

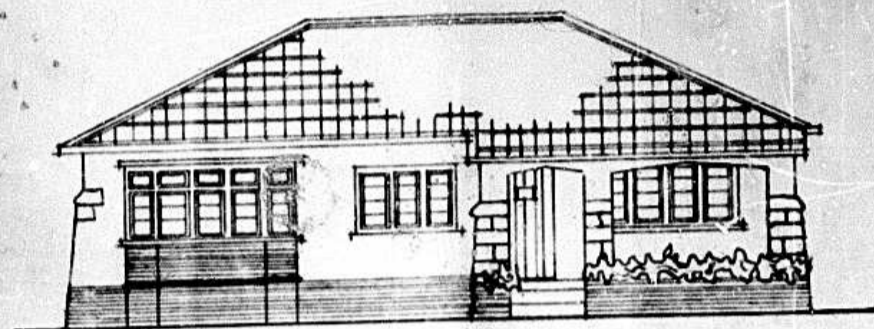
Durban Corporation

Section 8
Attention is drawn to the fact that the Group Areas Act No. 45 of 1955 requires that the plan of any building to be erected in a Group Area must be approved by the Council of the Group Area.

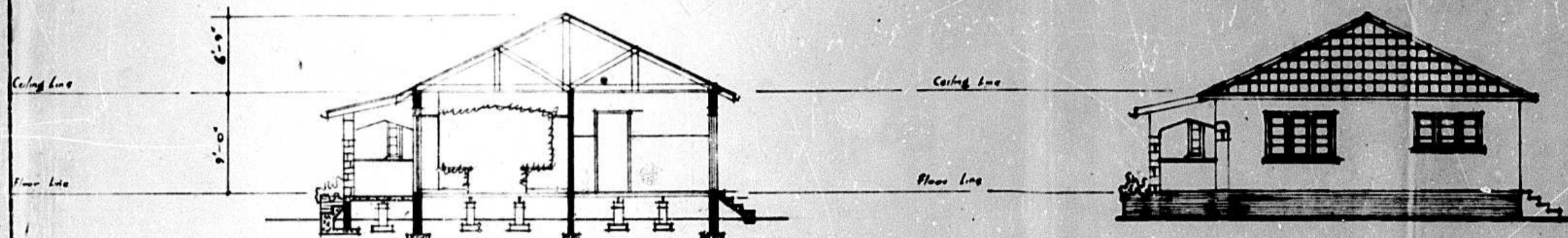
PROPOSED HOUSE for B.E. KING.

CITY & WATER ENGINEERS DEPARTMENT
LOANS TO INDIVIDUALS
HOUSING SECTION

21 C



FRONT ELEVATION



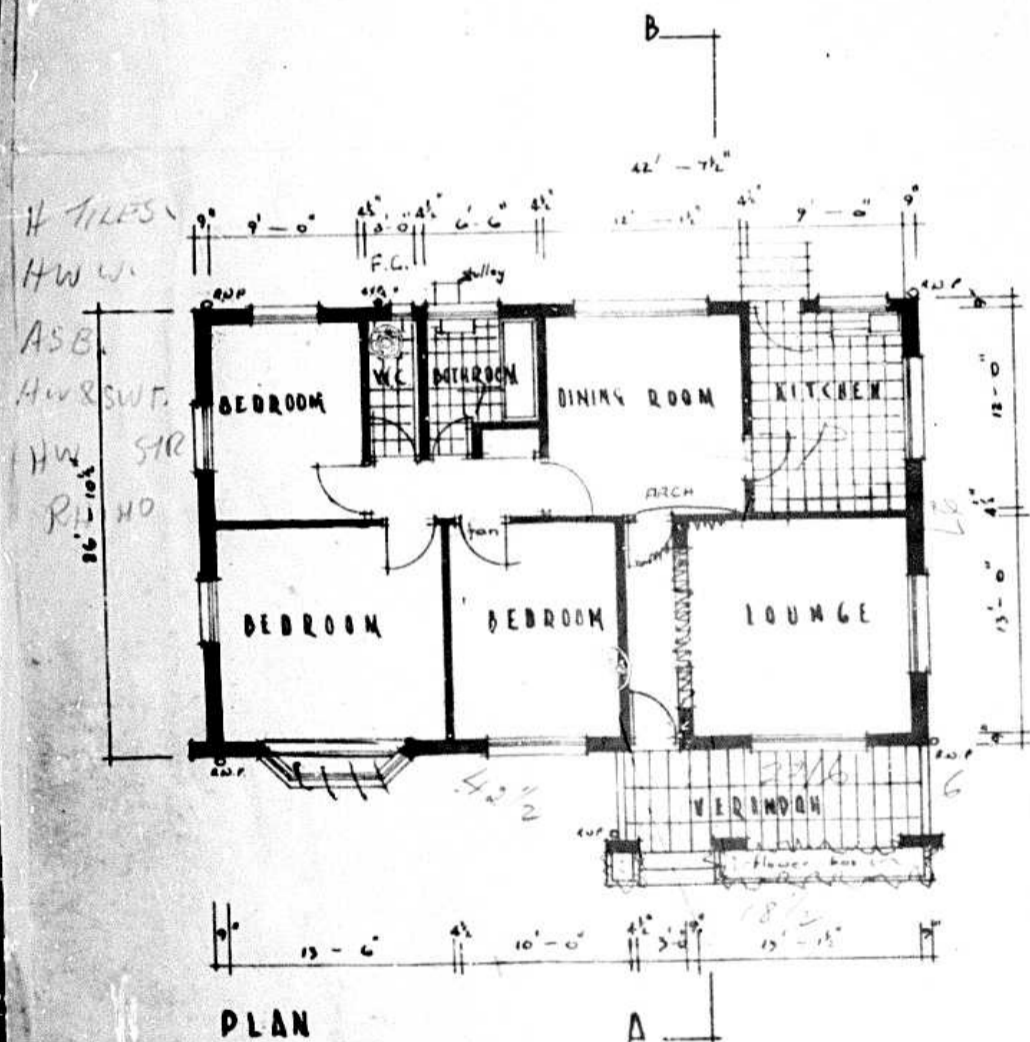
SECTION A-B

ALL ALTERATIONS SHOWN IN RED

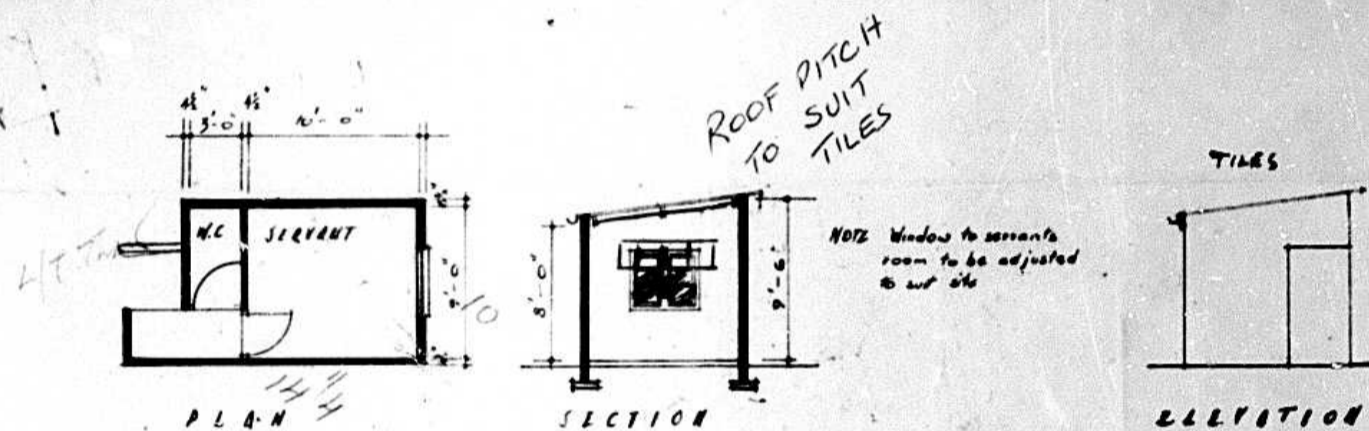
Entrance levels to be applied for before work is commenced.

ALL OVERFLOW PIPES FROM CISTERNS, CISTERNS AND TANKS MUST BE BROUGHT TO AN OUTSIDE WALL IN A CONSPICUOUS POSITION.

Entrance levels to be applied for before work is commenced.

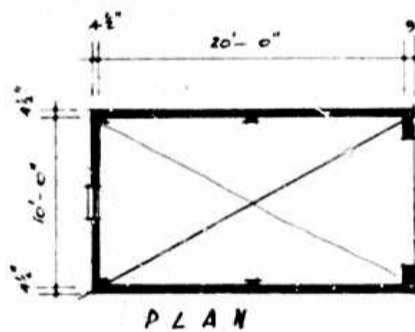


PLAN



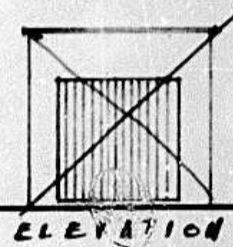
OUTBUILDINGS

IMPORTANT
The final position of servant's room must be decided by the architect on site before building is commenced. Non-compliance may mean the removal & re-erection.



PLAN

GARAGE



ELEVATION

A. King

Atkinson

OFFICIAL STAMPS

SHEET 212 COPY 3
ETHEKWINI MUNICIPALITY
 CENTRAL
 Plan No: 446 09 07

APPROVED in terms of The National Building Regulations and Building Standards Act No. 103 of 1977 (as amended)
 2008-02-0
 Local Authority
 This plan is approved on the basis of the information shown hereon. Attention is drawn to the attached documentation.

BOUNDARY BEACONS
 FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

ANTICUMULATIVE D.P.C. - VERTICAL D.P.C.
 SOIL POISONING REQUIRED

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY" RULE 6B.4

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH NRS AND ODS 4 OF SABS 0400.

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

FOUNDATIONS TO BE A MINIMUM OF 100mm FROM D.C. SERVICES AND TOP OF FOUNDATION LEVEL WITHIN 1 METRE OF D.C. SERVICES.

PROFESSIONAL ENGINEER TO CERTIFY THAT THE EXISTING STRUCTURE AND FOUNDATIONS ARE ADEQUATE TO SUPPORT THE ADDITIONAL LOAD.

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electricity, the location of any electrical services and services in the vicinity of the proposed works.
 1) The location of any electrical services and services in the vicinity of the proposed works.
 2) DME requirements regarding Substation, Meter rooms, and Cable ducts.

ELECTRICITY SERVICES
 Any person undertaking erection of a structure in accordance with this plan is to ensure that:
 1) The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142-1997, As amended, and the Occupational Health and Safety Act 85/1993.
 2) A Certificate of Compliance and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source.
 3) Adequate earthing to the satisfaction of the Director, Transmission, DME is provided.

PROPOSED ROOF ROOMS TO EXISTING DWELLING FOR T. DENNISON
 57 MACKEURTAN AVE, DURBAN NORTH
 ON PORTION 91 OF ERF 3137 OF DURBAN NORTH

RATE No: 91893052

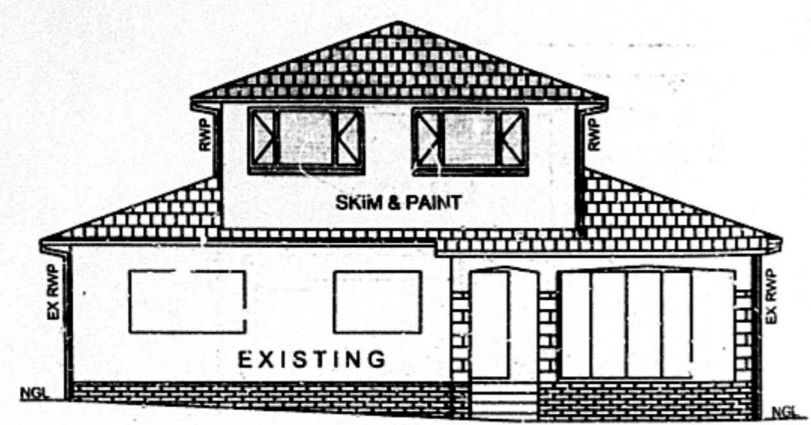
SCHEDULE OF AREAS

SITE AREA:	1621 m ²
EXISTING F.A.R.	180.6 m ² 0.176
PROPOSED F.A.R.	56.7 m ² 0.056
TOTAL F.A.R.	237.3 m ² 0.232
PERMITTED F.A.R.	409.6 m ² 0.406
EXISTING COVER:	180.6 m ² 17.6 %
PROPOSED COVER:	56.7 m ² 6.3 %
TOTAL COVER:	237.3 m ² 17.6 %
PERMITTED COVER:	409.6 m ² 48.0 %

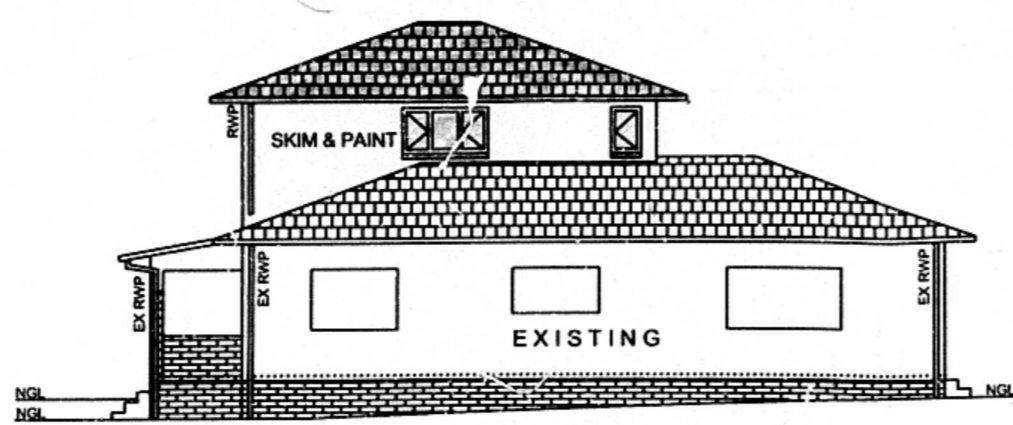
PROJECT KING MANAGEMENT
 UNIT 2, 199 QUALITY STREET, JACOBS, 4852
 Tel No: 031 461 4250 Fax No: 031 461 4253
 e-mail: kingroofrooms@shawmail.co.za

Date: 11 SEPTEMBER 2007
 Scale: AS SHOWN
 Drawn by: HEERIE FERRIERE
 Professional: PEng/Draughtsman
 S.A.C.A.P. Reg. No: 10 0723
 Mobile Phone No: 084 606 9119
 Signature: *[Signature]*

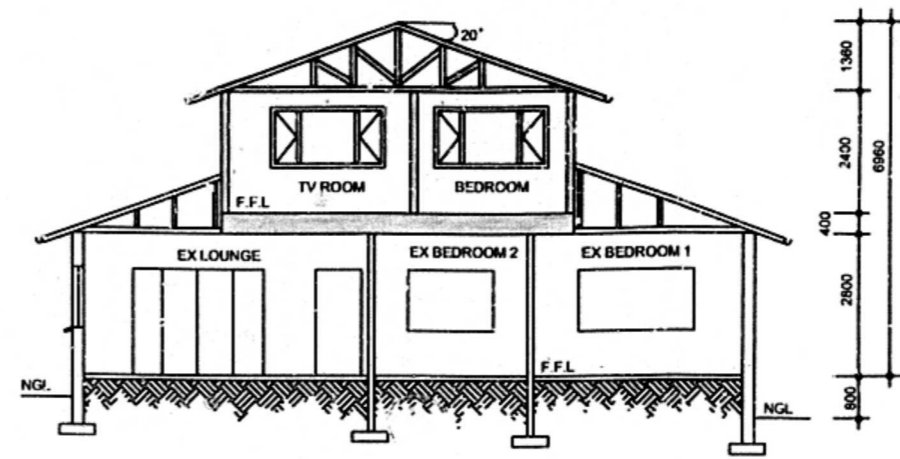
DWG No: KPM / 079 Rev: sheet 1 of 1



SOUTH ELEVATION 1:100

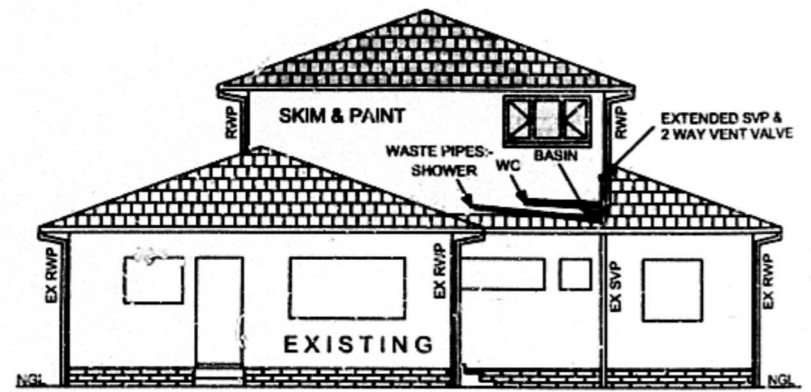


EAST ELEVATION 1:100

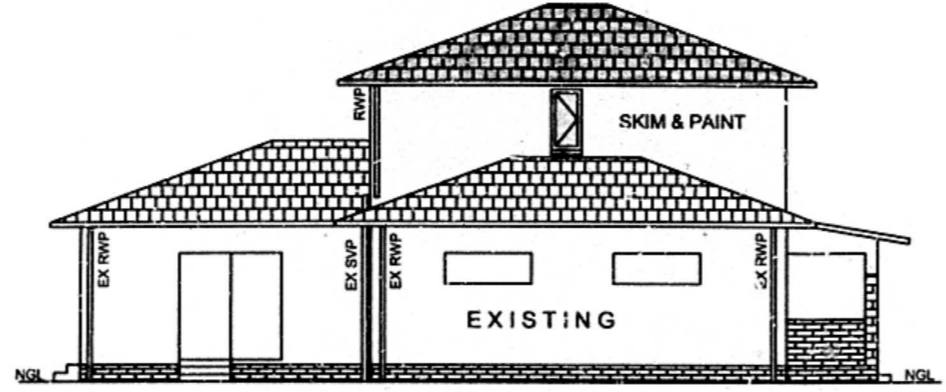


SECTION A - A 1:100

NO CONCRETE PERMITTED OVER D.C. SERVITUDES



NORTH ELEVATION 1:100



WEST ELEVATION 1:100

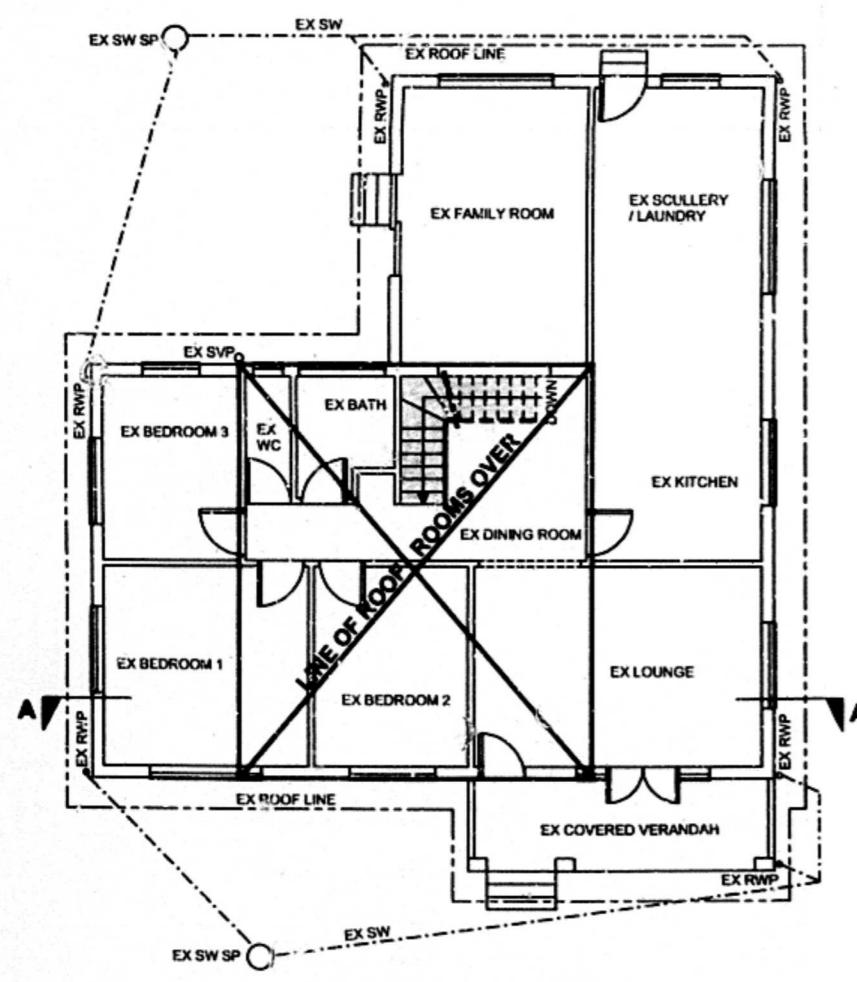
ENGINEERS DETAILS REQUIRED

Rechain. 11 Aug. 2009.

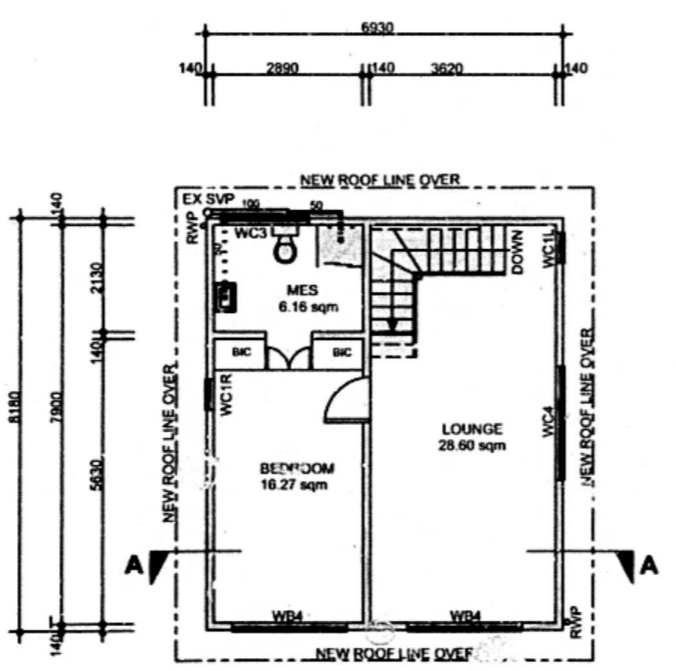
AS BUILT

LAND USE MANAGEMENT
 CONSENT USE AUTHORITY
 GRANTED
 07 DEC 2007
 Signature: *[Signature]*
 Checked: *[Signature]*

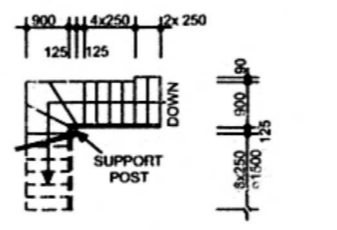
WINDOW SCHEDULE:
 WB4 = 2245W X 1200H X 2
 WC4 = 2245W X 900H X 1
 WC3 = 1695W X 900H X 1
 WB1R = 595W X 1200H X 1
 WC1L = 595W X 900H X 1



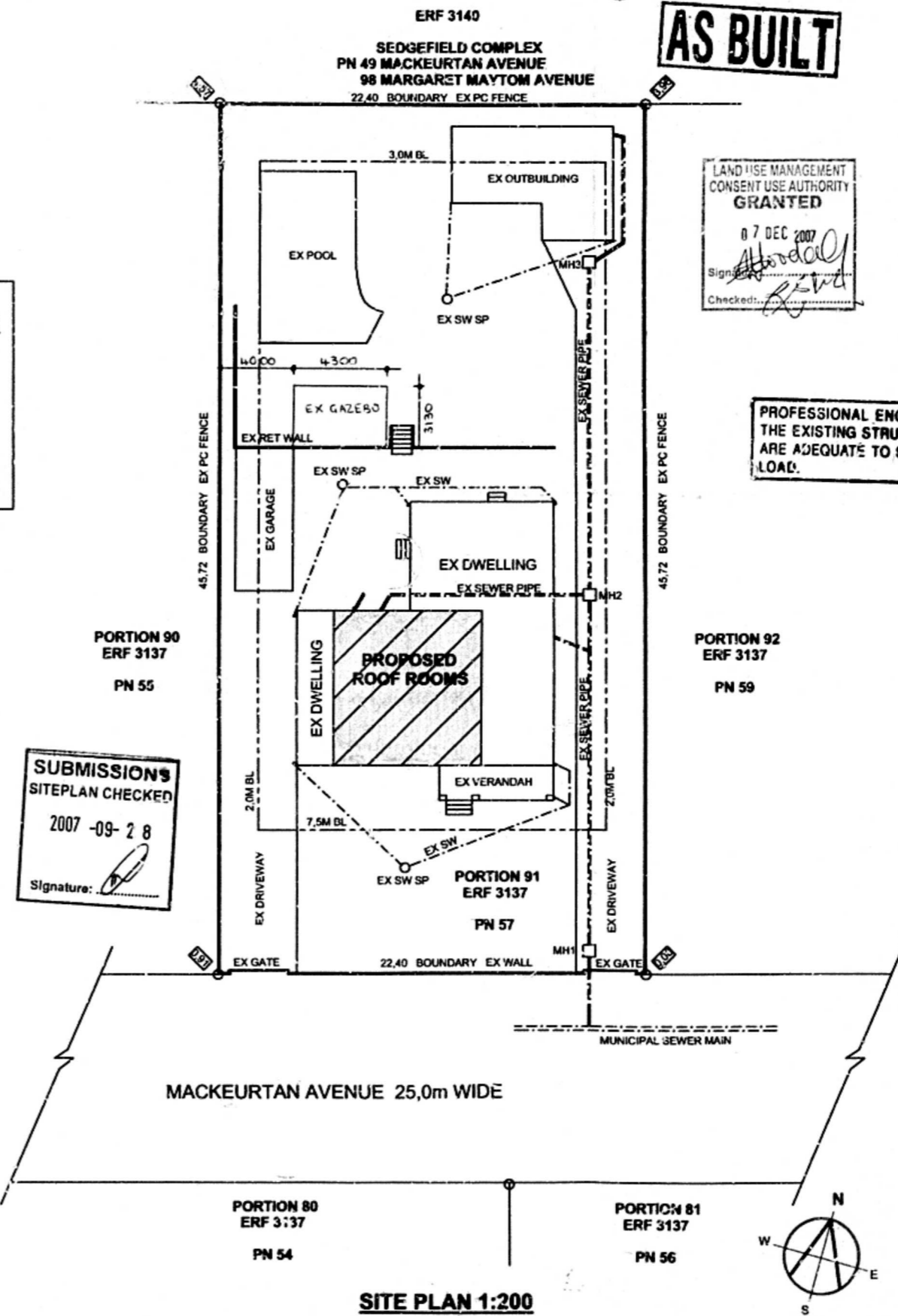
GROUND FLOOR PLAN 1:100



PROPOSED ROOF ROOMS FLOOR PLAN 1:100



STAIRS DETAILS 1:100



SITE PLAN 1:200

SUBMISSIONS
 SITEPLAN CHECKED
 2007-09-28
 Signature: *[Signature]*

CONSTRUCTION NOTES TO ALL CONTRACTORS:
 1) USE FIGURE DIMENSIONS IN PREFERENCE TO SCALING.
 2) ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING WITH CONSTRUCTION.
 3) UNLESS OTHERWISE SPECIFIED AND APPROVED, ANY ENCROACHMENT OVER BOUNDARY / BUILDING LINES, SERVITUDE, ETC. ARE TO BE RECTIFIED AND REPORTED IMMEDIATELY.
 4) ALL NEW CONSTRUCTION MATERIALS TO MATCH EXISTING.
 5) CONSTRUCTION TO COMPLY WITH THE MUNICIPALITY BY-LAWS (SERV. NO. 08/04/06/07), AND N.B.R. AND S.A.B.S. REGULATIONS AND THE STRUCTURAL ENGINEER'S SPECIFICATIONS.
 6) CERTIFICATE OF APPROVAL TO BE SUPPLIED BY STRUCTURAL ENG.
 7)

EXTERNAL
 1) 30 x 114 mm SAP TIMBER FRAME WITH EXTERNAL SKIN OF 2 mm NUTEK CEMENT FIBRE PANELS WITH SKIM COAT PLASTER & PAINT TO MATCH EXISTING AND INTERNAL SKIN OF 12 mm GYPSUM BOARD PANELS WITH ALUMINUM BETWEEN ROOF PANELS.
 2) FLASHING INSTALLED BETWEEN NUTEK PANELS, TIMBER FRAME AND EXISTING ROOF INTERNAL 30 x 114 mm SAP TIMBER FRAME & 12 mm RHINOBOARD PANELS BOTH SIDES.
ROOF AND CEILING
 1) EXISTING ROOF TILES AND TIMBER TO BE REMOVED.
 2) ROOF TILES AND SECURE WITH 3mm WIRE TIES ON 30 X 30 mm BATTENS ON PVC UNDERLAY ON 30 X 114 mm GANGED TRUSSES @ APPROX. 700 mm CTRS ON 30 X 114 mm WALL PLATES - ROOF PITCH TO MATCH EXISTING.
 3) CEILING - GYPSUM BOARD ON 30 X 30 BRANDING.

WALLS
 1) 100mm SHUTTERBOARD PANELS FIXED TO 50 X 228 FLOOR JOIST @ APPROX. 400 mm CTRS ON 50 X 228 MAIN BEARER BEAMS.
DRAINAGE
 1) EXISTING RETICULATIONS TO BE CHECKED AND DAMAGED FITTINGS REPLACED.
 2) 100mm PVC/UPVC RIBBED SEWER PIPE & 20mm PVC/UPVC RIBBED WASTE PIPES TO BE PROVIDED OVER DOORS, WINDOWS, ARCHWAYS ETC.
 3) 100mm CONCRETE SURFACE BEDS, SKIMMED & REINFORCED WITH BRC MESH 150 ON 250 SICKENS POLYETHYLENE SHEET ON COMPACTED POISONED SOIL - TO COMPLY WITH SABS 0124

FLOORS
 1) RISERS - ALUMINUM 20mm (20' x 50mm) TIMBER.
 2) TREADS - 25mm (25' x 50mm) TIMBER.
 3) HEAD HEIGHT - MINIMUM 2070mm / ANGLE - 20°
 4) ALL BALUSTRADES - MINIMUM HEIGHT OF 1000mm TO COMPLY WITH MM 3 AND PD 24 OF S.A.B.S 0400.
BRICK AND CONCRETE WORKS
 1) ALL BRICK WORK AS DETAILED AND STRICTLY TO ENGINEERS SPEC. CONCRETE FLOORS, BEAMS, COLUMNS, BUTTRESSES, SPANS, ARCHES, FOUNDATIONS, RETAINING WALLS AND METHOD OF FIXING OTHER MATERIALS TO RC AND/OR BRICKWORK.
 2) LINTEL-BEAMS TO BE PROVIDED OVER DOORS, WINDOWS, ARCHWAYS ETC.
 3) 100mm CONCRETE SURFACE BEDS, SKIMMED & REINFORCED WITH BRC MESH 150 ON 250 SICKENS POLYETHYLENE SHEET ON COMPACTED POISONED SOIL - TO COMPLY WITH SABS 0124

ENGINEERING SPECIFICATIONS:
 ALL WORK TO COMPLY WITH:
 1) SABS 0100 (STRUCTURAL CONCRETE)
 2) SABS 0104 (HANDRAILS)
 3) SABS 0137 (GLAZING)
 4) SABS 0141 (FOUNDATIONS)
 5) SABS 0142 (STRUCTURAL STEEL)
 6) SABS 0143 (GIA) (STRUCTURAL TIMBER)
 7) SABS 0164 (STRUCTURAL MASONRY)

OWNER'S SIGNATURE:
[Signature]

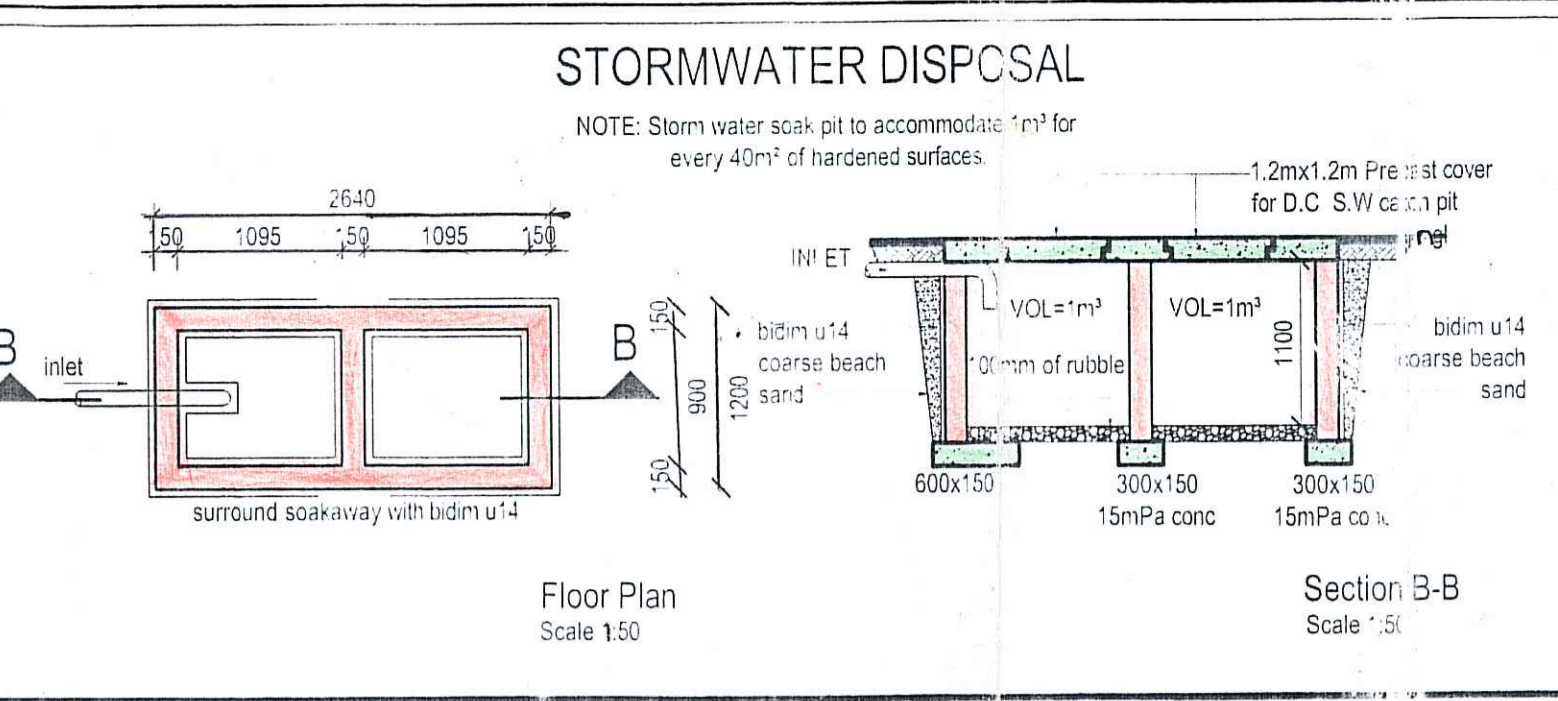
TELEPHONE: 082 497 4933

Window / Door Number	W1	W2	W3
Frame Required	Standard bronze powder coated aluminium window frames	Standard bronze powder coated aluminium window frames	Standard bronze powder coated aluminium window frames
Pane	Glass thickness @ 4mm - obscure glass	Glass thickness @ 4mm	Glass thickness @ 4mm - obscure glass safety glass
U-Value	7.9	7.9	7.9
SHGC	0.81	0.81	0.81
Notes	1) All glass to comply with part n of nbr. 2) Safety glass where indicated s.g. 3) All tenders should be AAAMSA members. 4) All details as per AAAMSA guidelines and specs - SANS0137. 5) Supplier to check window & door openings on site prior to manufacture of frames.		

Lighting & Power		
Max. Energy Demand	299.975	W - Permissible
Max. Energy Consumption per Annum	299.975	kWh - Permissible
Lamp power (W) rating:	No. of Lamps:	Hours in use / day:
11	4	4
14	2	2
Total lamp energy demand (W)	72	Energy demand acceptable
Total energy demand (W / m ²)	1.2	Energy demand acceptable
Available energy demand for lights	277.98	W
Total energy consumption - Lights (kWh)	84.45	Energy consumption acceptable
Total energy consumption - Lights (kWh / m ²)	1.41	Energy consumption acceptable
Available annual energy consumption - Lights	215.53	kWh

Areas	Area Schedule	Occupancy: H4
Prop Tandem Garage	38,145 m ²	
Prop Entertainment	21,600 m ²	
Prop Entertainment (exg garage)	25,128 m ²	
Prop Additions	6,735 m ²	
Prop En Suite	15,111 m ²	
Existing F.A.R.	237,300 m ²	
Proposed F.A.R.	21,846 m ²	
Total F.A.R.	259,146 m ²	
Existing Coverage	180,600 m ²	
Proposed Coverage	81,591 m ²	
Total Coverage	262,191 m ²	
Total Area of New Development	81,591 m ²	
Site Area	1024 m ²	

Legend	
	Philips Genie 11W light bulb
	1500 Single tube fluorescent light fitting: LUMILUX T5 HE 14W



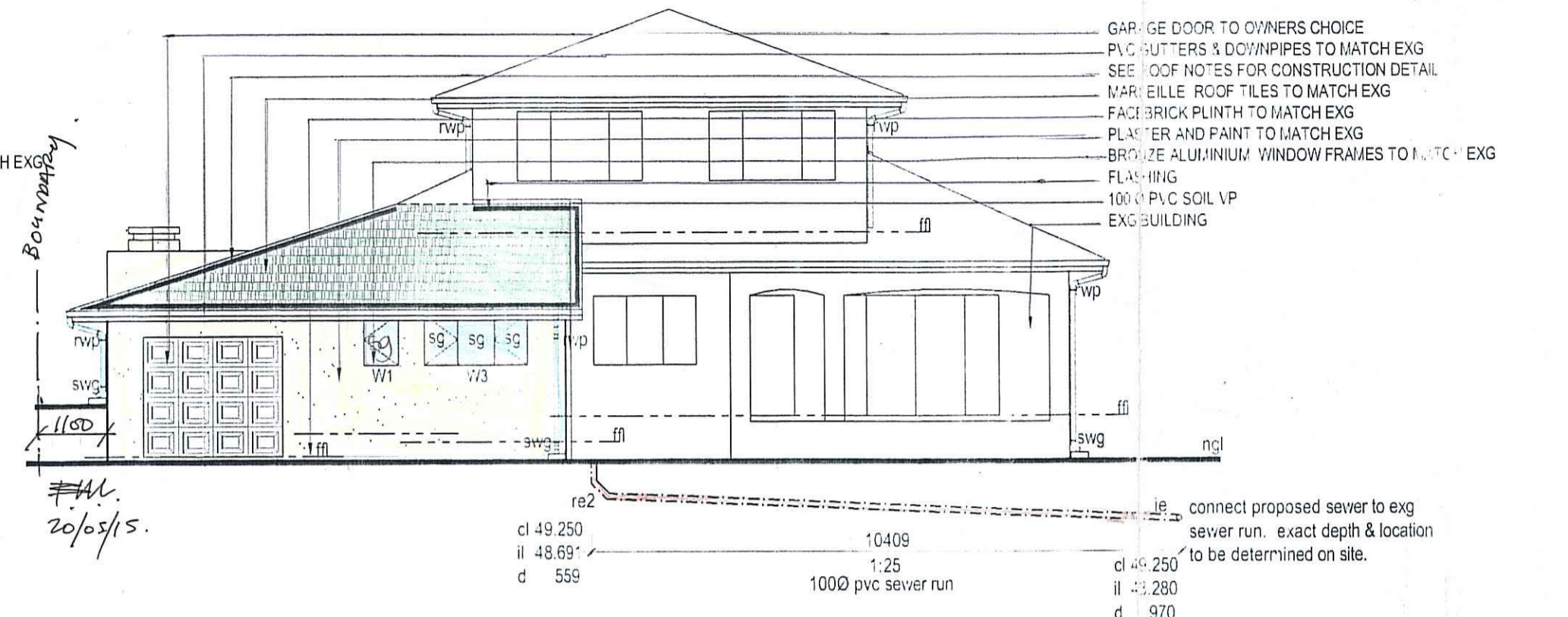
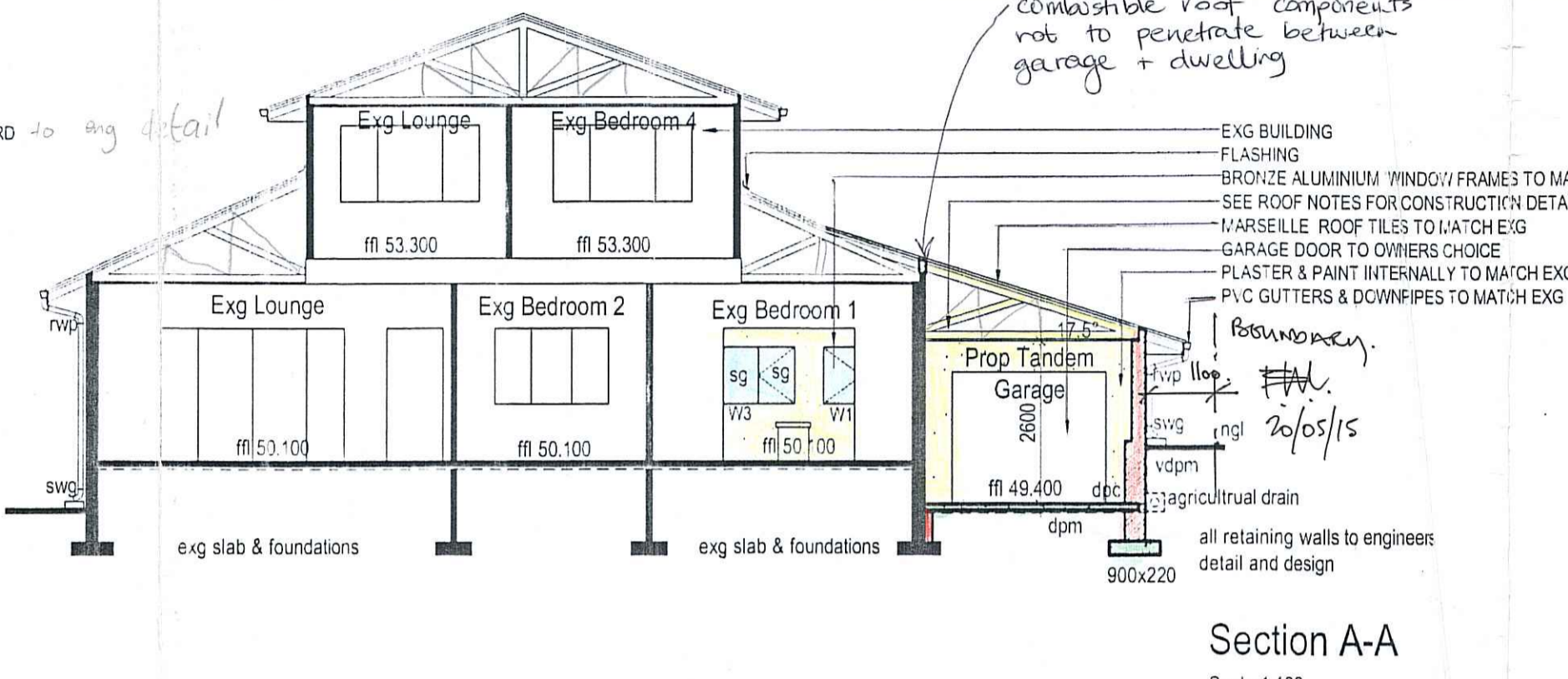
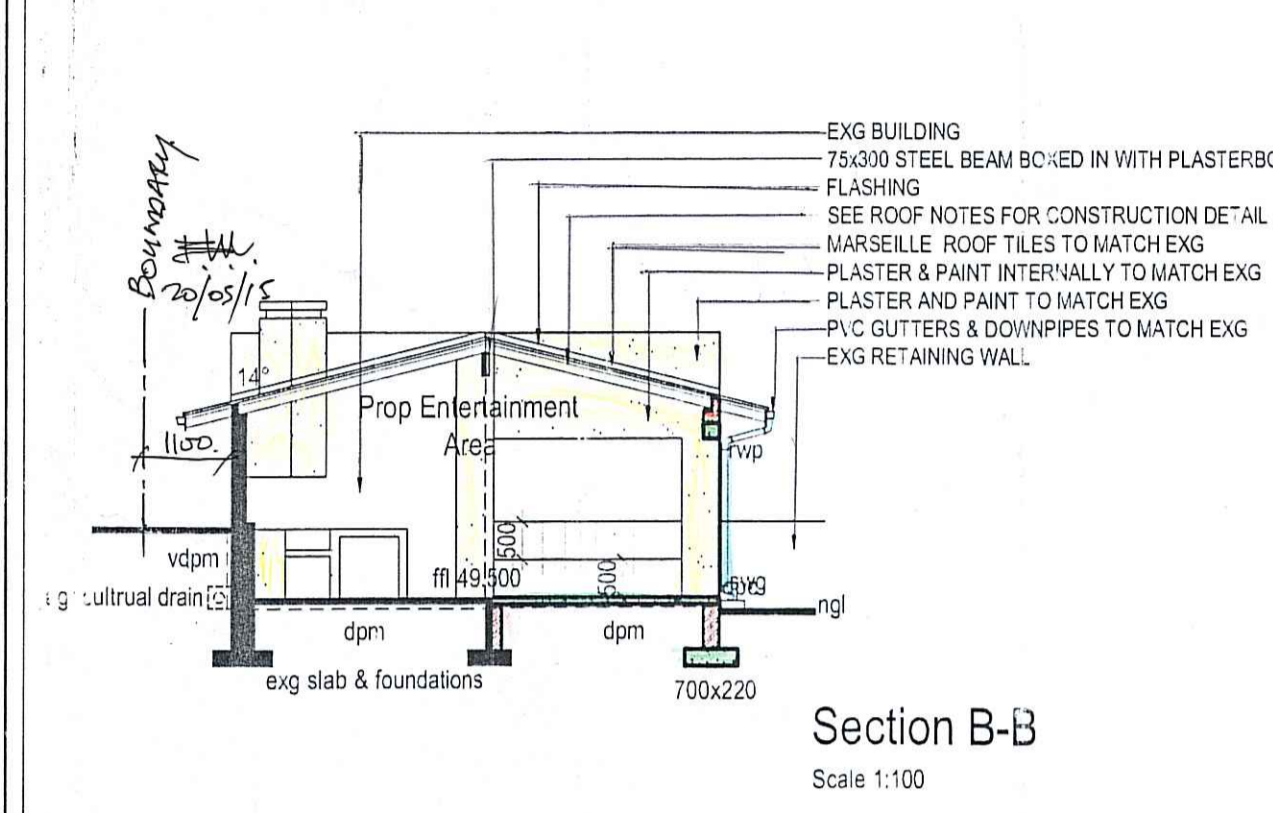
APPLICATION IN PRINCIPLE
 No: REC 07/01/2015
 1/1

ETHEKWINI MUNICIPALITY
 LOCAL AUTHORITY
 NAME: [Redacted]
 SIGNATURE: [Signature]
 DATE: 23/1/15

SHEET 1/2 COPY
ETHEKWINI MUNICIPALITY (CENTRAL)
196 04 15
 APPLICATION NO.

BUILDING APPLICATION
 APPROVED in terms of Sec. 7 of the National Building Regulations and Building Standards Act No. 103/1977

2016-01-20 LOCAL AUTHORITY
 This plan is approved on the basis of the information shown herein. Attention is drawn to the attached documentation & that this approval shall lapse ONE year after the above approval date, unless the erection of the building in terms of NBR Act 103/1977 is commenced.



Roof - (Tiles)
 Marseille roof tiles on 38x38mm tiling battens on 250 micron pvc underlay on 114x38mm trusses at 690mm max. centers at 17.5° roof pitch on 115x38mm wall plates. Fibre cement Fascias and barge boards. Rain water goods- pvc. Roofloading certificate to be issued on completion.

Ceiling
 Flexible fiberglass blanket 10-18kg/m², with a thickness of 110mm on 38x38 brandering at (600 centers with 12mm plasterboard) or (400 centers with 9mm plasterboard) with skimmed joints.

Walls
 All walls to be reinforced with 2 courses "brickforce" at window head and sill levels throughout.

Surface Bed
 100mm concrete surface bed reinforced with 1 layer BRC mesh ref. 100 on 250 micron pvc underlay on well compact poison fill in accordance with Sans 10400.

Glass
 All glass to comply with part N of Sans 10400.

Structural Elements
 All r.c. slabs, stairs and retaining walls to engineer's design and detail to be submitted to the appropriate authority prior to commencement. Stability Certificate to be provided upon completion.

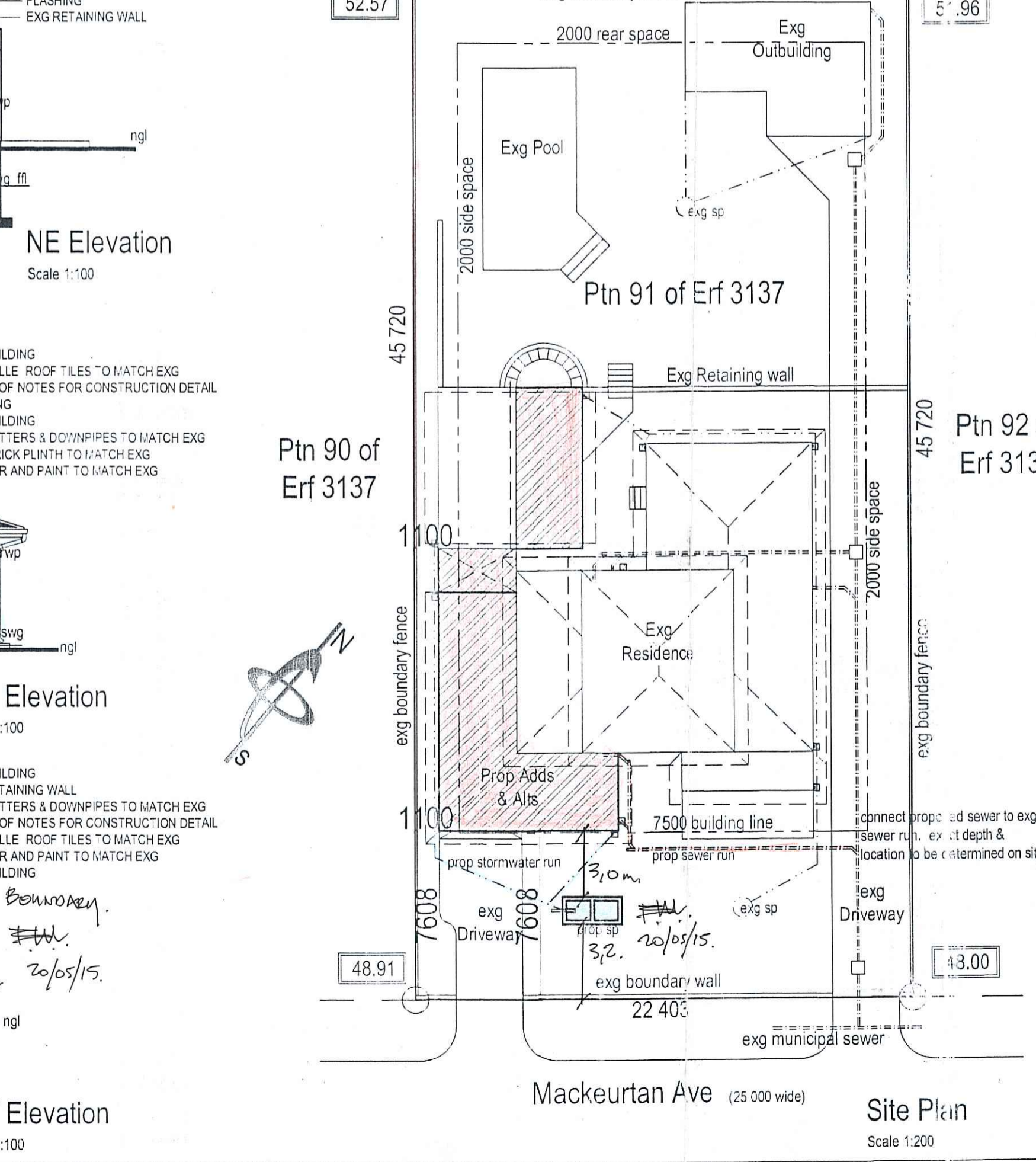
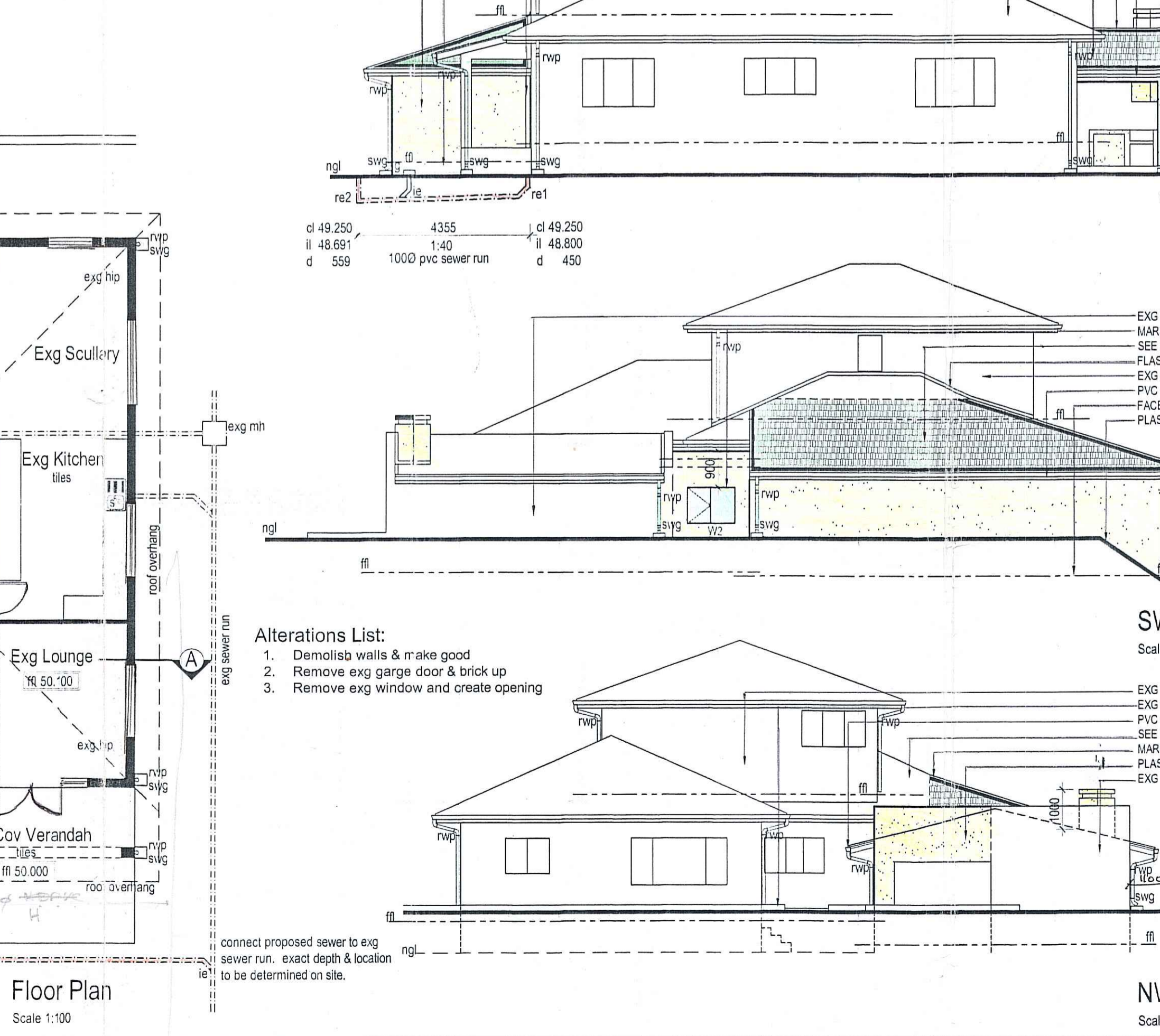
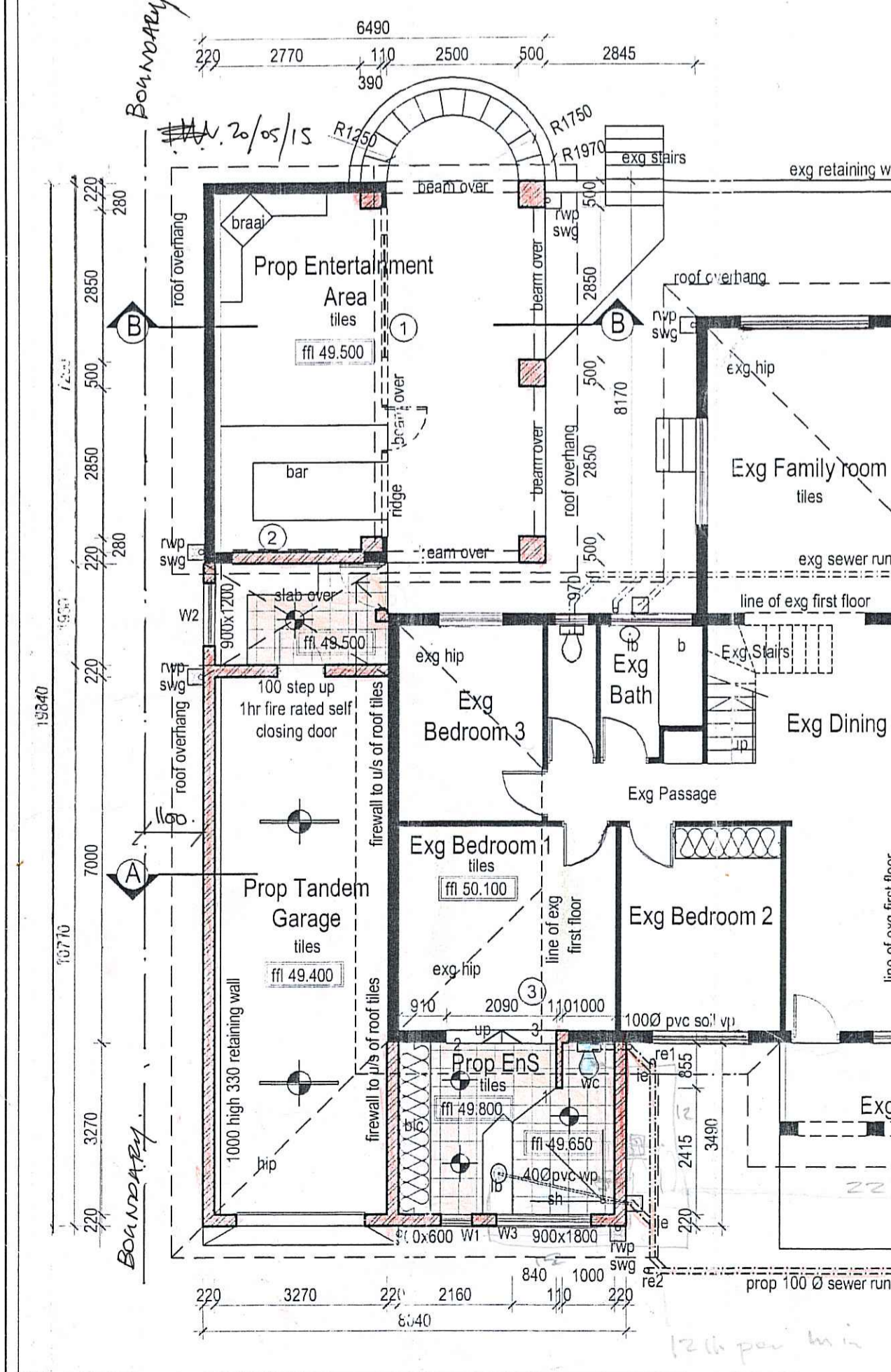
Drainage
 Encase in concrete beneath all slabs and hardened surfaces and bridge over beneath walls.

Banks
 Cut Banks 3:1
 Fill Banks 2:1

General
 Corner beacon pegs to be exposed prior to commencement of work. All levels are to be confirmed on site prior to commencement of works. Works should not be implemented prior to full approval from all departments of the local authorities unless written permission to do so is given by local authority. All dimensions and levels to be verified on site. Do not scale drawings. Soil poisoning in accordance with Sans 10400. Engineers certificate of stability to be issued on completion.

Address:	Name:	I.D. No.:	Tel/Cell No.:	Signature:
57 Mackeurtan Ave	C.F. van der Merwe	751018003609	0821980566	[Signature]
55 Mackeurtan Ave	A.S. du Toit	704065005084	0824480916	[Signature]

SE Elevation
 Scale 1:100



- Alterations List:**
1. Demolish walls & make good
 2. Remove exg garage door & brick up
 3. Remove exg window and create opening

VERY IMPORTANT PLEASE READ

- Council approved drawings must be strictly adhered to.
- Any deviations must be approved by architect / council prior to implementation.
- Sans 10400 is now mandatory.
- Council may fine if deviations are made without their approval.

Title: Working Drawing
 Client: Mr. B. L. & Mrs. L. Kearns
 Client Signature: [Signature]
 Project: Proposed Additions & Alteration to exg residence
 Site: Ptn 91 of Erf 3137
 57 Mackeurtan Ave,
 Durban North
 Scale: As-Shown Date: July 2014

Architectural Concepts

SACAP Registration Number: ST0594
 1 Hawthorne Road
 Warner Beach, 4126
 P.O.Box 70,
 Warner Beach, 4140
 Tel: 031 916 7116/7
 email: archicon@telkomsa.net
 Drg: 01/01 Job: 11818