERWYDER OF BESKADIG SONDER DIREKTE INSTRUKSIE NIE.
- ENIGE VURE MAAK NIE.
- ENIGE DIERE DOOD, BESEER, VANG OF VOER NIE, insluitende voëls, paddas, slange, akkedisse, ens.
- ENIGE OMHEINDE OF AFGESPERDE AREAS BINNETREE NIE.
- SEMENT OF SEMENTSAKKE LAAT RONDWAAI NIE.
- VINNIG OF ROEKeloos BESTUUR NIE.
- ENIGE ROMMEL, AFVAL, OLIE OR ENIGE VREEMDE MATERIAAL IN STROME LAAT BELAND NIE.
- IN DIE DAM SWEM NIE.
- ROMMELSTROOI OF KOS LAAT RONDLÊ NIE.

Notas:

1. Indien enige diere soos skilpaaie, verkleurmannetjies of slange teëgekom word, moet hulle nie beseer of dood nie. Kontak die OTB of RI om hulle veilig te verwyder. Die besering van diere sal lei tot dissiplinêre optrede.
2. Operateurs van konstruksie- en swaar masjiene moet veral versigtig wees om binne toegangsroetes te bly en om enige onnodige skade te voorkom. Verseker dat voertuie en masjiene nie olie of brandstof lek nie. Brandstofaanvulling en voertuigonderhoud mag slegs binne die onderhoudsarea gedoen word.
3. Streng toesig moet gehou word oor indringerplantbeheerspanne.

EZIPPHAMBILI EKUNYANZELEKILEYO UKUBA ZENZIWE

Zonke ezi zinto zilandelayo zizinto ekufuneka zenziwe nekufuneka zingenziwanga. Wonke umntu ofikayo kufuneka afundiswe ngemigaqo kupala. Needa yazisa iforman yakho ikuba awukhange uye kufundiswa.

IZINTO EMAZENZIWE

- SEBENZISA IZINDLU ZANGASESE, YAZISA XA KUKHO UMONAKALO.
- ZAMA UKUCOCA APHO UBUSEBENZA KHONA.
- SEBENZISA IMIGQOMO YENKUKUMA UNGAYEKI IPHAPHTIEKE.
- YAZISA XA UBONA IOIL ECHITHSKALAYO OKANYE IPETROL.
- CIMA LOZOLI CIGARETTE XA UGQIBIBILE UKUTSHAYA
- ZONKE IZIXHOBO USEBENZA ZIBUYISELE APHO ZIHLAKA KHONA XA UCGIBILE APHO ZIHLALA KHONA XA UGQIBILE UKUZISEBENZISA.
- ZISEBENZISE IZIKHUSELIXA UZINKIWE.
- SUKUGALELA IZINTO EMLANJENI.
- MASIBEKHO ISICIMA MLILO XAUSEBENZA NGOMLILO.
- YAZISA MSINYANE XA UBONE ISILWANYANA EZONZAKELEYO.
- XAUQHUBA ISITHUTHI HAMBA ENDLELENI QHA UNGAFATHULINJE.
- NAPHINA ZAMAUNGENZI THULI OKANYE INGXOLO XA USEBENZA.

EMAZINGENZIWA

- SUKUSUSA NESIPHINA ISITYALO UNGAKHANGE UXELELWE
- SUKWENZA MLILO NOKUBA SEKUBANDA
- AMAGQARA UKUBULALA IZILWANYANA NOKUZIFIDA AKUVUMELEKANGA
- SUKUNGENA XA KUVALIWE NGAPHANDLE KWE MVUME
- INGXOWA ZESAMENTE MAZINCEDWE ZINGAL AHLWA NJE
- SUKUQHUBA NGESANTYA ESIPHAKAMILEYO
- SUKUGALELE NAYIPHI INTO PHAYA EMLANJENI
- SUKUQUBHA EDAMENI Q OQOSHA YONK INKUKUMA

APPENDIX 8: ECO/ESO DAILY REPORT/CHECKLIST

ECO / ESO SITE VISIT CHECKLIST / REPORT:

PROJECT NAME: DATE

PROJECT & PHASE: LOCATION

ENVIRONMENTAL ASPECT	1-3 NA	COMMENTS
<p>Note: 1 = Poor, 2 = Average, 3 = Good NA = Not Applicable</p>		
<p>DEMARCATION</p> <p>METHOD STATEMENT</p> <p>Boundaries of "no go" areas, construction sites, offices, temporary storage areas as well as labourer's facilities must be demarcated (EMP and ECO requirements) and maintained for the length of the construction period.</p>		
<p>NO-GO AREAS/PROTECTION OF FAUNA & FLORA</p> <p>Identified "No-Go Areas", remaining natural veld and indigenous- or significant trees are protected features and must be demarcated for protection from construction damage (including secondary impact).</p> <p>All areas outside of the demarcated construction sites and access roads to be regarded as NO-GO areas unless otherwise agreed upon with the client and ECO.</p> <p>All flora identified to be rescued must be removed and placed in an area specifically allocated and taken care off until re-used in pre-approved way.</p> <p>Identified areas with significant vegetation must be protected as NO-GO areas.</p>		
<p>CLEARING OF VEGETATION & TOPSOIL REMOVAL</p> <p>METHOD STATEMENT</p> <p>Before any construction or earthworks, topsoil must be stripped (>150mm) and stockpiled for rehabilitation/ landscaping. Stockpiles: must be protected (may not blow or wash away or gets compacted) and stored separately.</p> <p>may not be moved further than 50m or mixed with any other soil.</p> <p>must be convex and should not exceed 2m in height.</p> <p>In addition:</p> <p>Cleared areas must be stabilized.</p> <p>Burning or burying of cleared vegetation is prohibited, but may be used for mulch or slope stabilisation on site.</p>		
<p>STOCKPILING</p> <p>METHOD STATEMENT</p> <p>Top- and subsoil's from trenches must be located within site boundaries, stabilised and may not exceed 2m in height.</p>		
<p>TEMPORARY STORAGE FACILITIES</p> <p>METHOD STATEMENT</p> <p>Must be demarcated, organised, neat and tidy and of acceptable standards.</p>		
<p>CONSTRUCTION CAMP & SITE OFFICES</p> <p>METHOD STATEMENT</p> <p>Must be demarcated, organised and free of day-to-day litter (maintaining good housekeeping standards).</p>		

ENVIRONMENTAL ASPECT	1-3 NA	COMMENTS
<p>Note: 1 = Poor, 2 = Average, 3 = Good NA = Not Applicable</p>		
<p>FUEL STORAGE</p> <p>METHOD STATEMENT</p> <p>Fuel storage areas must be situated within the demarcated construction camp site (or an area approved by the ECO).</p> <p>Bunds must be built (EMP and ECO requirements) around larger fuel storage areas (accidental spillages).</p> <p>Drip trays must be used (in accordance with EMP) at all fuel and oil storage and refilling sites and must be cleaned regularly, especially after rain.</p>		
<p>LABOURER'S FACILITIES</p> <p>METHOD STATEMENT</p> <p>Facilities must be of acceptable standards suitably demarcated, well maintained, neat and tidy and with adequate ablution facilities.</p>		
<p>ENTRANCE AND HAUL ROADS</p> <p>METHOD STATEMENT</p> <p>Only approved entrance and haul roads may be used (existing roads and infrastructure). No new roads or parking areas may be developed without written approval from the ECO.</p>		
<p>MANDATORY SITE EQUIPMENT</p> <p>METHOD STATEMENT</p> <p>Mandatory site equipment must be in place, well maintained and in accordance with EMP and ECO requirements.</p> <p>Sufficient refuse bins must be on site (well placed and conspicuous) and must be cleaned regularly.</p> <p>Fire extinguishers must be readily available, maintained and functional.</p> <p>Drip trays must be used (in accordance with EMP) at all fuel and oil storage and refilling sites and must be cleaned regularly, especially after rain.</p> <p>Toilets and sanitation facilities must be kept clean neat and hygienic (toilet paper must be available).</p>		
<p>WASTE CONTROL</p> <p>METHOD STATEMENT</p> <p>The contractor is expected to control all construction related waste material and general litter on actual construction sites and its immediate surroundings.</p> <p>Waste management must be in accordance with the EMP, of acceptable standards, with regular removal of general waste, hazardous waste as well as construction waste (e.g. concrete waste and spoil).</p>		
<p>CEMENT MIXING & BATCHING AREAS</p> <p>METHOD STATEMENT</p> <p>Mixing areas must be approved by the ECO, suitably demarcated and may not result in pollution.</p> <p>Polluted cement water may only be released into sedimentation ponds.</p> <p>Sedimentation ponds must be maintained and cleaned regularly (and</p>		

ENVIRONMENTAL ASPECT	1-3 NA	COMMENTS
Note: 1 = Poor, 2 = Average, 3 = Good NA = Not Applicable		
reinstated after use).		

ENVIRONMENTAL ASPECT	1-3 NA	COMMENTS
<p>Note: 1 = Poor, 2 = Average, 3 = Good NA = Not Applicable</p>		
<p>CONSTRUCTION VEHICLE MAINTENANCE</p> <p>METHOD STATEMENT</p> <p>Construction vehicles must be in good working order and well maintained to prevent oil and fuel leakages and to reduce noise levels.</p> <p>Maintenance areas must be approved by ECO.</p> <p>Refuelling must be done in accordance with the EMP, using drip trays.</p>		
<p>HEAVY EARTHMOVING EQUIPMENT</p> <p>Construction vehicles and equipment may only operate <u>within</u> the demarcated site boundaries (and approved access roads), especially heavy earthmoving vehicles.</p>		
<p>DUST CONTROL</p> <p>METHOD STATEMENT</p> <p>Adequate control measures must be in place to prevent dust pollution as a result of construction activities (especially with regard to entrance-, haul roads and exposed surfaces).</p> <p>Areas of concern must be watered regularly during construction AND periods of strong winds, BUT must take water saving into account.</p>		
<p>EROSION CONTROL</p> <p>METHOD STATEMENT</p> <p>Erosion resulting from works must be controlled.</p> <p>Temporary and permanent drainage works must be maintained.</p> <p>Erosion damage and damage in drainage courses must be reinstated.</p>		
<p>NOISE CONTROL</p> <p>METHOD STATEMENT</p> <p>Effective noise control measures must be in place and acceptable working hours must be kept (deviations must be approval by the ECO).</p>		
<p>ENVIRONMENTAL CONDUCT</p> <p>Environmental conduct of construction personnel must be acceptable (e.g. no burning or burying of refuse; no littering and no cement bags or other construction waste material lying around).</p>		
<p>ARCHAEOLOGICAL & HERITAGE FINDS</p> <p>METHOD STATEMENT</p> <p>Should any archaeological or heritage remains be exposed during excavations or any activity on site, these must immediately reported to The site agent/engineer, the ECO HWC or SAHRA.</p>		
<p>REHABILITATION</p> <p>METHOD STATEMENT</p> <p>On completion of the project or phase, all areas impacted by the construction activities must be reinstated and/or rehabilitated to the satisfaction of the ECO with emphasis on the following:</p> <p>Site offices must be removed and the areas rehabilitated or reinstated to the satisfaction of the ECO.</p> <p>Labourer's facilities must be removed and the areas rehabilitated or</p>		

ENVIRONMENTAL ASPECT	1-3 NA	COMMENTS
Note: 1 = Poor, 2 = Average, 3 = Good NA = Not Applicable		
<p>reinstated to the satisfaction of the ECO.</p> <p>All construction site areas must be rehabilitated or reinstated to the satisfaction of the ECO.</p> <p>All temporary fencing and demarcation must be removed and the areas reinstated to the satisfaction of the ECO.</p> <p>Temporary storage areas must be rehabilitated or reinstated to the satisfaction of the ECO.</p> <p>All remaining construction material must be removed and the areas rehabilitated or reinstated to the satisfaction of the ECO.</p> <p>Any additional disturbed areas must be rehabilitated or reinstated to the satisfaction of the ECO.</p>		
<p>ADDITIONAL METHOD STATEMENTS</p> <p>Method statements must be submitted and approved before commencement of the works and must be available at the site offices.</p>		
<p>ENVIRONMENTAL CHECKLIST</p> <p>The contractor must ensure that the weekly environmental checklist is completed at the end of each week and it must be available at the site offices.</p>		
<p>SPOT FINES & PENALTIES</p> <p>Spot fines and penalties must be recorded and documented by the ECO (in accordance with the EMP).</p>		
<p>FIXED POINT PHOTOS</p> <p>Photographs must be taken by the ECO, Site Engineer and or Site Manager, prior to, during and immediately after construction as visual reference. These photographs must be stored with other records relating to the EMP.</p>		

ECO:

APPENDIX 9: RECORD OF DECISION.

APPENDIX 10: RECOMMENDATIONS AS PER BASIC ASSESSMENT REPORT

APPENDIX 11: DRAWINGS

APPENDIX 12: ANY OTHER RELEVANT DOCUMENTS