

100 503 Floor Plan 1:100
Scale 1:100

A-01 Internal walls - Interior walls Plascon Cashmere or similar approved, colour to Architect specification. Surface to be dry, sound and clean and cured for a minimum of 14 days. Prime with one coat Plaster Primer with two coats Plascon Cashmere. To follow manufacturers application specifications.

A-02 External walls - Plascon Professional Elastoshield or similar approved to exterior cement plaster, colour to architect specification. Surface to be dry, sound and clean and cured for a minimum of 14 days. Prime with one coat Professional Damp Plaster Paint, 3 coats Plascon Professional Elastoshield. To follow manufacturers application specifications.

A-03 External Dwyka rock face - All abandoned fixings and fittings to be removed. All airconditioning equipment to be removed. Drill and screw holes to be plugged with mortar with 9:1 sand:cement mix. All granite to be hand scrubbed with PVC bristle brushes no more than 1 month before hand over of building. Care should be taken not to dislodge existing grouting.

A-04 Existing Plaster walls - To remove all abandoned fittings. All fittings for reuse to be carefully removed, numbered and stored for reuse before wall preparation and painting. Repair all cracks and holes in plaster.

A-05 Dated Corner stone - Corner stone position to be maintained. To be protected during the construction phase. Existing paint to be chemically removed.

R-01 Existing corrugated metal sheeting - To inspect all metal flashings, valleys and ridges. Replace damaged with similar 0.8mm galvanized if required. Surface to be dry, sound and free of dirt and loose particles. Wipe down with a damp cloth and allow to dry completely. Prime with one coat Epiwash Strontium Chromate Primer (AW255) and finish with two coats Professional Roof Paint (PRP) or similar approved. Colour to match existing, architect to approve.

R-02 Renew timber slat ceiling - Existing ceiling to be removed

MS-01 Cast iron fittings - Cast iron ventilation grills to be lightly sanded to remove old paint build up. Inspected for original paint colour. Colour to Architect specification

MS-02 Existing timber - striking gallow brackets, patio roof, gable vents. Timber to be inspected for condition. To be lightly sanded of old paint and repainted: Colour to Architect specification Damaged timber; Architect to be made aware of any timber damaged beyond repair for documentation.

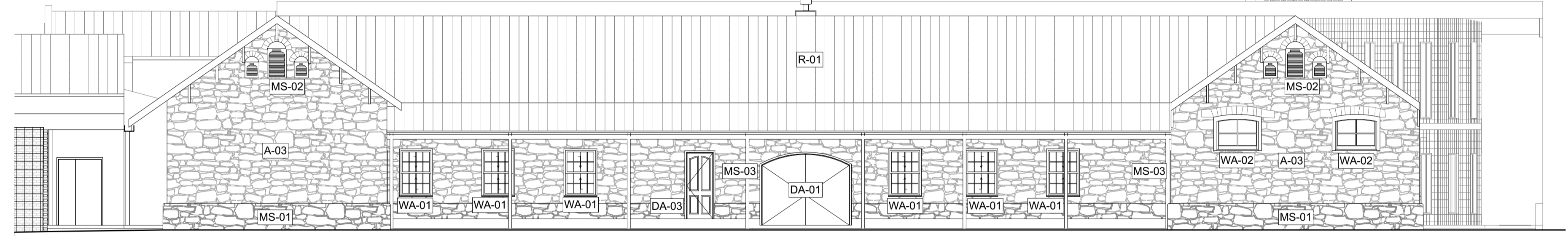
MS-03 Patio Columns - Patio columns footings as per detail

Block A Window List					
ID	WA-01	WA-02	WA-03	WA-04	WA-05
Quantity	8	2	2	2	3
W x H Size	1.04x1.5	1.2x0.9	1.4x2.4	1.22x1.05	1.4x1
3D Front View					
Renovation Status	Existing	Existing	Existing	Existing	Existing
Frame Finish	WA-01	WA-01	WA-01	WA-01	WA-01
Glass	GL-01	GL-01	GL-01	GL-01	GL-01
Architraves	WA-02	WA-02	WA-02	WA-02	
Window Sash	WA-03	WA-03	WA-03	WA-03	
Window cills	WA-04	WA-04	WA-04	WA-04	
Window furniture	WA-05	WA-05	WA-05	WA-05	
Opening system	WA-06	WA-05	WA-06	WA-05	
Other	WA-07	WA-07	WA-07	WA-07	

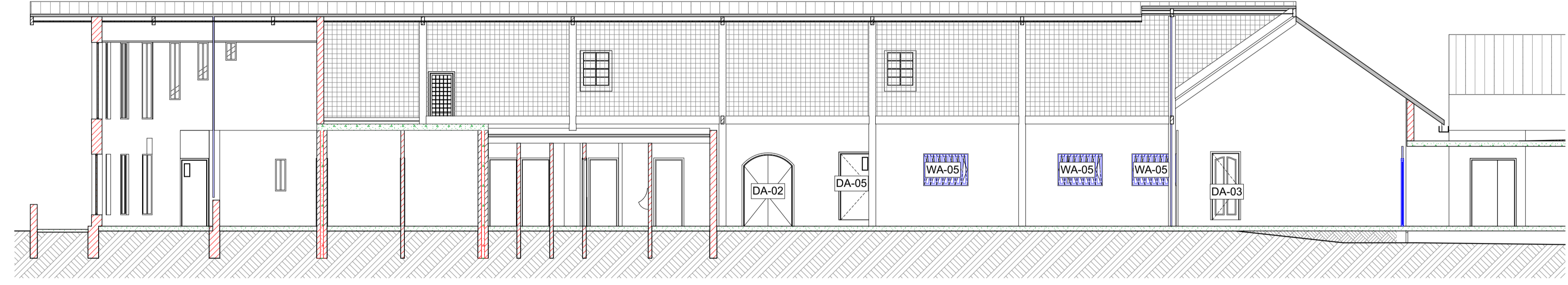
100 601 Block A Window List
Scale 1:1

602 Block A Door List					
ID	DA-01	DA-02	DA-03	DA-04	DA-05
Quantity	1	1	5	1	1
W x H Size	2.8x2.26	1.56x2.26	0.88x2.1	1.2x3.28	1x2.1
3D Front View					
Renovation Status	Existing	Existing	Existing	Existing	Existing
Frame	DA-01	DA-01	DA-01	DA-01	DA-01
Door Panel	DA-03	DA-03	DA-02	DA-02	DA-03
Door Handle	DA-05	DA-05	DA-04	DA-04	DA-04
Other			DA-06		

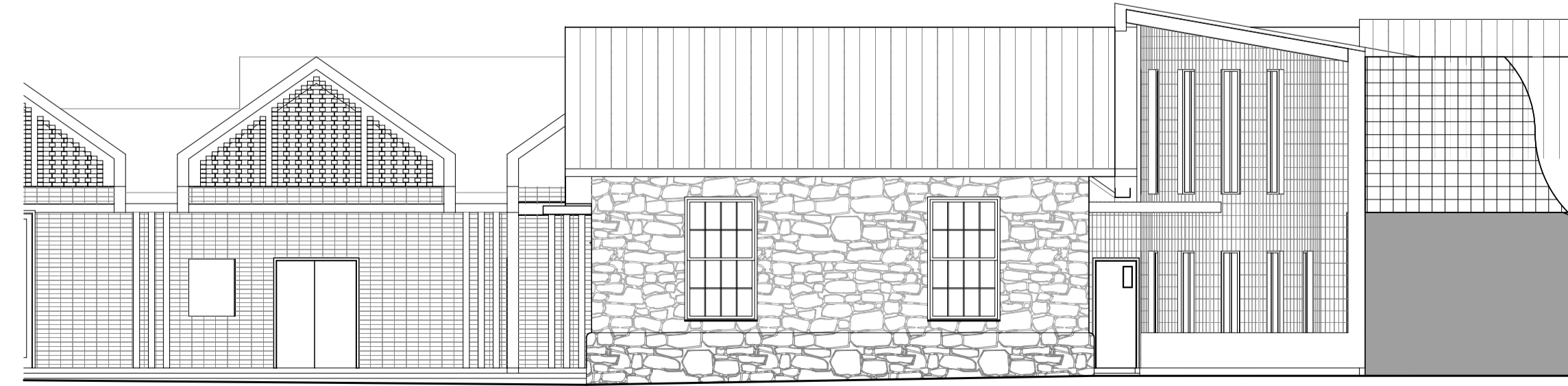
100 602 Block A Door List
Scale 1:1



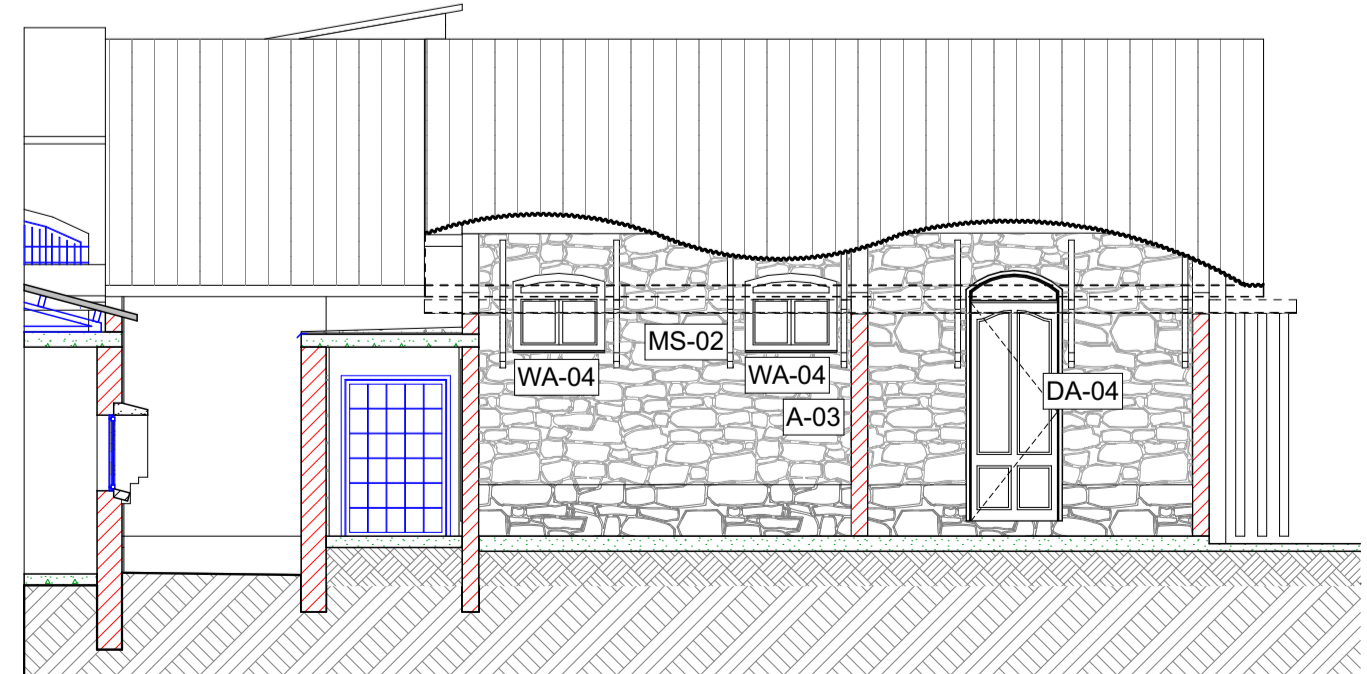
100 Elevation (6)
Scale 1:100



100 S-04 Building Section
Scale 1:100



100 E-01 Elevation
Scale 1:100



100 S-17 Building Section
Scale 1:100

No.	DATE	AMENDMENT	D.P.W.

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name: Sean Wesells
date: 08 March 2017
professional registration no.: PrArch24750197

cad file name: PSP 20170221.pln page type: A 1



consultant: MAZIBUKO WESSELLS ARCHITECTS

discipline: ARCHITECTS
service: PORT SHEPSTONE PRISON: REPAIR AND RENOVATIONS FOR BUILDING RELATED SERVICES

WCS number: 040801
drawing title: Block A, Block C
ref no: PSP 08/03/2017 designed: SEAN WESSELLS
scale: 1:100, 1:1000, 1:1 drawn: SEAN WESSELLS
date: 08 March 2017 checked: SEAN WESSELLS
DPW drawing number

040801/X103