

**GENERAL NOTES:**

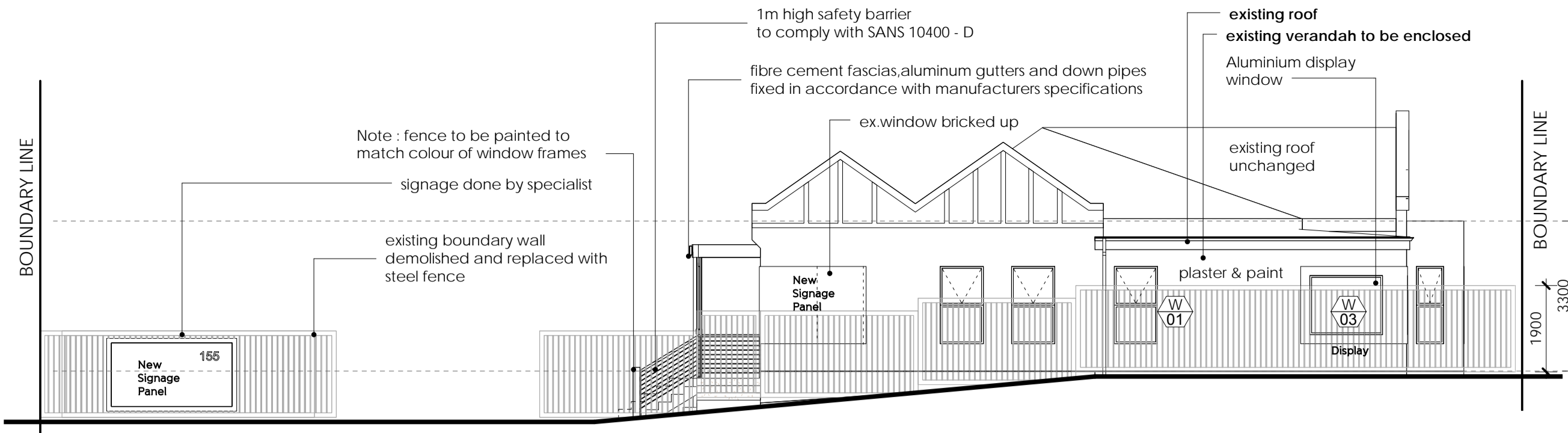
- ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY WORK COMMENCING, AND ARCHITECT TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- FIGURED DIMENSIONS ONLY TO BE TAKEN - DRAWINGS ARE NOT TO BE SCALED.
- ALL REINFORCED CONCRETE WORK TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAIL AND SPECIFICATION.
- ANTI-GUARDS AND DAMPPROOF COURSE TO COMPLY WITH RELEVANT BY-LAWS AND N.B.R. REQUIREMENTS.
- ALL WALLS TO BE REINFORCED WITH TWO COURSES BRICKFORCE AT ALL CILL AND WALL PLATE LEVELS.
- WALL THICKNESS TO COMPLY WITH SANS 10400-K
- ALL EXTERNAL FACE BRICK WALLS TO HAVE OUTER FACE OF INNER SKIN OF BRICKWORK BAGGED AND PAINTED WITH BITUMEN.
- ALL NEW SIGNAGE TO BE UNDER SEPARATE APPLICATION.
- ALL FIRE INSTALLATIONS TO CONFORM TO NATIONAL BUILDING REGS. STABILITY TO COMPLY WITH SANS 10400-T PART 4.7
- ALL SIGNAGE TO COMPLY WITH SANS 10400-T PARTS 4.29 AND 4.32
- MECHANICAL VENTILATION INSTALLATION TO COMPLY WITH SANS 10400-O PART 4.3
- FOR ALL ROADWAYS, PEDESTRIAN WALKWAYS, RAMPS, REFER TO ENGINEERS DRAWINGS
- ALL PLUMBING DESIGNS TO COMPLY WITH SANS 10400-P
- ARTIFICIAL LIGHTING TO BE MINIMUM 200 LUX AND TO COMPLY WITH SANS 10400-O PART 4.2
- SHOULD NOISE, NUISANCE ARISE, REMEDIAL MEASURES WILL BE CARRIED OUT
- PROVIDE SAFETY GLASS, WHERE NECESSARY. ALL GLAZING TO COMPLY SANS 10400-N
- EXTERNAL WALLS TO BE PAINTED WITH ANTI-FUNGAL PAINT
- ALL WALLS TO BE PROTECTED FROM RISING DAMP IN TERMS OF SANS 10400-K 4.5.3
- SUBSOIL DRAINS ARE TO BE PROVIDED NEAR RETAINING WALLS IN COMPLIANCE WITH SANS 10400-J REGULATION J1 (5) TO ENGINEERS DETAILS AND SPECIFICATIONS

**FIRE NOTES:**

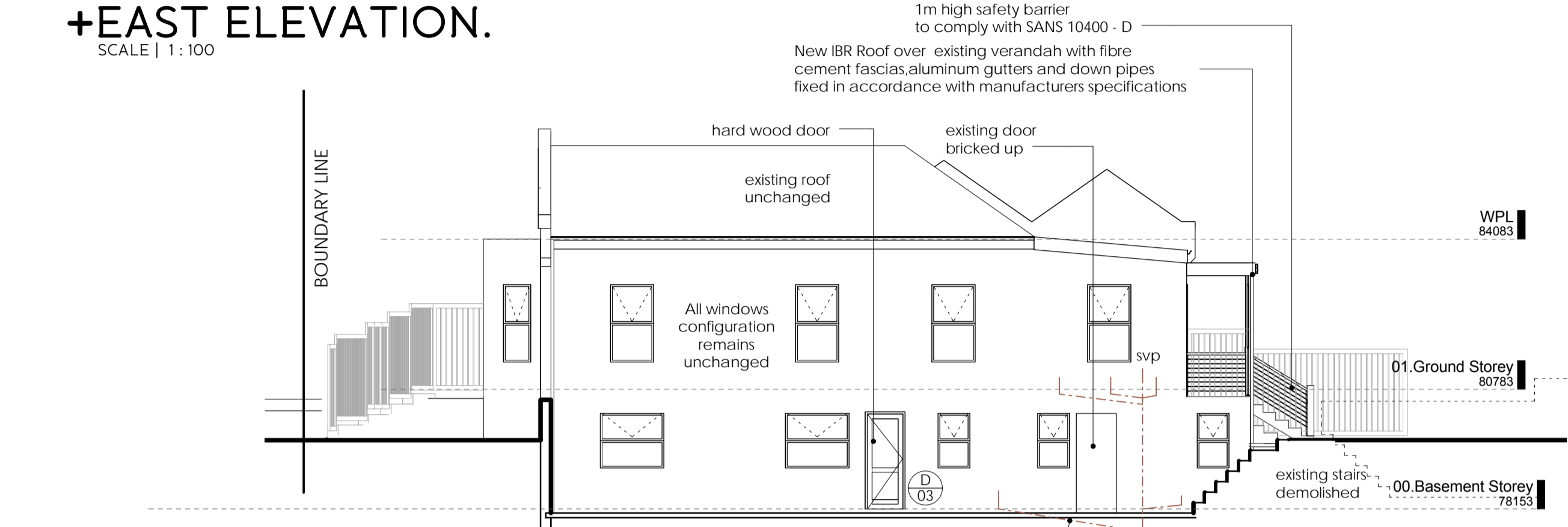
- ACCESS TO BUILDING FOR FIRE FIGHTING & RESCUE PURPOSES MUST COMPLY WITH SANS 10400-T PART 4.54
- ALL FIRE INSTALLATIONS TO CONFORM TO NATIONAL BUILDING REGS. STABILITY TO COMPLY WITH SANS 10400-T PART 4.32
- ALL FIRE EXTINGUISHERS TO COMPLY WITH SANS 10400-T PARTS 4.37 AND/OR 4.38
- ESCAPE ROUTES AS PER SANS 10400-T PART 4.16. COMPONENTS OF ESCAPE ROUTES AS PER SANS 10400-T PART 4.20 SIZE OF ESCAPE ROUTES AS PER SANS 10400-T PART 4.21
- EXIT DOORS AS PER SANS 10400-T PART 4.17
- ESCAPE DOORS TO HAVE APPROVED LOCKING DEVICES AS PER SANS 10400-T PART 4.19.11

**HEALTH AND DRAINAGE NOTES**

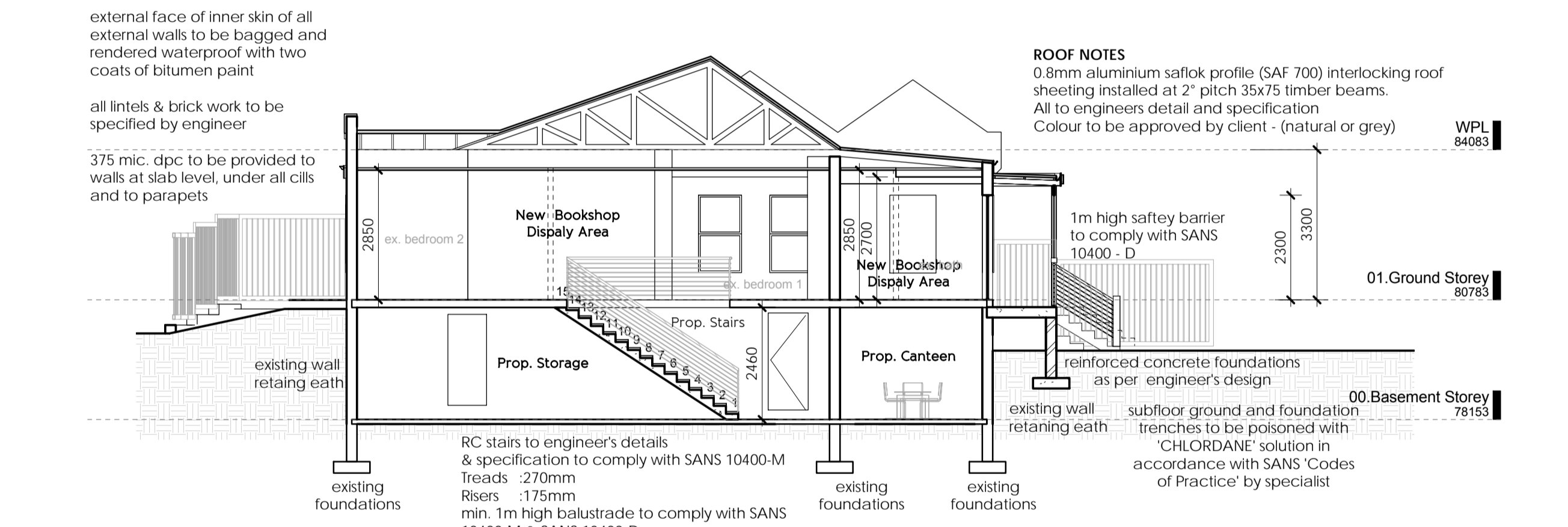
- AIR TO BE UNIFORMLY DISTRIBUTED THROUGHOUT ALL HABITABLE AREA
- LIGHTING AND VENTILATION TO COMPLY WITH SANS 10400-O
- ALL WASTE PIPES AND DRAINS TO BE ACCESSABLE ALONG THEIR ENTIRE LENGTH
- INSPECTION EYES (I.E.'S) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS IN THE DRAIN AND AT A MAXIMUM OF 23m LENGTHS ALONG STRAIGHT RUNS OF THE DRAIN IN COMPLIANCE WITH SANS 10400-P
- ALL INSPECTION EYES TO HAVE MARKED COVERS AT GROUND LEVEL
- CLEANING EYES (C.E.'S) TO BE PROVIDED AT ALL BENDS AND JUNCTIONS OF WASTE PIPES.
- ALL WASTES TO BE FITTED WITH 64mm RE-SEAL TRAPS.
- PREMISES TO BE SUITABLY RODENTPROOFED
- ALL SOIL PIPES TO BE Ø100mm EXCEPT URINALS WHICH ARE TO BE Ø75mm OR Ø50mm IN THE CASE OF WALL HUNG URINALS. ALL PIPES TO COMPLY WITH SANS 10400-P
- ANY WASTE WATER DISCHARGING OVER A GULLY TO COMPLY WITH PART 4.21 OF SANS 10400-P
- ALL SOIL VENTILATION PIPES (S.V.P.'S) MUST BE TAKEN TO A MINIMUM HEIGHT OF 1.8m ABOVE THE NEAREST ADJACENT WINDOW HEAD.
- WHERE A DRAIN PASSES UNDER A BUILDING IT MUST BE ENCASED IN 150mm CONCRETE ALL ROUND AND MUST BE IN A STRAIGHT RUN UNDER THE BUILDING WITH NO BENDS OR JUNCTIONS AND MUST HAVE I.E.'S AT EACH END AT A MINIMUM OF 600mm BEYOND THE BUILDING.
- WHERE THE VERTICAL DROP FROM SOIL FITTINGS TO THE MAIN DRAIN EXCEEDS 1.2m THESE FITTINGS ARE TO BE ANTI-SYPHON VENTED



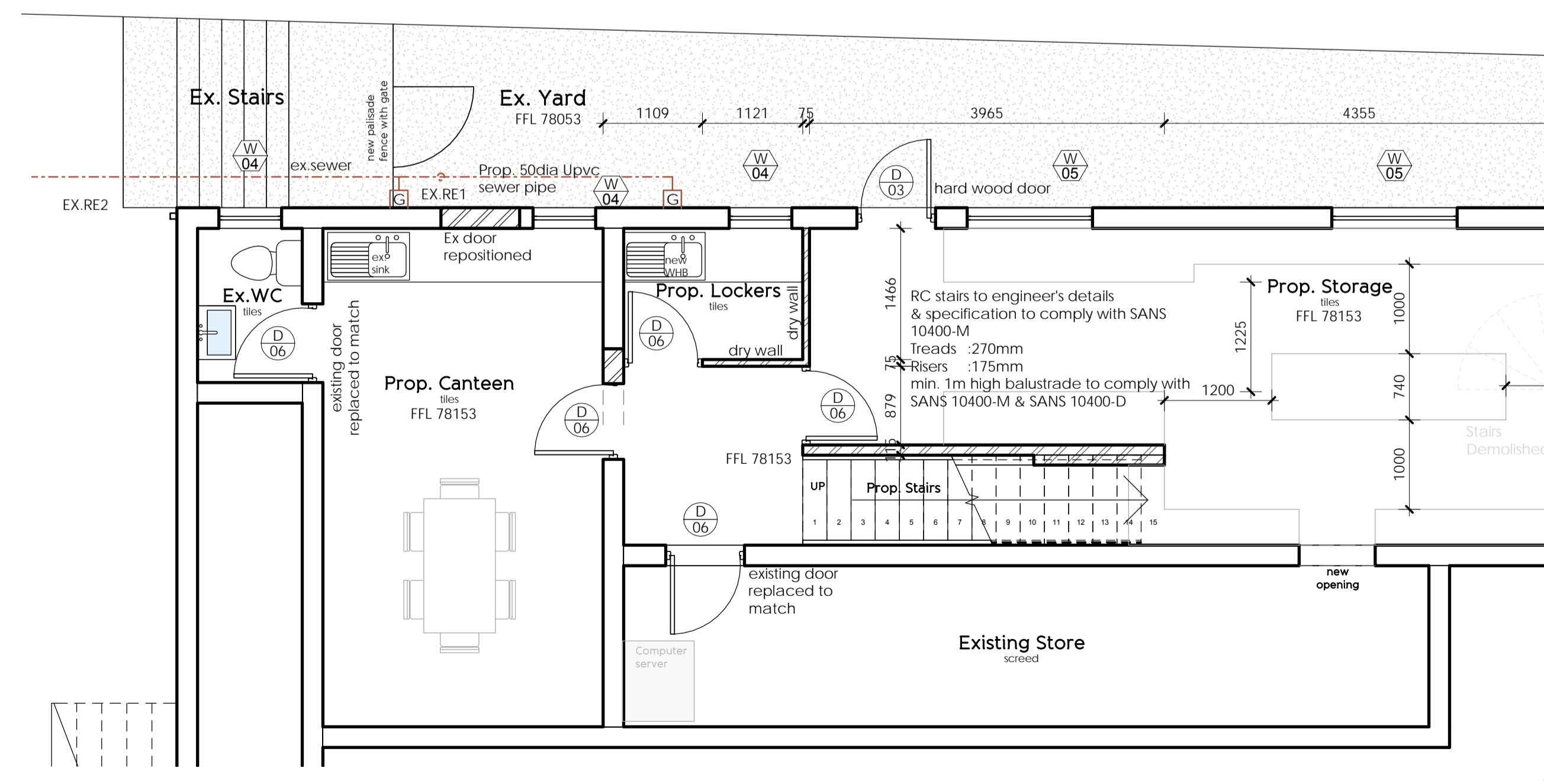
**+EAST ELEVATION.**  
SCALE | 1 : 100



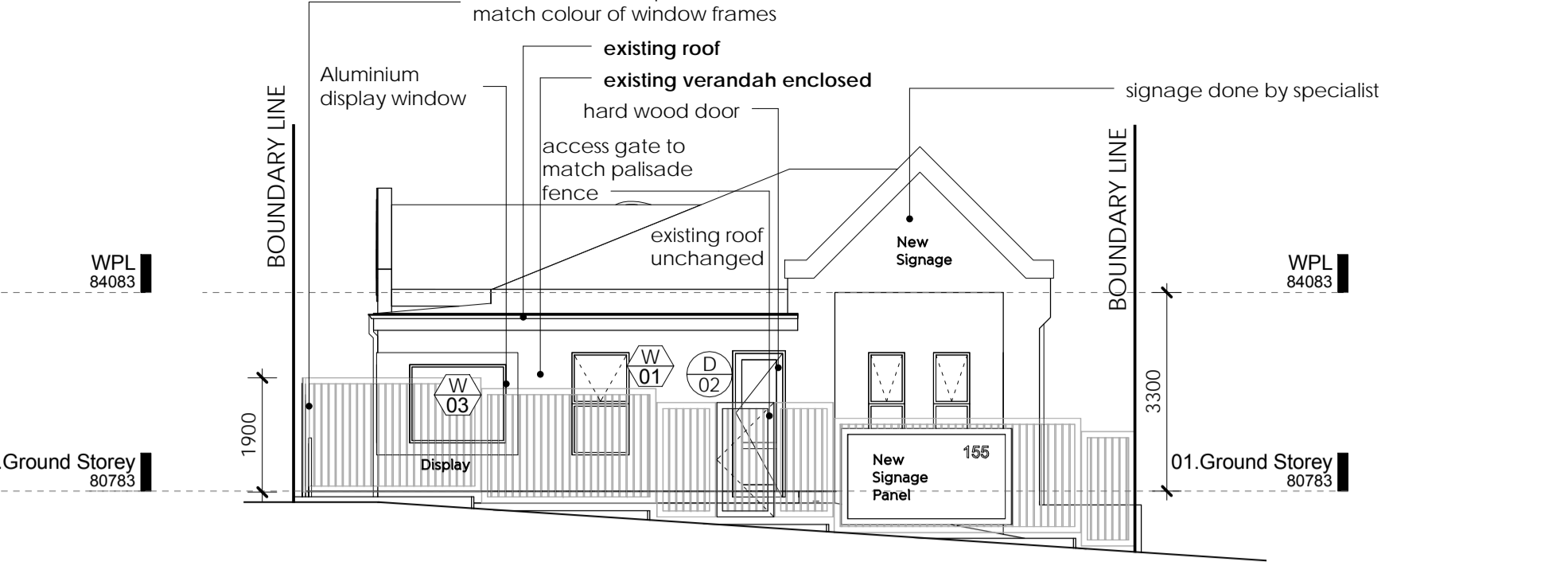
**+WEST ELEVATION.**  
SCALE | 1 : 100



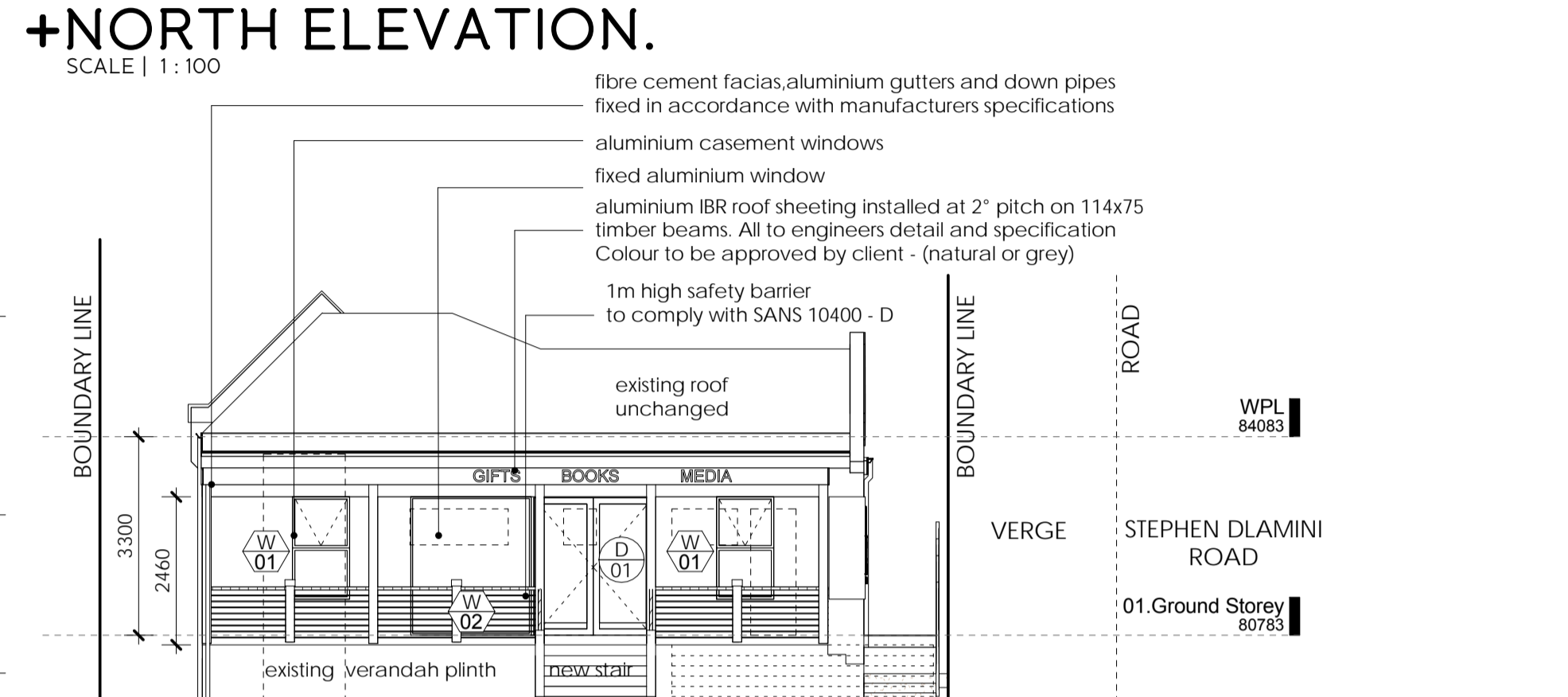
**+SECTION A-A**  
SCALE | 1 : 100



**+00. Basement Storey.**  
SCALE | 1 : 50



**+NORTH ELEVATION.**  
SCALE | 1 : 100



**+SOUTH ELEVATION.**  
SCALE | 1 : 100

**SANS 10400 XA | SANS 204 REPORT**

**Maximum Energy Demand & Consumption**

Max Energy Demand:	Non-specified	kVA (kW)
Max Energy Consumption:	Non-specified	kWh

**Building Orientation**

South

**Floor Construction**

Slab on ground with no in-slab heating  
Suspended floor with no in-slab heating

**External Wall Construction**

Masonry wall as per SANS 10400-XA with a minimum R-value of 0.35

**Fenestration**

Ground Storey (Basement)	79.008m <sup>2</sup>
Fenestration Area:	4.934m <sup>2</sup>
Ratio Fenestration / Floor Area:	6.2%
First Storey (Ground storey)	147.932m <sup>2</sup>
Fenestration Area:	36.731m <sup>2</sup>
Ratio Fenestration / Floor Area:	24.8%
Second Storey (Second Storey & Double Volume)	203.360m <sup>2</sup>
Fenestration Area:	36.731m <sup>2</sup>
Ratio Fenestration / Floor Area:	34%

**Roof Assembly**

Minimum total R-value required: 2.7m<sup>2</sup>K/W  
Direction of heat flow: down

**Roof Lights:** none

**Air Infiltration & Leakage:** none

**Services:** none

Max energy demand: 5714W  
Max energy consumption per annum: 25029kWh  
Total energy consumption: 1624.90kWh  
Hot Water Services: 50% of annual hot water consumption to be heated by means other than electrical resistance heating

**+ SCHEDULE OF AREAS**

PORTION 27 (OF 19) OF ERF 2490	237m <sup>2</sup>
PORTION 30 (OF 20) OF ERF 2490	231m <sup>2</sup>
<b>AREA OF COMBINED SITES</b>	<b>468 m<sup>2</sup></b>
<b>PERMITTED COVERAGE (40%)</b>	<b>187.20 m<sup>2</sup></b>
<b>PERMITTED/BULK FAR (1.0)</b>	<b>468 m<sup>2</sup></b>

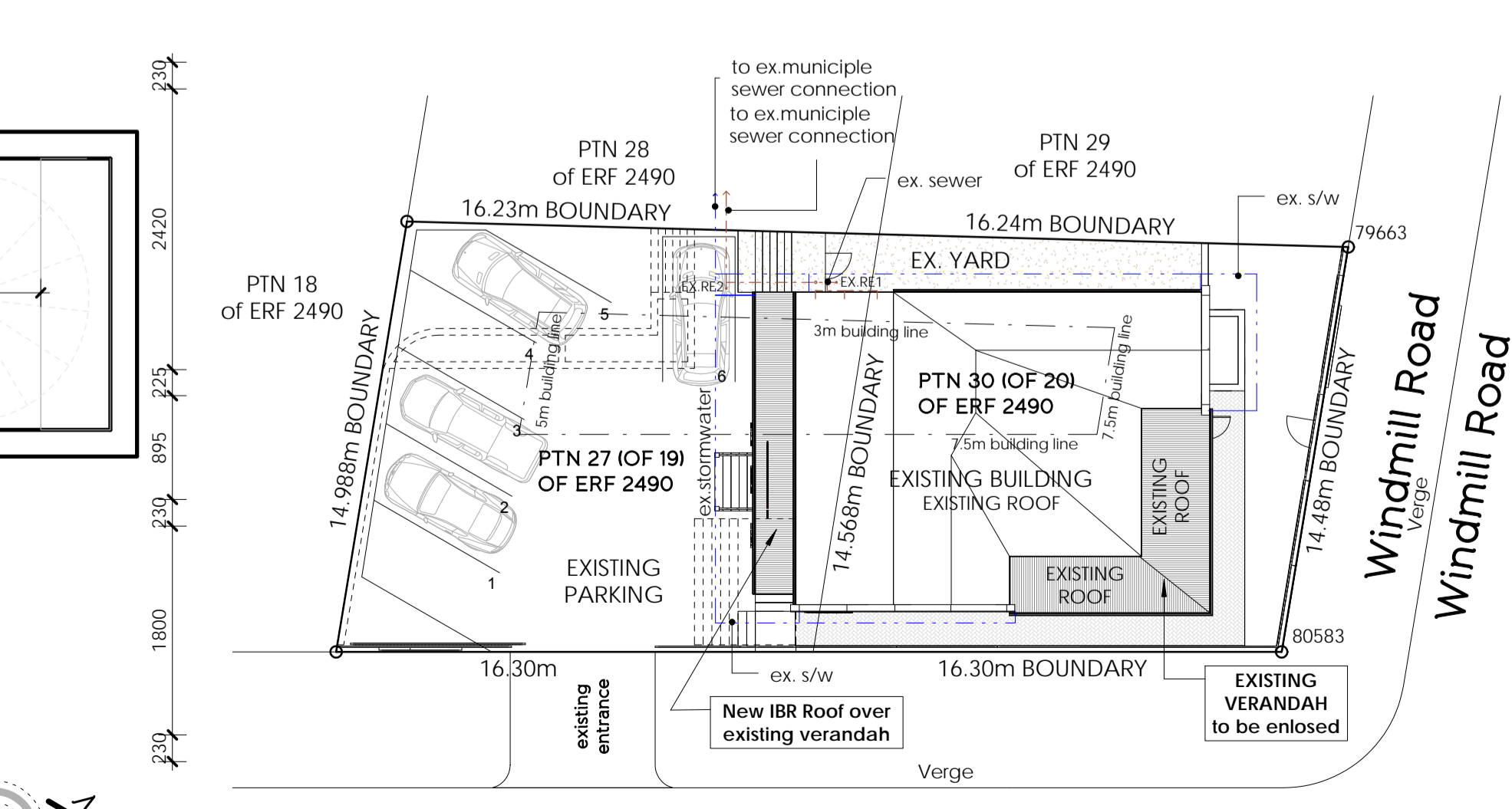
EXISTING AREAS	
DWELLING	(FAR) 132.82 m <sup>2</sup>
COVERED VERANDAH	27.08 m <sup>2</sup>
BASEMENT	(FAR) 70.73 m <sup>2</sup>
<b>TOTAL FAR</b>	<b>203.55 m<sup>2</sup></b>
<b>TOTAL COVERAGE</b>	<b>159.9 m<sup>2</sup></b>

PROPOSED ADDITIONAL AREAS	
PROPOSED DWELLING (enclosed verandah)	(FAR) 27.08 m <sup>2</sup>
PROPOSED STAIRS	- 3.61 m <sup>2</sup>
PROPOSED ROOF OVER EX. OPEN VERANDAH	14.56 m <sup>2</sup>
<b>ADDITIONAL COVERAGE</b>	<b>14.56 m<sup>2</sup></b>
<b>ADDITIONAL FAR</b>	<b>23.47 m<sup>2</sup></b>

TOTAL AREAS (EXISTING AND PROPOSED)	
<b>COVERAGE</b>	<b>37.3% 174.46 m<sup>2</sup></b>
<b>F.A.R</b>	<b>0.49 227.02 m<sup>2</sup></b>



**+Site Plan.**  
SCALE | 1 : 200

Occupancy as per SANS 10400-A20 F2

**+ JUSTIN BATE ARCHITECTURE**

LOCATION: 229 Lambert Road, Morningside, Durban  
EMAIL: justin@baterec.com  
PHONE: 031 303 9107  
CELL: 072 340 0060  
SACAP REG. NO. 21187

OWNER'S SIGNATURE  
ARCHITECT'S SIGNATURE

CLIENT: PAULINE BOOKS & MEDIA CENTRE TRUST Reg No: 115081/2005  
PROJECT: ADDITIONS & ALTERATIONS to EXISTING BUILDING on PTN 27 (of 19) of ERF 2490 & PTN 30 (of 20) of ERF 2490 on 155 STEPHEN DLAMINI ROAD, MUSGRAVE, DURBAN

PROJECT STAGE: SUBMISSION

DRAWING TITLE :  
Basement storey, Site plan, Section & Elevations

SCALE : As indicated	DATE : 20/08/15
DRAWN : WW	JOB No. : 100/15
DWG NO. : 100-B	REVISION No. :