

- GENERAL**
- In terms of the National Building Regulations and Standards Act (Act 103 of 1977) the construction of the works on these drawings can only commence once approval in writing from the Local Authority is obtained.
  - All materials used in the construction of the works indicated on these drawings shall either be SABS approved or have an Agreement South Africa Certificate unless otherwise stated.
  - No deviations from the approved building plans shall be allowed unless approved by the Local Authority prior to construction.
  - The Contractor shall adhere to all National Acts, Regulations, Standards, Ordinances and Bye Laws during construction.
  - All boundary pegs to be exposed prior to construction.
  - Foundations not to encroach over boundary servitude.

**CONSTRUCTION**

The building / buildings on these drawings where designed by following the Deemed-to-Satisfy requirements of SANS10400 (3rd edition) or by Rational Design demonstrating better or equal than the SANS10400 requirements.

No deviation from the specifications will be allowed – it is an offence in terms of the National Building Regulations and Standards Act (Act 103 of 1977) to deviate from any approved building plan.

All demolition work shall be carried out as per Regulation E of the National Building Regulations and the Construction Regulations as issued in terms of The Occupational Health and Safety Act.

All construction work shall be executed by the contractor in terms of the following requirements as per SANS10400 – Application of the National Building Regulations, unless otherwise stated:

- General Requirements:**
- Part A Structural
  - Part B Dimensions
  - Part C Public Safety
  - Part F Site Operations
  - Part G Excavations
  - Part H Foundations
  - Part J Floors
  - Part K Walls
  - Part L Stairs
  - Part M Stairways
  - Part N Lighting and Ventilation
  - Part O Stormwater Disposal
  - Part P Energy Usage
  - Part R
  - Part XA
- All electrical low voltage installations and wiring shall comply with SANS10142-1

**DEVELOPMENT CONTROLS:**

|                          |                       |
|--------------------------|-----------------------|
| ZONING                   | RESIDENTIAL ONLY 3    |
| OCCUPANCY CLASSIFICATION | H4 DWELLING HOUSE     |
| BUILDING POPULATION      | 2 PERSONS PER BEDROOM |
| BUILDING LINE - FRONT    | 7.5m                  |
| REAR SPACE               | 2m                    |
| SIDE SPACE               | 2m                    |
| MAXIMUM HEIGHT           | 2 STOREYS             |
| MINIMUM VEHICULAR ACCESS | 4m WIDE               |

**AREAS SCHEDULE:**

| USAGE                             | FAR      | COVERAGE | NEW BUILD AREAS |
|-----------------------------------|----------|----------|-----------------|
| <b>EXISTING MAIN DWELLING</b>     |          |          |                 |
| MAIN DWELLING                     | 90.41m²  | 99.50m²  | 0m²             |
| TOTAL                             | 90.41m²  | 99.50m²  | 0m²             |
| <b>ADDITIONS TO MAIN DWELLING</b> |          |          |                 |
| GARAGE                            | 0m²      | 43.96m²  | 43.96m²         |
| VERANDAH 1                        | 0m²      | 12.47m²  | 12.47m²         |
| DWELLING                          | 121.51m² | 121.51m² | 121.51m²        |
| POORCH TO KITCHEN                 | 9.09m²   | 0m²      | 0m²             |
| VERANDAH 2                        | 0m²      | 23.14m²  | 23.14m²         |
| TOTAL                             | 130.59m² | 201.08m² | 201.08m²        |

**TOTAL NEW BUILDING AREA**

|               |          |
|---------------|----------|
| SITE AREA     | 2 394 m² |
| PERMITTED FAR | 0.50     |
| EXISTING FAR  | 90.41m²  |
| PROPOSED FAR  | 130.59m² |
| TOTAL FAR     | 221.00m² |
| FAR IN HAND   | 0.41     |
| PERMITTED COV | 50%      |
| EXISTING COV  | 99.50m²  |
| PROPOSED COV  | 201.08m² |
| TOTAL COV     | 300.58m² |
| COV IN HAND   | 37.45%   |
| EXISTING COV  | 99.50m²  |
| PROPOSED COV  | 201.08m² |
| TOTAL COV     | 300.58m² |
| COV IN HAND   | 37.45%   |

**BRIDGING OVER PIPE**

Depth determine by position & depth of service & top of foundation to be level with invert level of service

The cast concrete links over

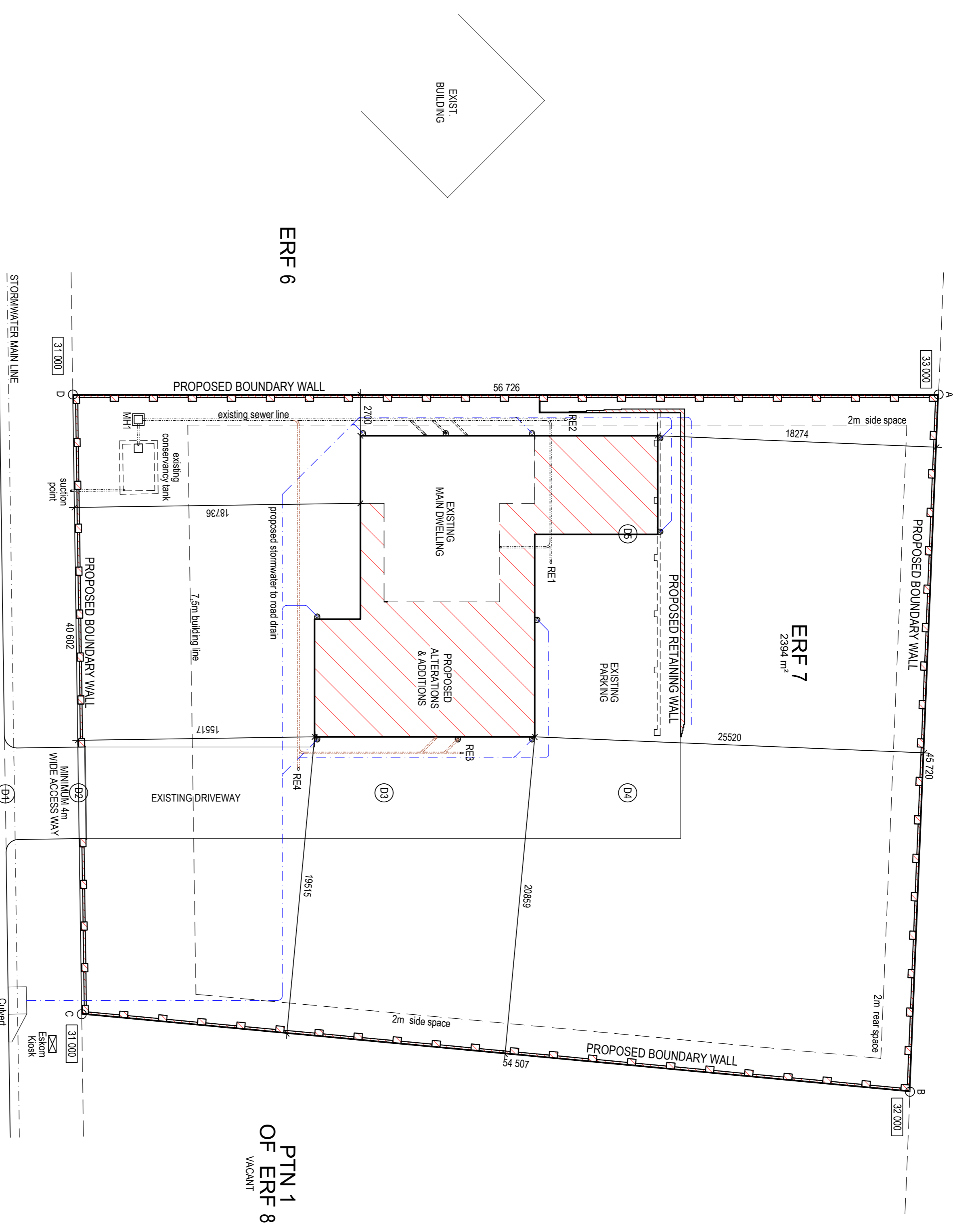
230mm Clay brick collar-jointed wall laid in stretcher bond course with 10mm mortar joints bed joint reinforcement.

600x250mm concrete foundation

1000

**BRIDGING OVER PIPE**

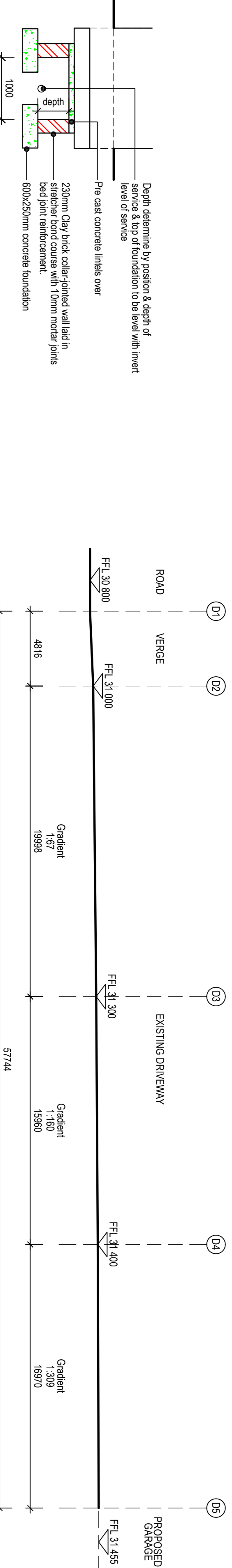
**REM OF 13 PARK RYNIE No. 1666**



**SITE PLAN**

Scale 1:200

**100 ALKINS DRIVE**



**DRIVEWAY SECTION D1 - D5**

Scale 1:200

**KESI PILLAY ARCHITECTURE**  
 Architects  
 SACPE REG NO: P/2021/9406

**AUTHOR'S INFORMATION:**  
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 Park Ryne 4102

**PROJECT INFORMATION:**  
 PROJECT NO: 511102-05-23  
 SHEET: A1  
 PAGE: 1 OF 4

**DRAWING INFORMATION:**  
 Site plan & driveway section

**OWNER / AUTHORISED AGENT'S SIGNATURE:**  
 KESAVEN PILLAY

**CLIENT(S) INFORMATION:**  
 M + 27 82 771 0290, E: mnews@me.com  
 KISIVA MADOO & DANIESARIE MADOO

**PROJECT DETAILS:**  
 PROPOSED  
 RETAINING WALL, BOUNDARY WALL,  
 BUILDING ALTERATIONS & ADDITIONS  
 ON  
 ERF 7 SAVILLETHORPE  
 REG. DIVISION ET, PROVINCE OF KZN,  
 100 ALKINS DRIVE

**AUTHOR'S SIGNATURE:**  
 KESAVEN PILLAY

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