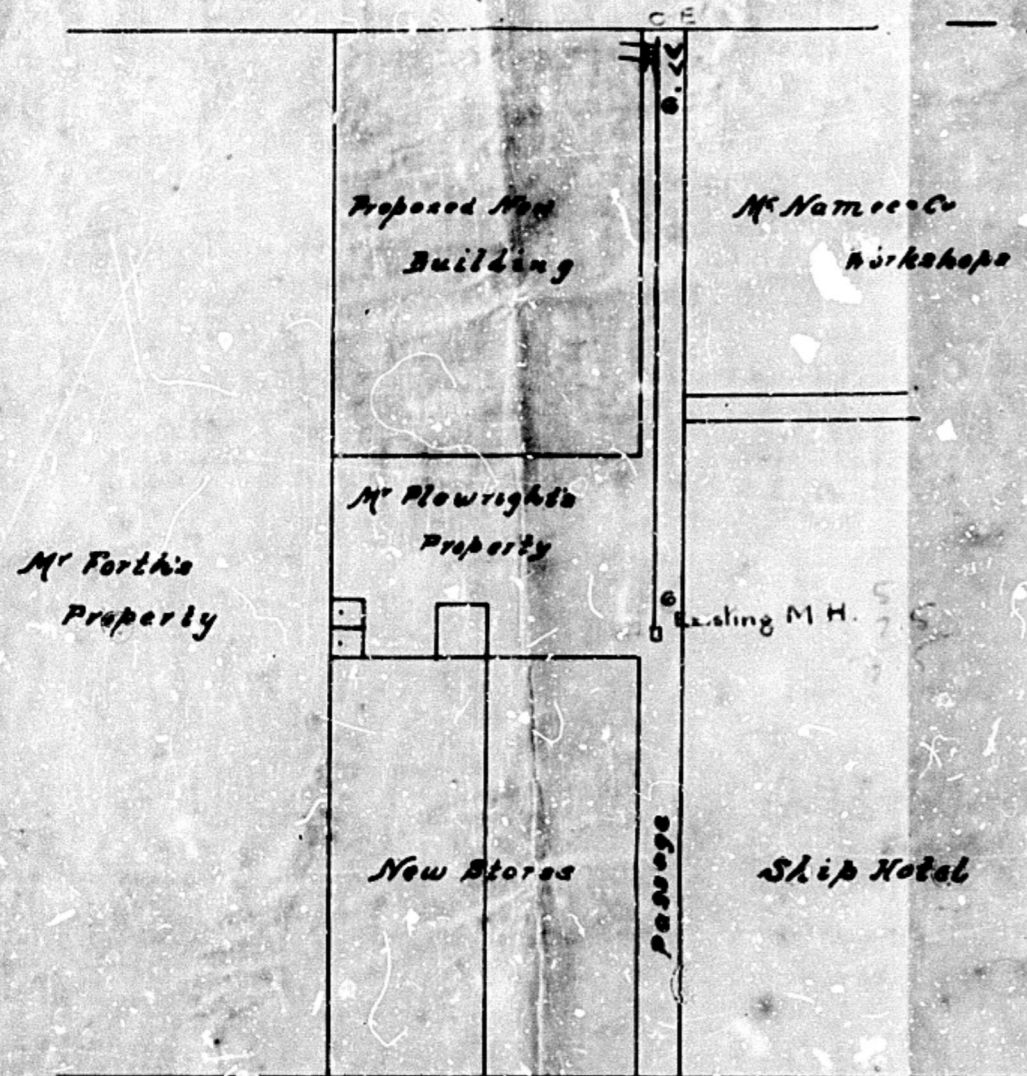


198/195 WEST ST.

Described as Sub DC. ERT @ Block L

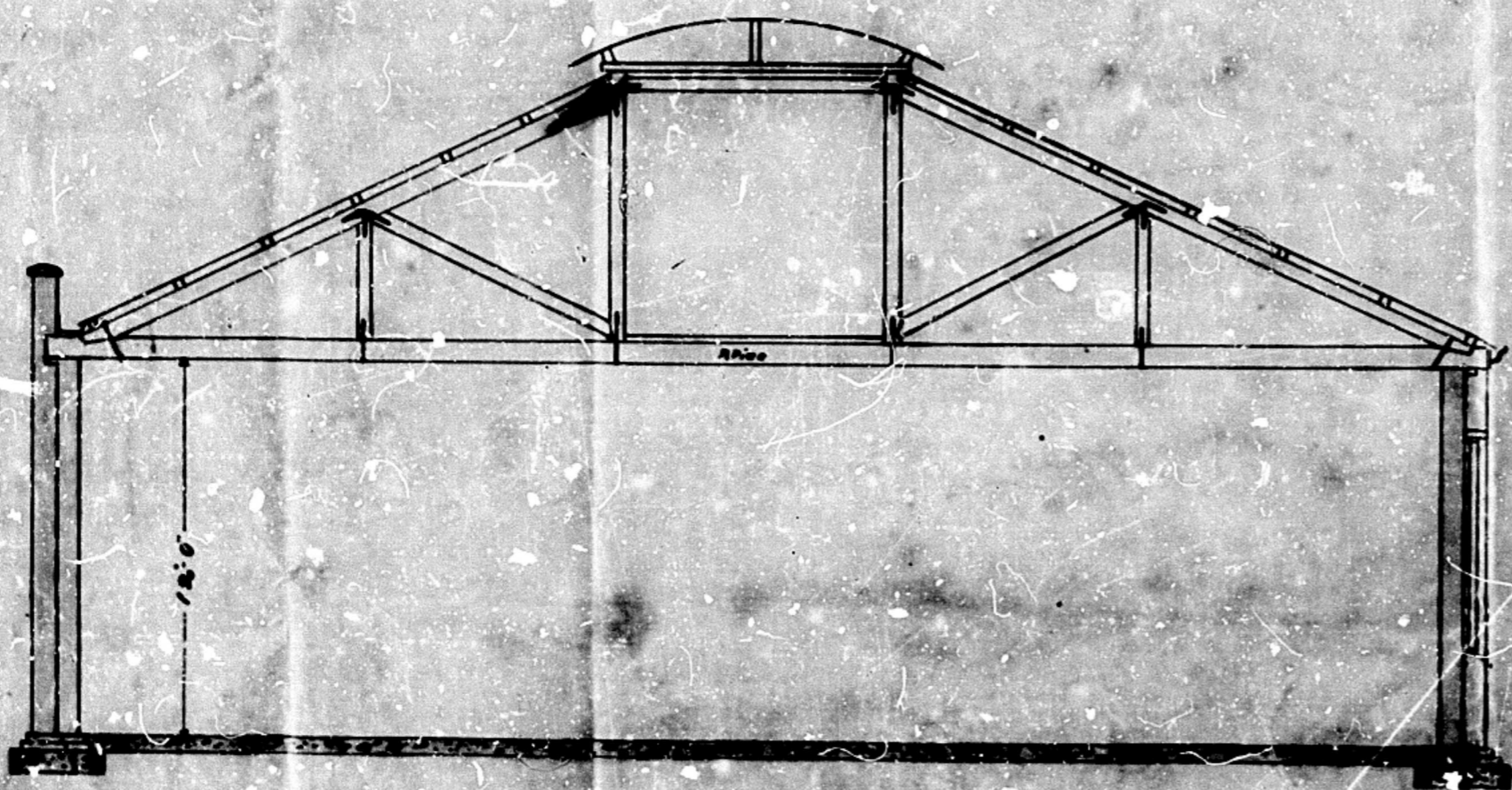
West St



West St
Block Plan Scale 20ft - 1 inch

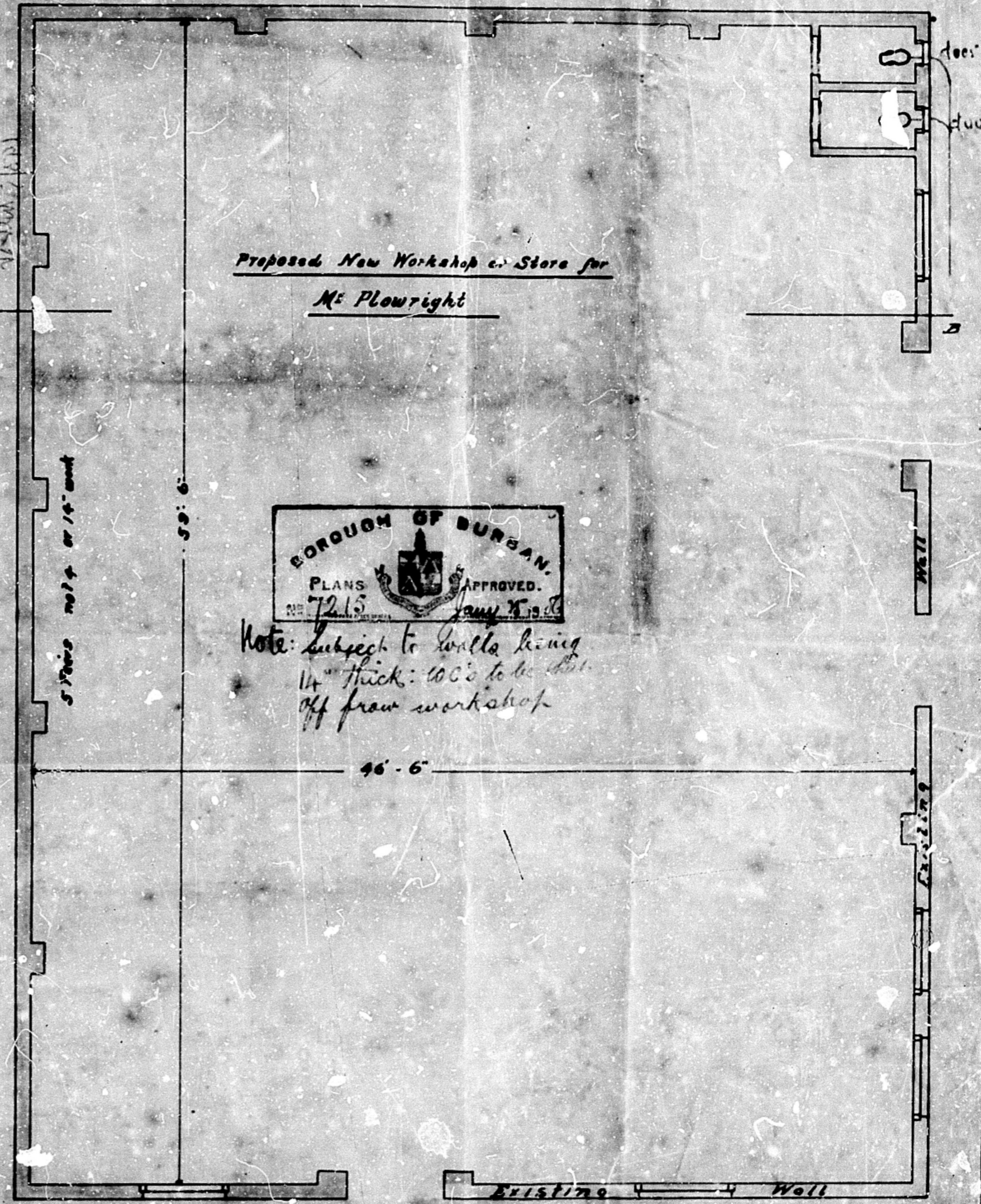


Scale 4ft - 1 inch



Section A-B

JS12



Note: Subject to walls being 14" thick: 600's to be cut off from workshop

46'-6"

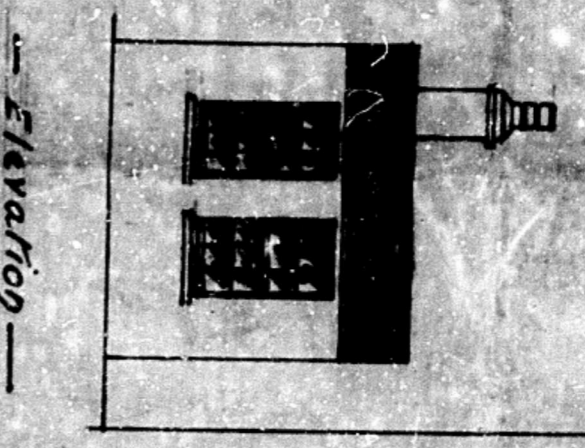
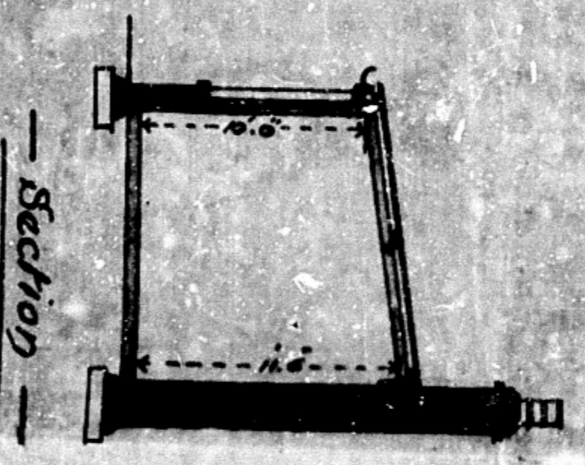
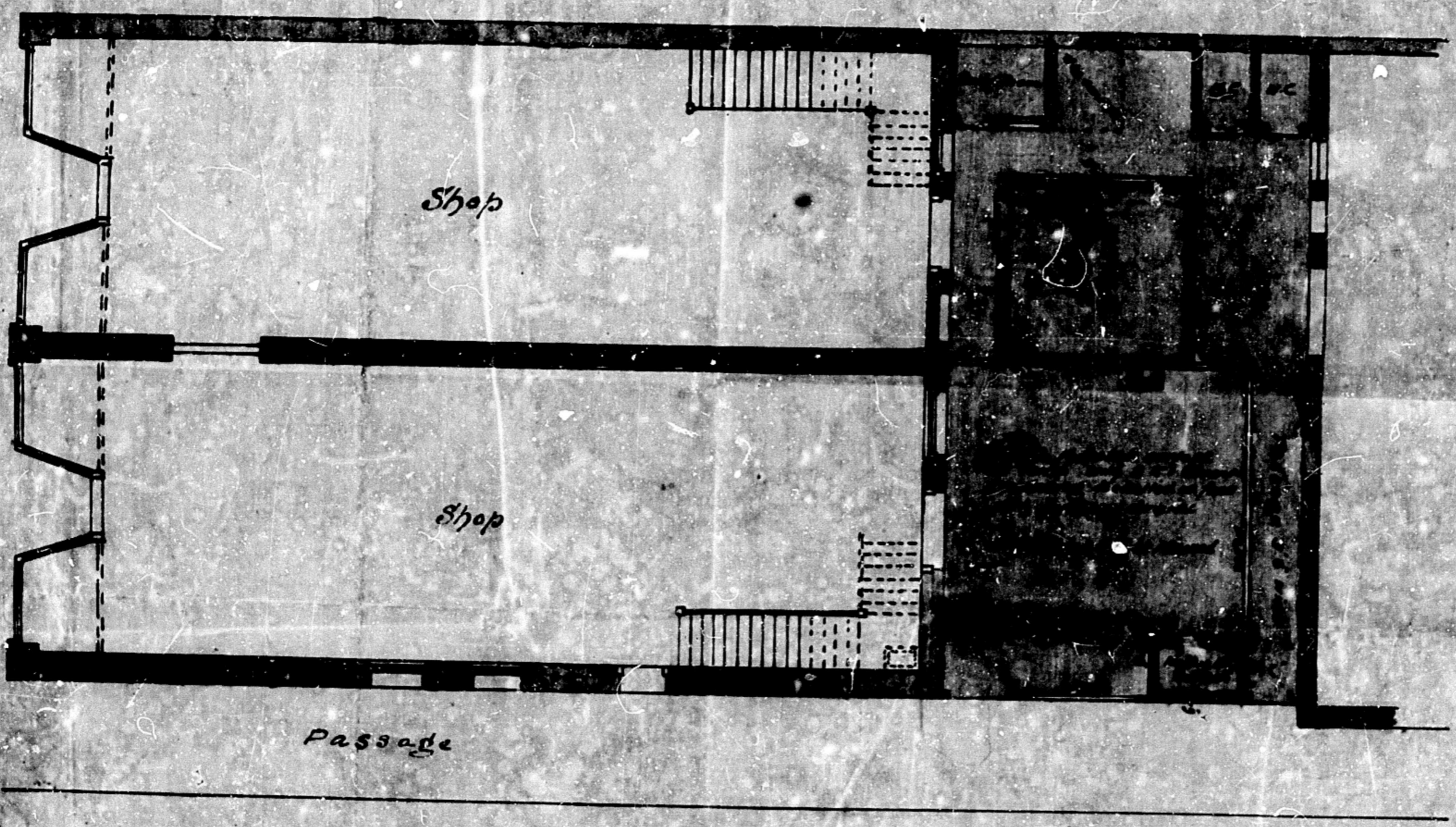
Plan



When the damp course has been laid, work must cease until it has been inspected and approved.

Walter Plowright

— Proposed Alterations to Premises —
 — 93 West SE Durham — Sub⁵⁵C of 9 & Ren¹ of 9 —
 — for R. Hall Esq^r —
 Scale 8 feet to an Inch



193/5 WEST ST

— Ground Floor Plan —

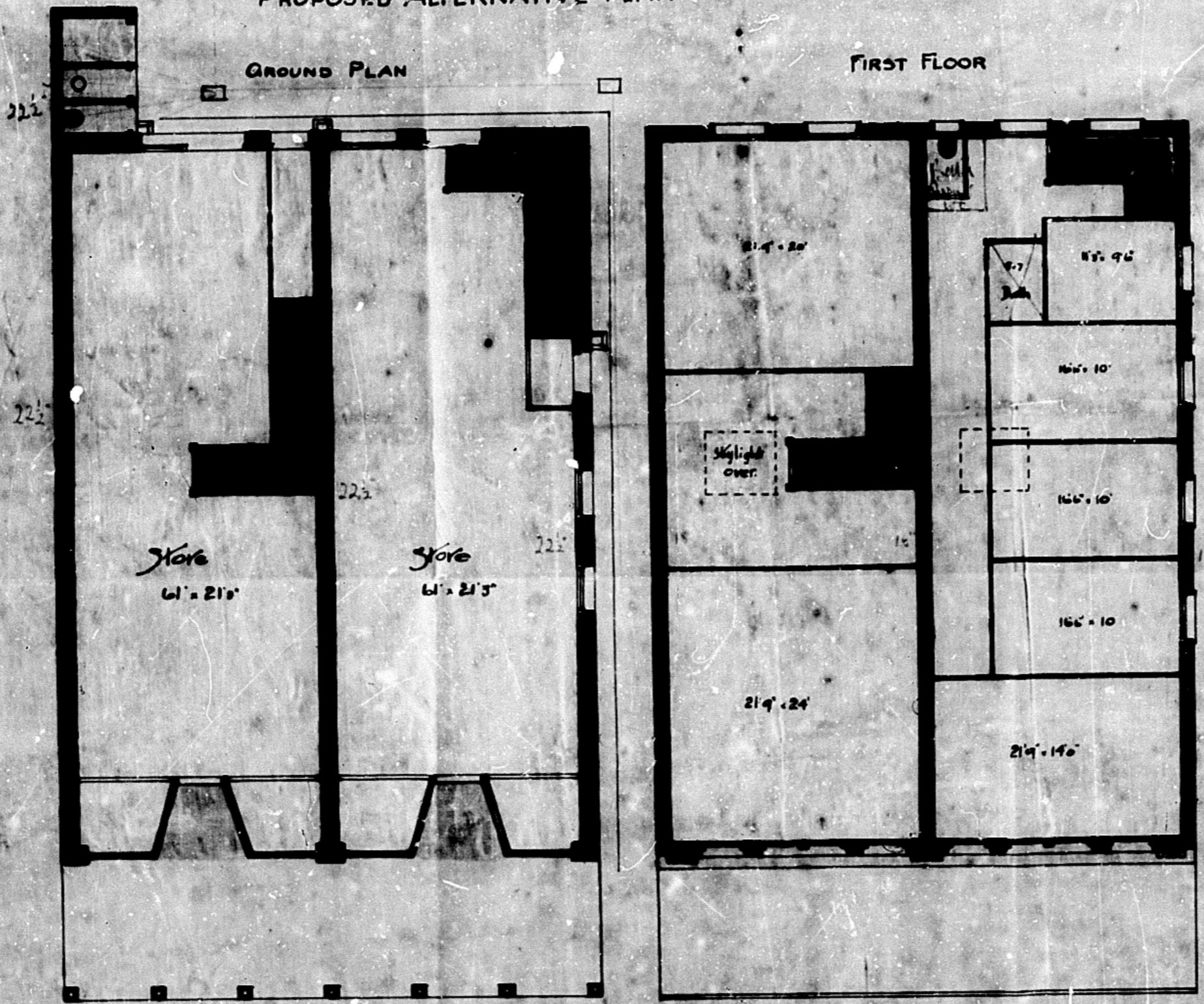
RECORDED
 DURHAM
 PLANS
 No. 8850
 APPROVED
 21. 1 1912
 Return to the place of deposit
 on receipt of this plan



R. D. CROSS Lic. A. 1124
 Architect
 Anglo African House
 Durham
 Dec^r 1912.

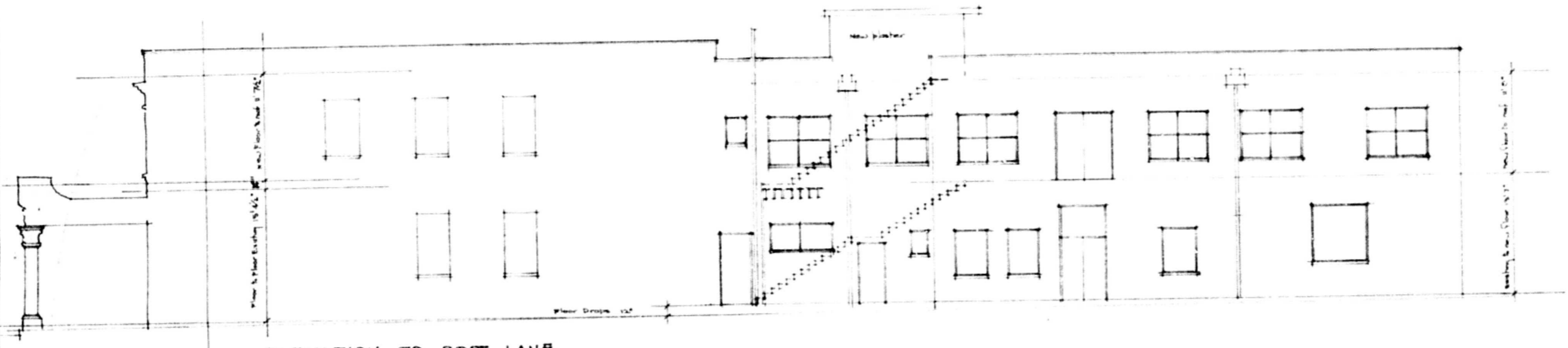
192/195 WEST ST

PROPOSED ALTERNATIVE PLAN



6606
DURBAN CORPORATION
APPROVED *Ball room etc to be rearranged as per
the pt. the ceiling of bedrooms passage on upper
floors to be covered with flat concrete
work as shown.*
Nos 5/0-439

One copy of this plan must
for the perusal
of the Inspector of
Buildings.
Always be kept on the works

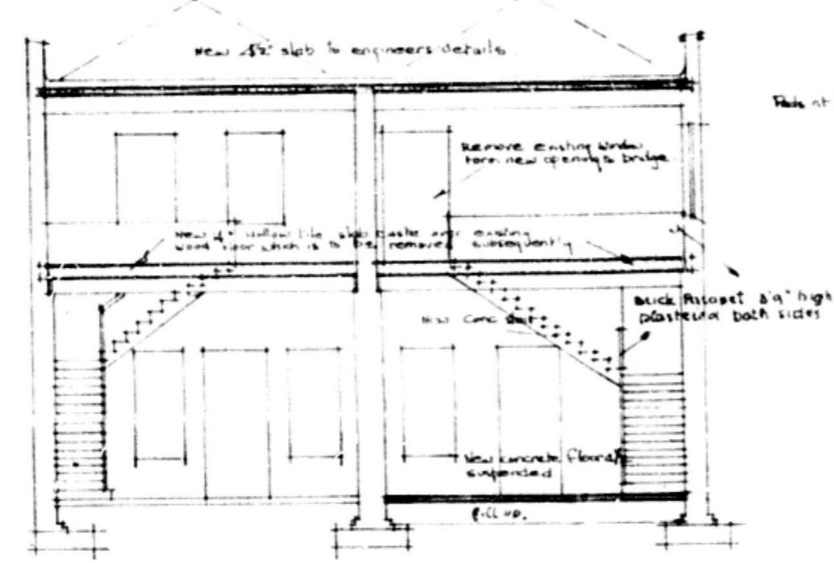


ELEVATION TO ROPE LAKE

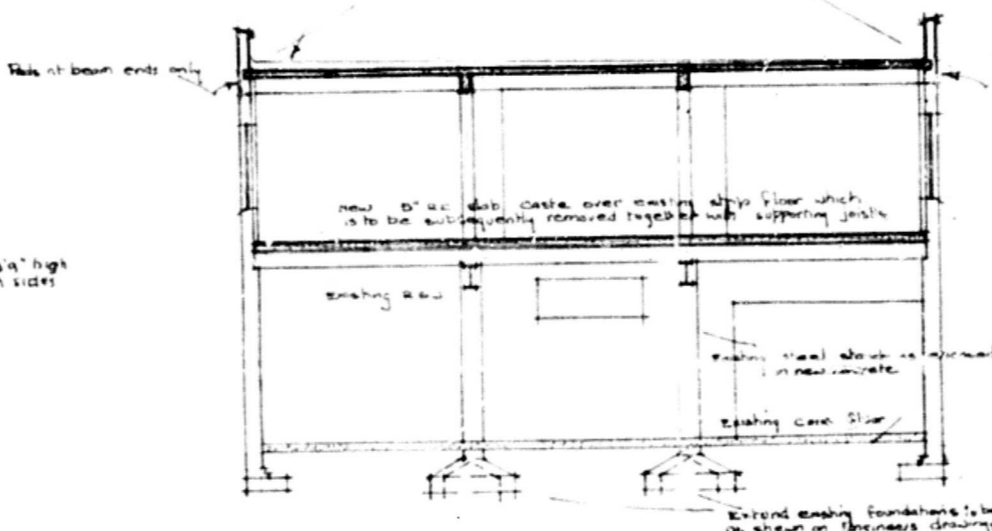
NOTE: FRONT ELEVATION NOT TO BE ALTERED

Roof section of roof to be waterproofed with three layers of two-ply asphaltic sheeting

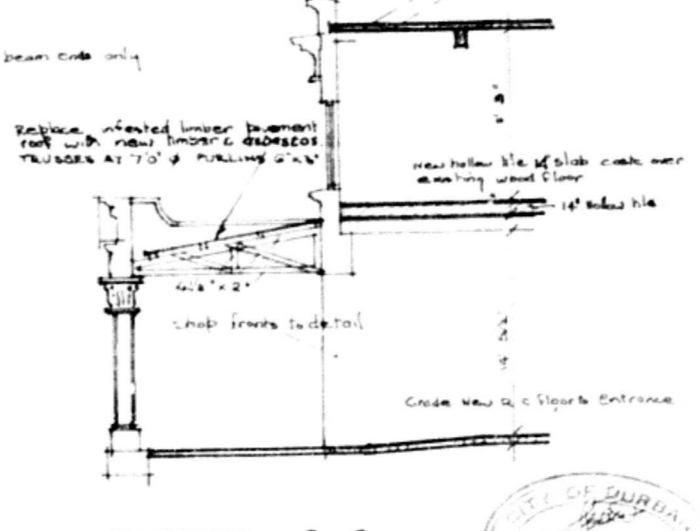
Remove existing roof structure & replace in concrete with 4" reinforced concrete slab supported by 12" x 12" cast-in-place concrete columns. Rebuild and necessary framework after setting for beam grade. See A.C. Engineers' plans.



SECTION A-A



SECTION B-B



SECTION C-C

REPLACEMENT OF TERMITE INFESTED TIMBER WITH CONCRETE.

PROPOSED RENOVATIONS TO PREMISES 193-195 WEST ST FOR E. BERNSTEIN & CO

FROICH & KASS ARCHITECTS
410 REALTY HOUSE 375 SMITH VT

SCALE 8'0" TO 1"
DWG NO. 786/2.



R/C DETAILS R

Applicant to ensure that entrances/exits are not obstructed by Municipal services or trees.

Plans approved requirement of dated **17 Feb 88**

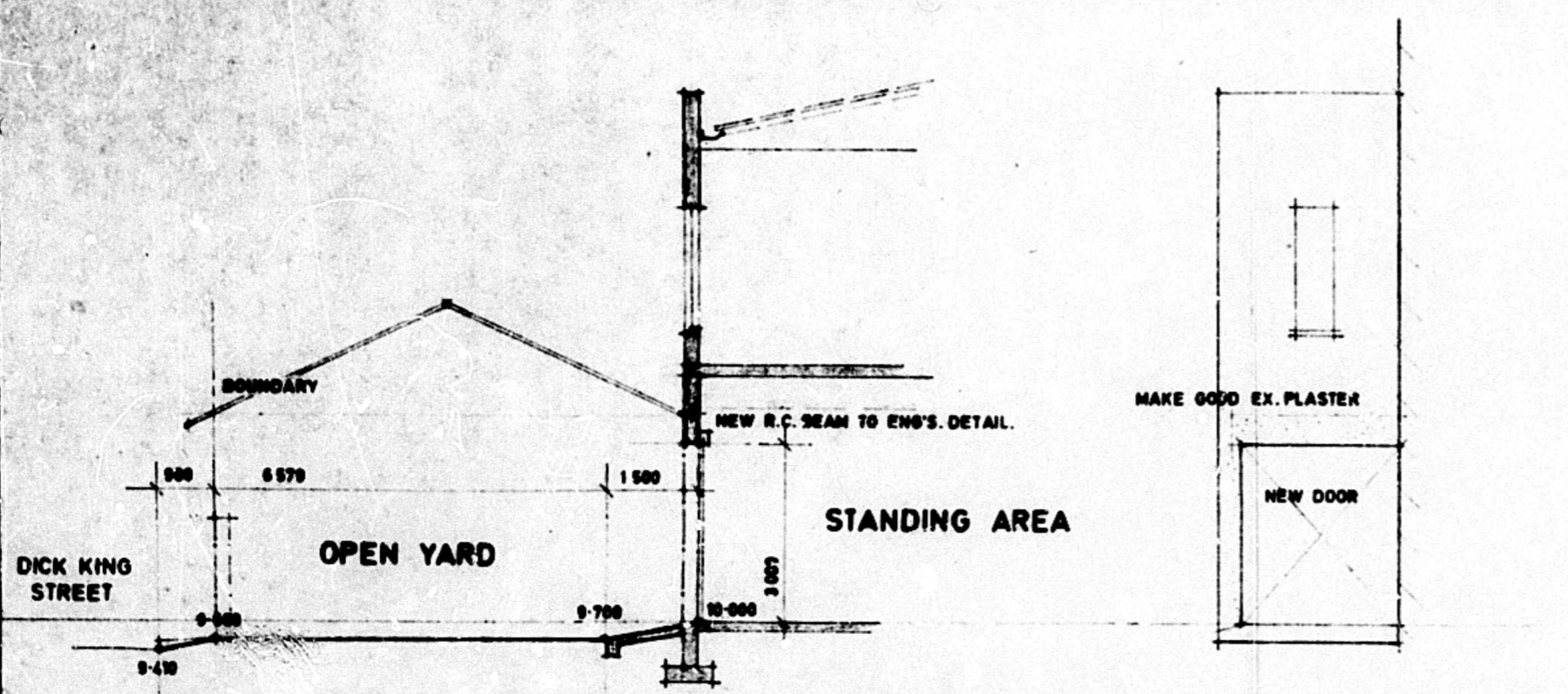
Should these plans be amended the undersigned of the report and the Inspector's report

Date: **19.12.77**

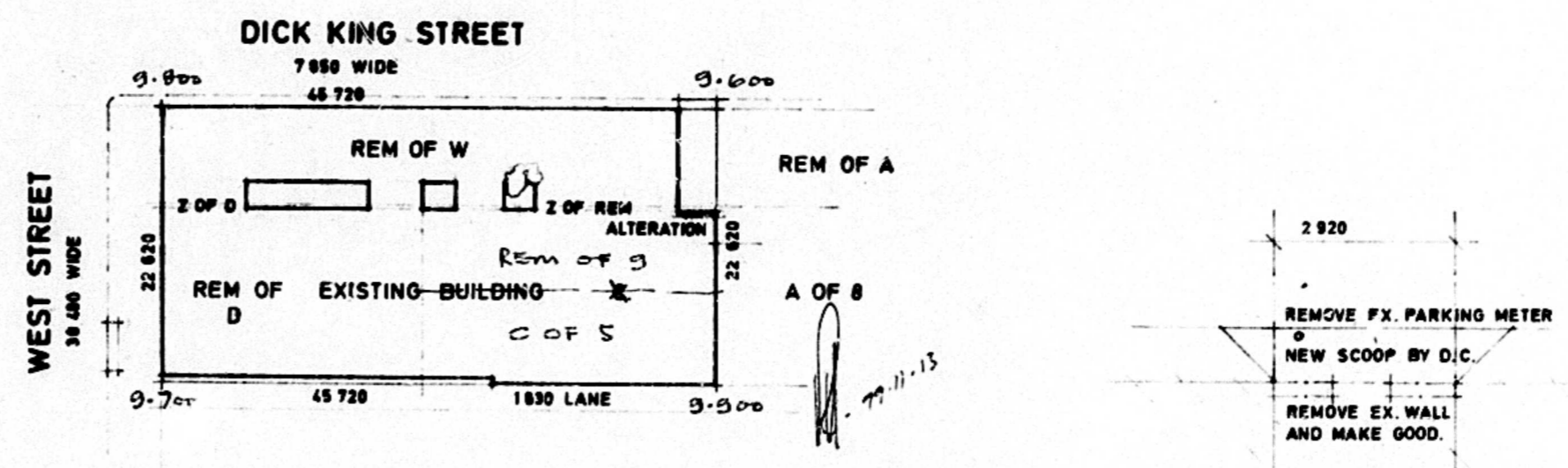
OPS OF FOUNDATIONS OF ANY AT LEAST 0.230 METRES BELOW THE VEHICULAR AND PEDESTRIAN RESERVE BOUNDARY SHALL BE CONFORM TO GRADE AS THE KERB OR ROAD

- (A) ABOVE NEAREST EXISTING KERB
- (B) ABOVE EDGE LEVEL OF TARR
- (C) ABOVE GIVEN PEG
- (D) TO CONFORM TO BACK OF EXIS
- (E) EXISTING ENTRANCE LEVELS IN C
- (F) BELOW TOP OF D.C. CORNER P

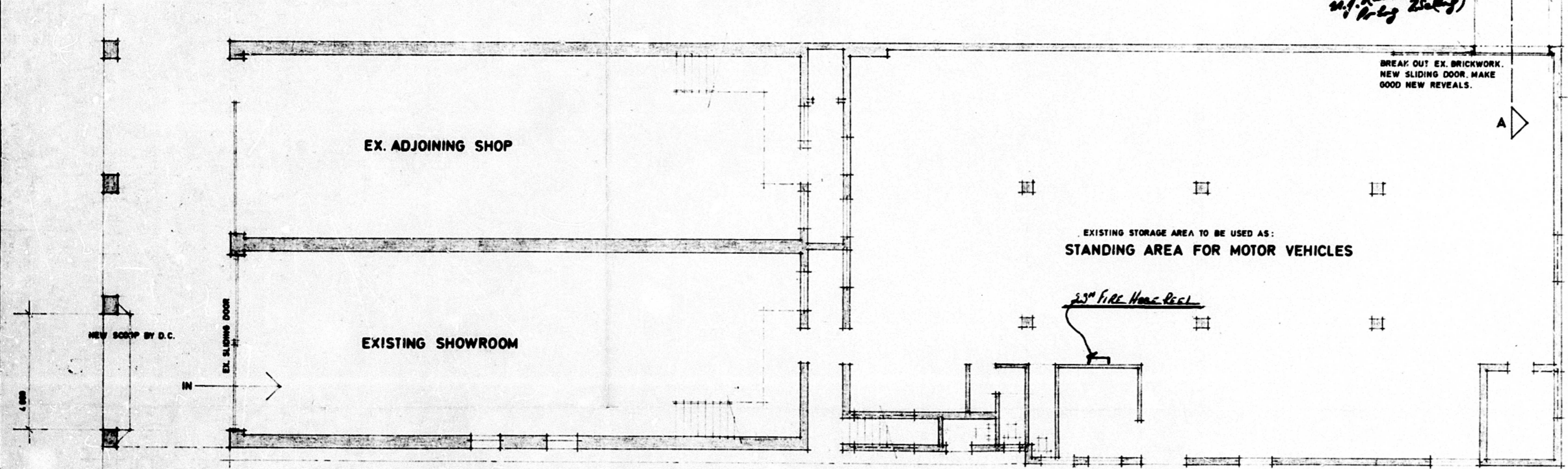
DATE
 Durban Corporation



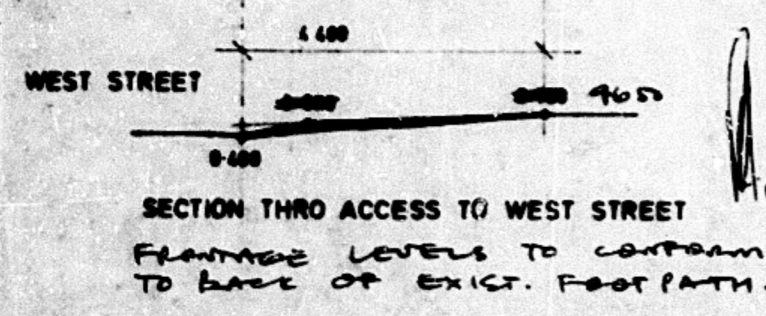
SECTION A-A EAST ELEVATION
 (SECTION THRU NEW ACCESS TO DICK KING STREET)



SITE PLAN
 SCALE: 1 IN 500.



GROUND FLOOR PLAN



PROPOSED ALTERATIONS TO EXISTING BUILDING • 195 WEST STREET, DURBAN • UMBILO FILLING STATION.

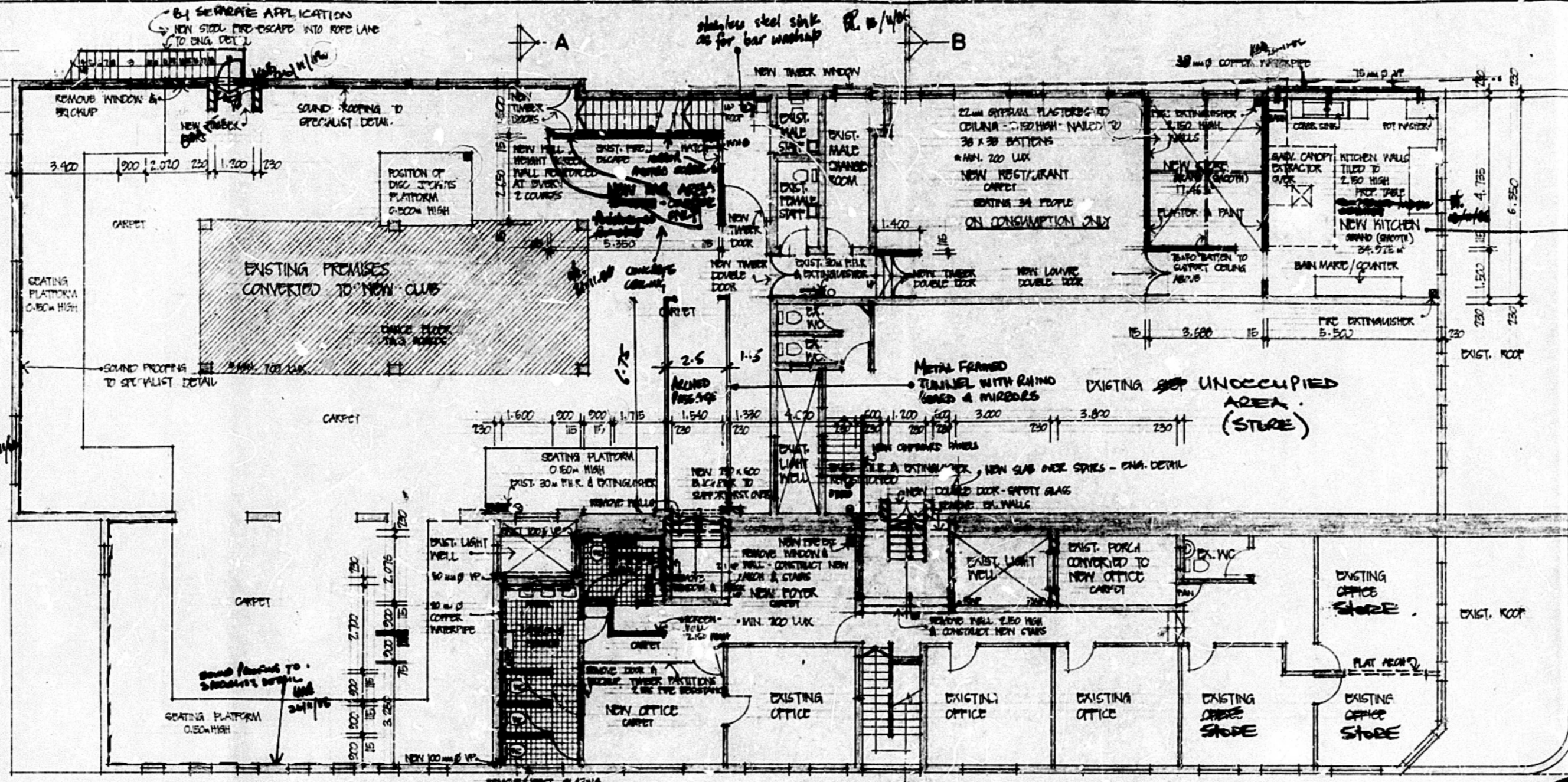
~~REM OF W, REM OF EX. BUILDING, REM OF G AND REM OF D ALL OF 3 OF BLOCK 1 TOWNLANDS. REM OF D OF 3, REM OF 3, C OF S, REM OF W OF 11, 2 OF D OF 3 AND 2 OF REM OF 3 ALL OF L.~~

DRAWN R. HUTSON
 DATE 79 11 07
 SCALE 1 IN 100

*NOTE:
 NEW FIRE-ESCAPE ENCROACHMENT INTO ROAD LAND. REFER TO MR. KRANER, GENERAL ENG. BRANCH

*NOTE:
 AIR CONDITIONING: NEW CLUB RESTAURANT, KITCHEN & BAR
 7.5 LITRES PER SECOND FRESH AIR

AIR CONDITIONING: AS PER PART 0 SCHEME 2 TABLE 1
 KITCHEN/STAIRWAY
 17.5 Litres/sec/4m² of floor area.
 DINING ROOM, BAR AREA, DISCO
 7.5 litres/sec/4m² of floor area.

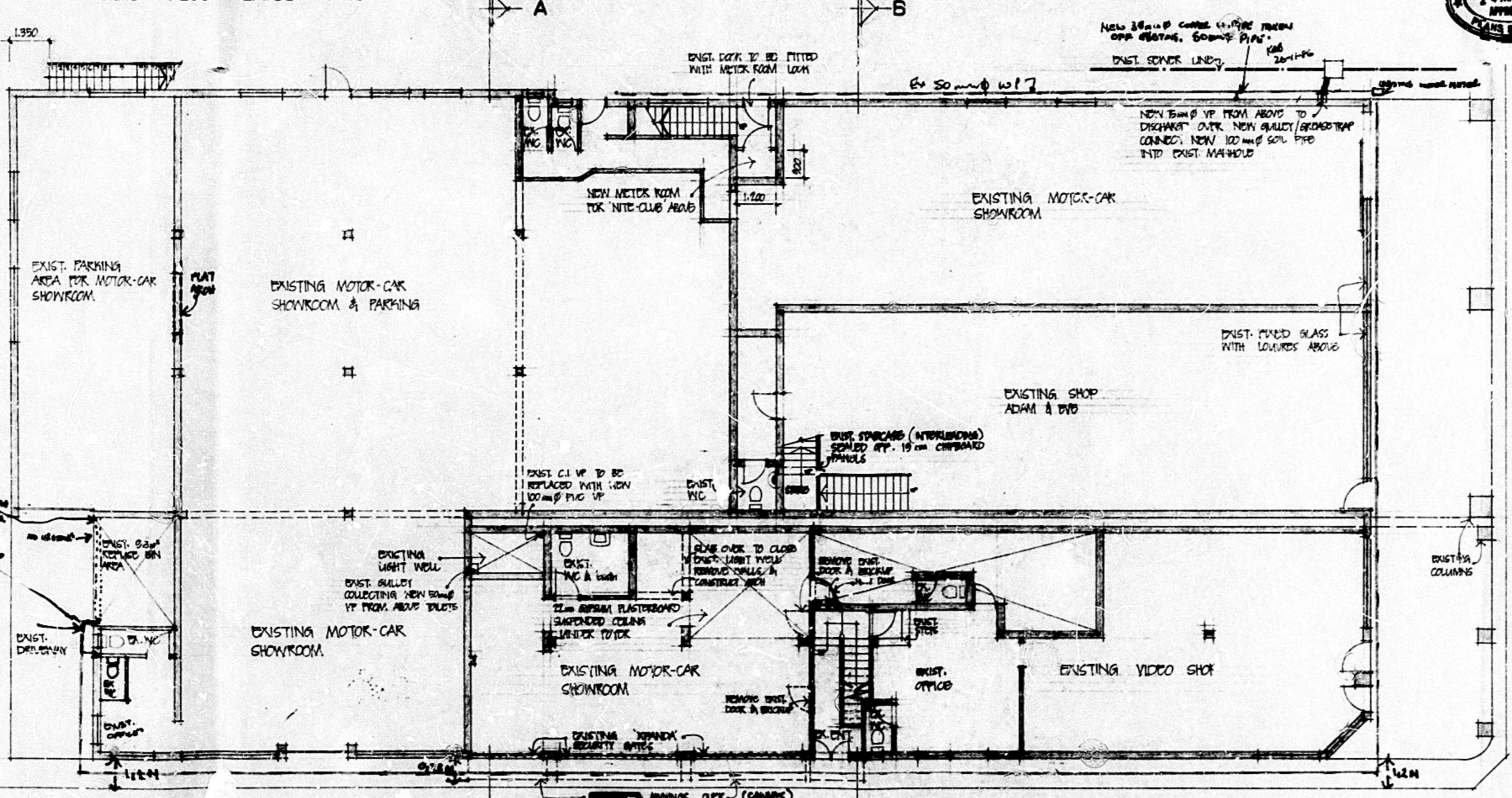


●FIRST FLOOR LAYOUT 1:100

CITY HEALTH DEPT., DURBAN
 PLANS SECTION RECEIVED
 1986-10-16
 Report No. 518



NOTES: FIRE REQUIREMENTS
 PANIC BOLTS TO BE PROVIDED TO ALL ESCAPE DOORS
 ALL DOORS TO BE PROVIDED WITH ILLUMINATED EXIT SIGNS WHICH MUST BE CONNECTED TO STANDBY ELECTRICAL SUPPLY
 MAIN STAIRCASES TO BE FITTED WITH CLASS 3 CARPET
 FLOOR TO BE FITTED WITH CLASS 3 CARPET
 NEW 22mm THICK GYPSUM PLASTERBOARD CEILING - QUADRONED - TO BE PROVIDED UNDER FLOOR
 FIRE EXTINGUISHERS TO COMPLY WITH N.B.R. 74
 BUILDING TO BE EVACUATED IN THE EVENT OF A POWER FAILURE



●GROUND FLOOR LAYOUT 1:100

Architects: Apatheke
Wynand Claassen & Smuts-Erasmus

Suite 301 Art Centre, 44 Albany Grove 44, 4000
 P.O. Box 4003 Postbus, Durban
 Telephone: 3045326

Client: **MR HOWARD LOVE**

Project: **PROPOSED ADDITIONS & ALTERATIONS TO EXIST BLDG & CONVERSION OF PORTION OF EXIST PREMISES TO NEW CLUB AT 191 193 + 195 WEST ST DURBAN**

Drawing: **WORKING DRAWING**

Scale: 1:100	Drawn: B.P.
Date: AUG 86	
Project no: 17186	Drawg no: 02
	Rev:

PLAN SUBMITTED 1/3/90
 CITY SUBMITTED
 SHEET ADDED

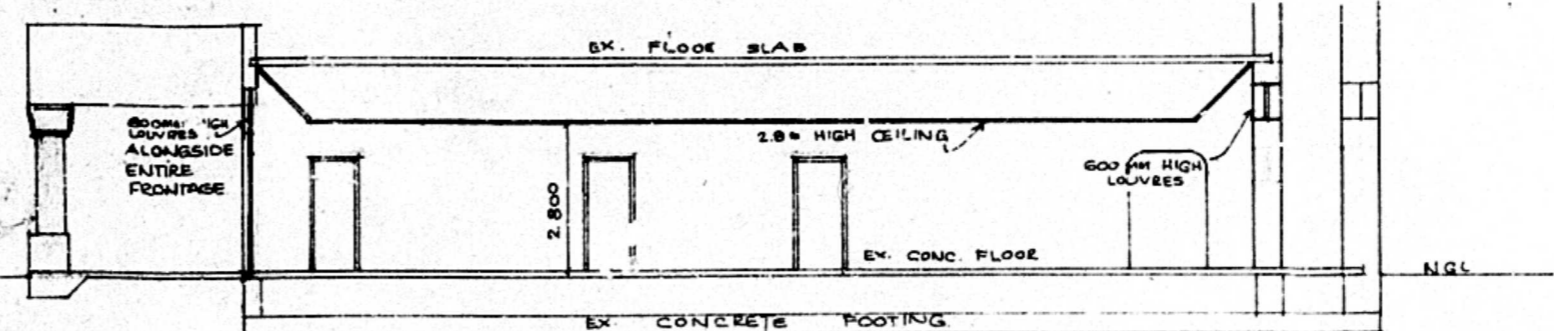
SHEET 1/1 COPY 2

CITY OF DURBAN
 PLAN NUMBER 0719/10/89/4
 APPROVED: D.C. MACLEOD
 CITY ENGINEER
 DATE 5/4/90 PER [Signature]

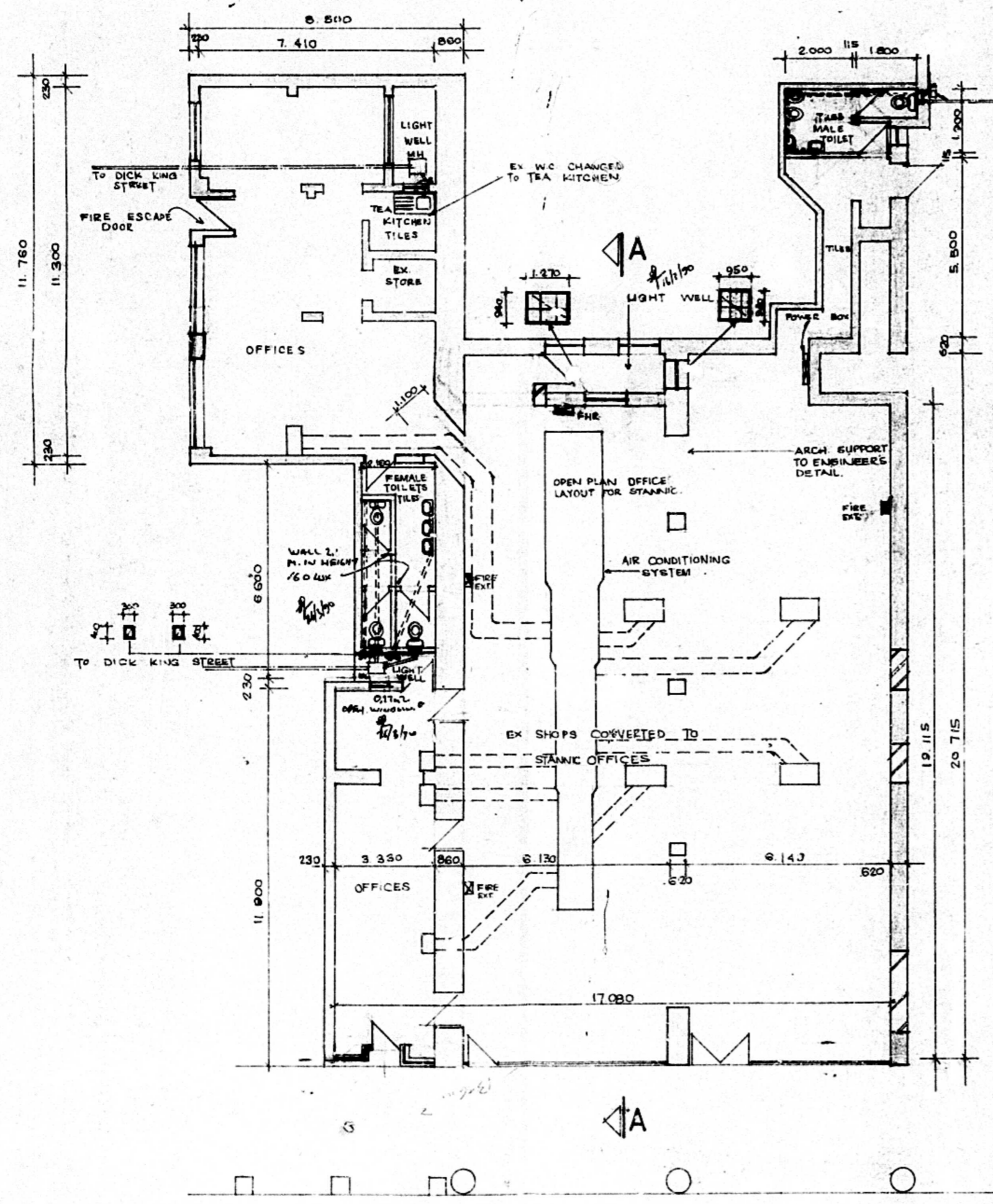


N.E. ELEVATION

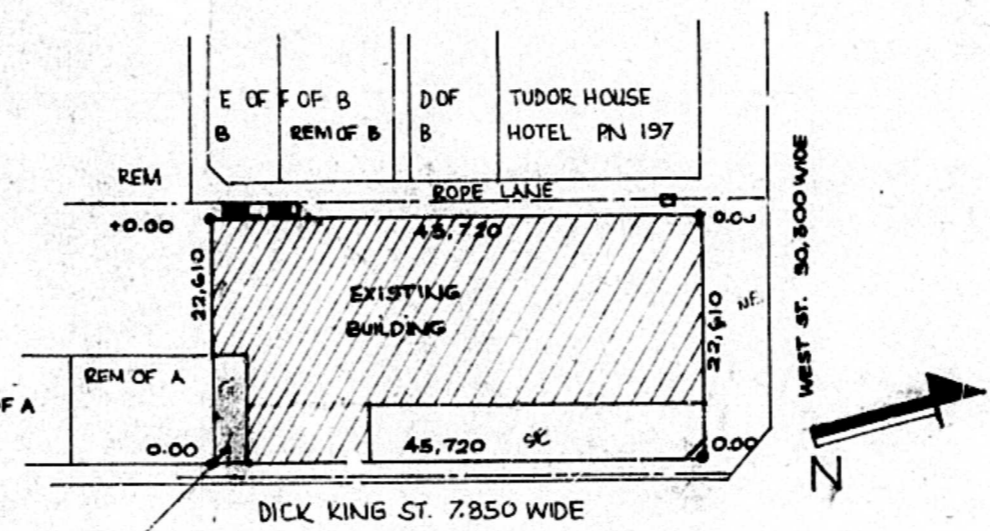
ALL EX. ARCHITECTURAL FEATURES TO REMAIN
 600MM HIGH LOUVRES



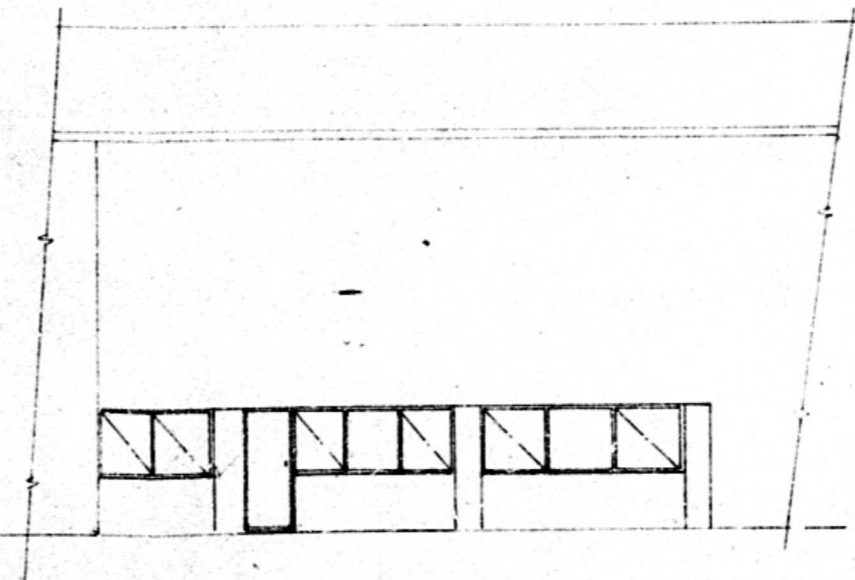
SECTION A-A



GROUND FLOOR PLAN 1:100



EX. BIN AREA KERBED, GRADED & DRAINED INTO A GULLEY WITH A STANDPIPE
 CADASTRAL DESCRIPTION C OF 9 REM OF 3 REM OF 3 REM OF W OF 11 2 OF D OF 3, 2 OF REM OF 3 ALL OF L.
 RATE NO: 8873 02



S.E. ELEVATION

- GENERAL NOTES**
- ALL FLOORS TO OFFICE AREAS TO BE BROUGHT UP TO LEVEL OF 2ND P 195 BE CLEANED UP AND LEFT SUITABLE FOR CARPET TILES
 FLOORS TO PUBLIC AREA TO HAVE FULL BODY CERAMIC TILES
 FLOORS TO NON-CLERICAL AREAS TO HAVE 2.5MM VINYL TILES
 - WALLS TO BE CLOTH-BACKED WIRAL VINYL IN OFFICE AND PUBLIC AREAS. TOILETS TO BE TILED TO 1.350. WALLS ELSEWHERE ACRYLIC PVA
 - CEILINGS TO BE SUSPENDED EXPOSED 1200 x 600 MINERAL FIBREUSE ALLOW FOR LIGHT FITTINGS & AIR COND OUTLETS.
 - LIGHT FITTINGS TO BE 1200 x 600 LOW BRIGHTNESS TO GIVE 550 LUX CLARE FREE AT DESK HEIGHT. LIGHTS TO TOILETS TO BE BOWL FITTINGS IN FOREWED PORCELAIN GALLERY
 POWER AND TELEPHONE WIRING AS SHOWN ON ELECTRICAL LAYOUT. PROVIDE MAIN BOARD ADEQUATE FOR PLUGS, GETSEERS AND AIR-CONDITIONING
 - ALL AREAS TO BE FULLY AIR-CONDITIONED. MAKE AND LOCATION OF PLANT AND TRUNKING TO BE APPROVED PRIOR TO INSTALLATION DESIGN ON OUTSIDE WET BULB 29.2 DRY " 25.6
 INSIDE TEMP. 22.2 ± 0.5°
 NO. OF AIR CHANGES AS N.B.R.
 - SHOPFRONTS AND SUBROUNDS TO BE RENEWED AND CONFORM TO STANNIC CORPORATE DESIGN
 - PROVIDE TEA KITCHEN AND STORAGE FACILITIES
 - PROVIDE ESCAPE DOORS TO STANNIC STANDARDS TO DICK KING STREET AND ROPE LANE
 - INDICATE LOCATION OF MAIN SWITCH BOARD.
 - FIRE NOTES:
 EMERGENCY LOCKS FITTED TO FIRE ESCAPE DOORS TO COMPLY WITH NBR TT19 SIGNAGE TO COMPLY WITH NBR TT29 AND TT32
 FIRE HOSE REEL TO COMPLY WITH NBR TT33 AND TT4
 FIRE EXTINGUISHERS REQUIRED TO COMPLY WITH NBR TT37. FIRE HOSE REEL TO BE FITTED WITH 50mm HOSE PIPE

A. As certified on the Application Form, the author of the plan is responsible for:
 (1) showing on the application drawings:
 (a) the correct level of entry into EC sewers, rain and/or stormwater or discharge points;
 (b) the type of foundation of any structure works at a minimum depth of 0.300 metres below finished level;
 (2) showing no air movement over EC services or EC underground services.
 B. Percentage levels are:
 (1) to conform to the back of the constructed sidewalk, or
 (2) to be calculated by the use of the following formula:
 $P = \frac{E - D}{L} \times 100$
 (where P = Percentage level, E = level of a line of horizontal top, and D = distance in metres between edge of road kerbside and road towards boundary)
 C. A concrete beam at the end of a structure level is to be provided at each compartment at the same grade as the kerb or road.
 D. No change in level over EC services or E.T. underground services is permitted without the prior written approval of the City Engineer.

"It should be noted that this plan has been approved on the basis of information thereon."

PROPOSED ALTERATION OF EXISTING BUILDING FOR STANNIC OFFICES AT 191/195 WEST STREET DURBAN

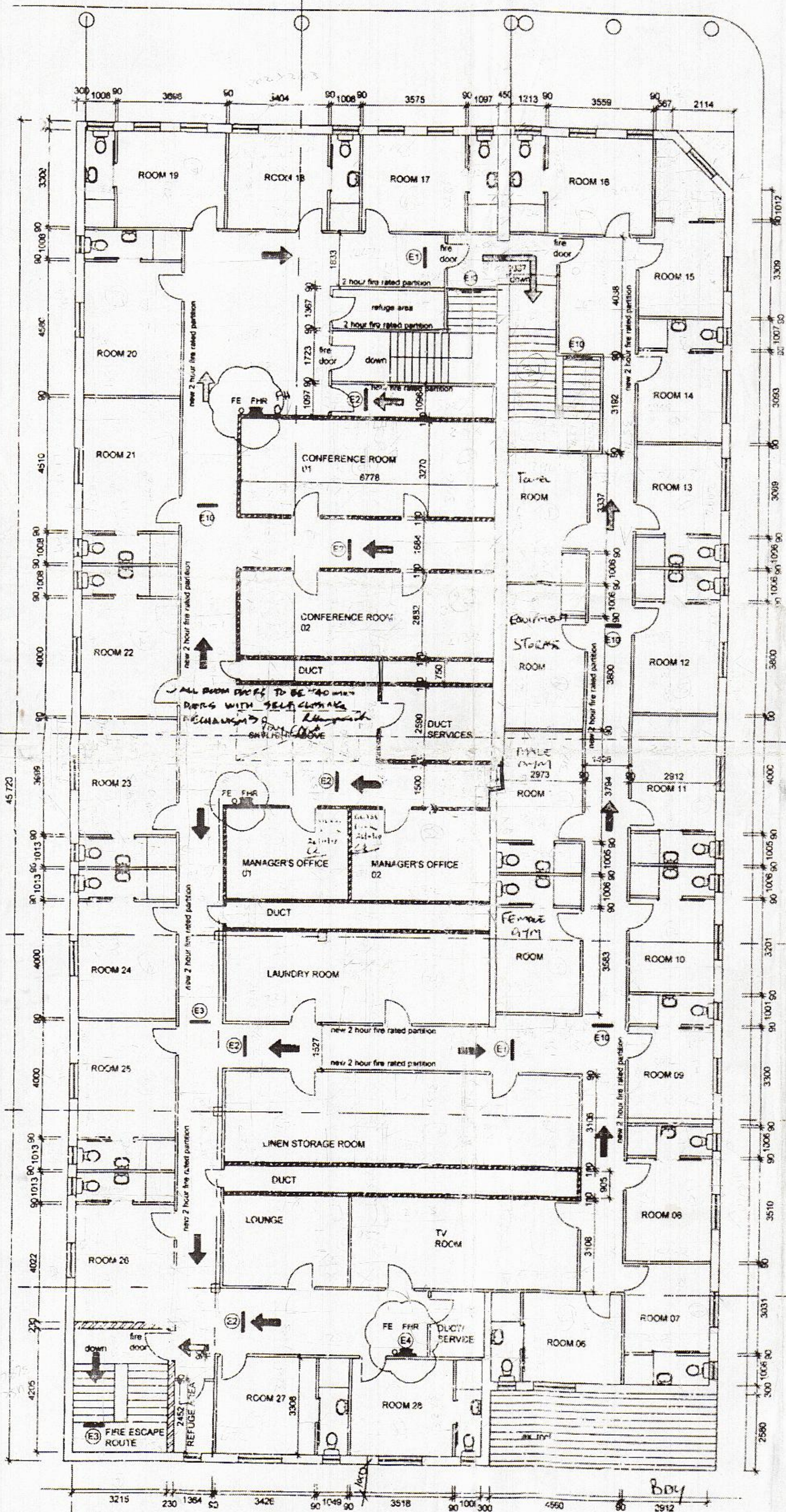
CITY HEALTH DEPT., DURBAN
 PLANS SECTION
 RECEIVED 15 MAR 1990

SG PLANNING AND DRAWING SERVICE
 16 SUNVIEW ROAD
 BAYVIEW
 TEL : 210036 / 430025
 DRAWN : S.G. [Signature]

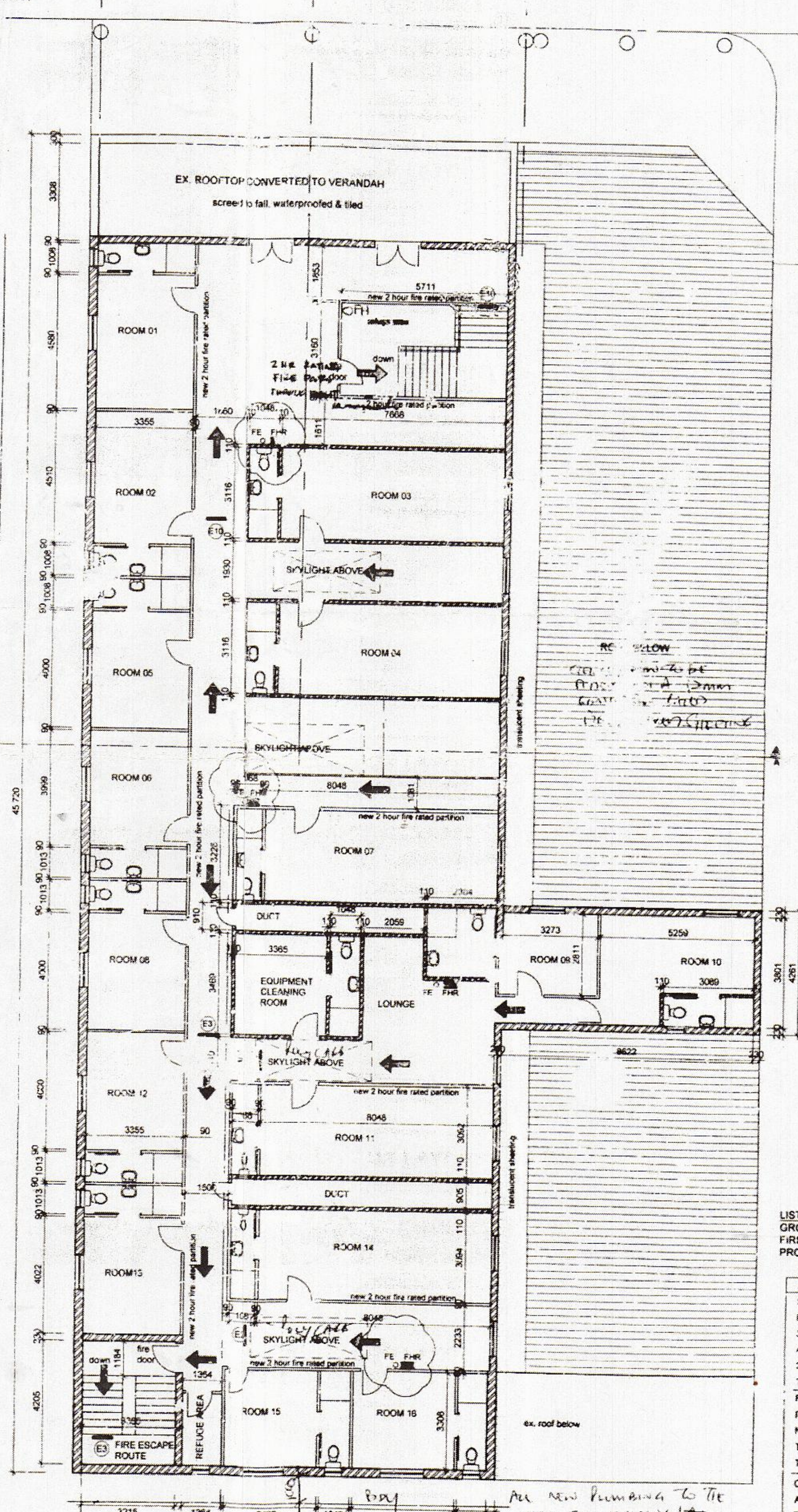
DR PIXLEY KASEME STREET

DR PIXLEY KASEME STREET

NORTH



FIRST FLOOR LAYOUT



SECOND FLOOR LAYOUT

- NOTES:**
- FOUNDATIONS:** ALL FOUNDATIONS AS PER SECTION NOTES AND TO ENGINEERS DETAILS
 - SURFACE BED:** ALL SURFACE BEDS AS PER SECTION NOTES
 - ROOF CONSTRUCTION:** AS PER NOTES CONNECTION
 - STORMWATER GOODS:** RAINWATER DOWN PIPE TO DISCHARGE OVER PATHWAY AS INDICATED ON DRAWINGS
 - LOCAL AUTHORITY:**
 - 1 THE OWNER IS RESPONSIBLE FOR ALL LOCAL AUTHORITY FEES & FEES
 - 2 THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY CONNECTIONS TO SERVICES
 - 3 WHERE THE LOCAL AUTHORITY OR GOVERNMENT REGULATIONS REQUIRE MORE STRINGENT SPECIFICATION THAN SHOWN HEREIN, THEY ARE TO BE FOLLOWED WITH PRIOR CONSENT OF THE OWNER
 - 4 THE CONTRACTOR IS TO INSPECT THE OFFICIAL APPROVED COPIES OF THE DRAWING TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT
 - 5 ALL NBR & SABS STANDARDS & SPECIFICATIONS ARE TO BE ADHERED TO AS A MINIMUM & GOOD CONSTRUCTION PRINCIPLES
 - 6 ALL LEVELS ARE APPROXIMATE

- NOTES TO OWNER:**
- 1 THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT THE CHANGES TO THE PLAN & SPECIFICATIONS AFTER OFFICIAL APPROVAL ARE LIKELY TO INVALIDATE THAT APPROVAL
 - 2 THE AUTHOR OF THE PLAN IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE APPROVED COUNCIL DRAWINGS

- GENERAL:**
- 1 ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE PRIOR TO ANY COMMENCEMENT OF WORK
 - 2 ALL BUILDING METHODS & MATERIALS TO COMPLY WITH THE SANS 10400
 - 3 THE WORKS TO BE SET OUT FROM APPROVED LOCAL PLANS ONLY
 - 4 DRAWINGS ARE NOT TO BE SCALED
 - 5 FOUNDATIONS NOT TO ENCROACH OVER BOUNDARIES

- FIRE EQUIPMENT SIGNAGE:**
- Signage to be photoluminescent, fixed on wall or hung on frame as per Architects specifications

- SANS 10008 FIRE PROTECTION - BUILDING CLASSIFICATION - H1**
- 4.2 Safety Distances
 - 4.3 Different occupancies in a building
 - 4.4 Division walls
 - 4.5 Fire Protection
 - 4.6 Fire Protection
 - 4.7 Fire stability of structural elements or components
 - 4.8 Fire stability of structural elements or components
 - 4.9 Partition walls and partitions
 - 4.11 Raised access and suspended floors of combustible material
 - 4.13 Ceilings
 - 4.14 Floor covering
 - 4.15 Internal finishes
 - 4.16 Provision of escape routes
 - 4.17 Exit doors
 - 4.18 Feeder routes
 - 4.19 Emergency routes
 - 4.20 Dimension of components of escape routes
 - 4.21 Width of escape routes
 - 4.23 Stairways and other changes of level along escape routes
 - 4.24 Ventilator of stairways in an emergency route
 - 4.25 marking and signposting
 - 4.30 Provision of emergency lighting
 - 4.31 Fire detection and alarm systems
 - 4.32 Provision and maintenance of fire-fighting equipment, installation and fire protection
 - 4.33 Water utilisation for fire-fighting purposes
 - 4.34 Hose reels
 - 4.37 Portable fire extinguishers
 - 4.42 smoke control
 - 4.43 Air-conditioning and artificial ventilation systems
 - 4.50 Parking garages
 - 4.54 Access for fire-fighting and rescue purposes
 - 4.55 Presumed fire resistance of building materials and components
 - 4.56 Building Materials

LIST OF ALTERATIONS:

GROUND FLOOR INT. LAYOUT CHANGED
 FIRST FLOOR INTERNAL LAYOUT CHANGED
 PROPOSED SECOND FLOOR ADDED

NOT MORE THAN IS SHOWN IN RESTAURANT

AREA SCHEDULE:

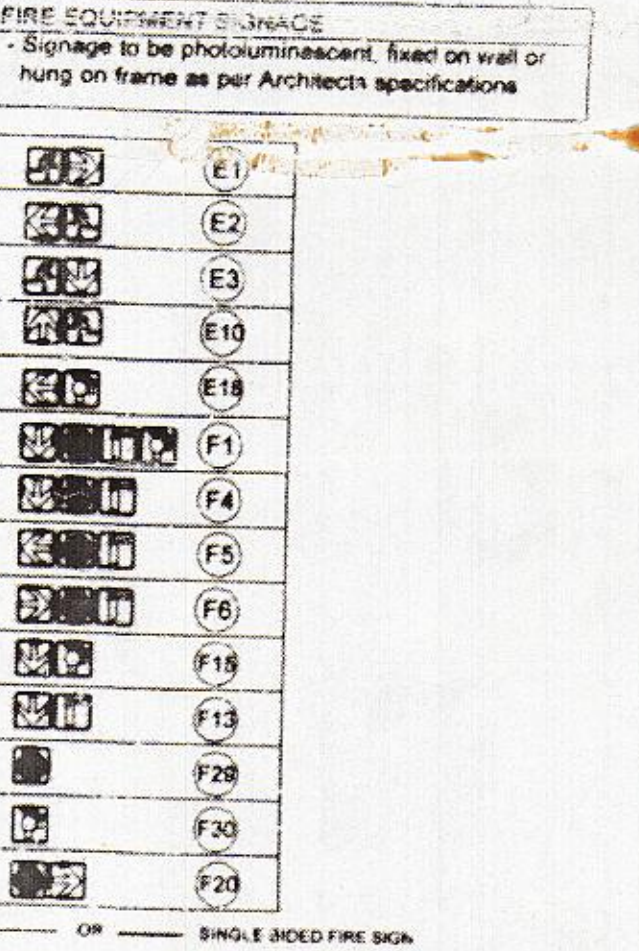
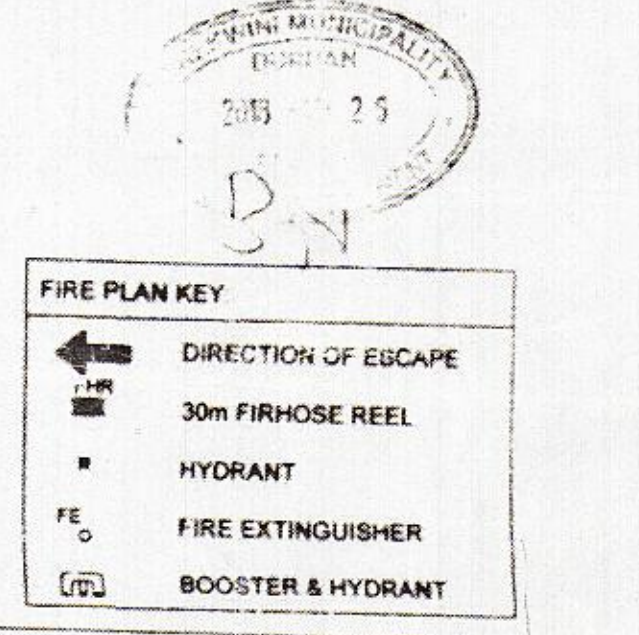
SITE	
R of 11101 Durban	166m ²
3 of 11101 Durban	167m ²
4 of rem R of 1111 Durban	321m ²
2 of rem R of 1114 Durban	348m ²
Total Site Area	1002m ²
FAR	
EXISTING FAR	1073m ²
NEW FAR	655.5m ²
TOTAL FAR	1728.5m ²
TOTAL NEW AEA	655.5m ²
COVERAGE	
ALLOWED COV	100%
EXISTING COV	100%
PARKING	
13 BAYS PROVIDED	
USAGE	

165 07 18

27-11-2018

DICKSON P.A.

27-11-2018



OWNER: ON THE LINE TRADING (PTY)

PROJ. ADDITIONS AND ALTERATIONS FOR:

191-193 PIXLEY KASEME STREET
 PORTION 4 OF REM R erf 11104 Durban
 PORTION 3 OF REM R erf 11101 Durban
 PORTION R OF 11101 Durban

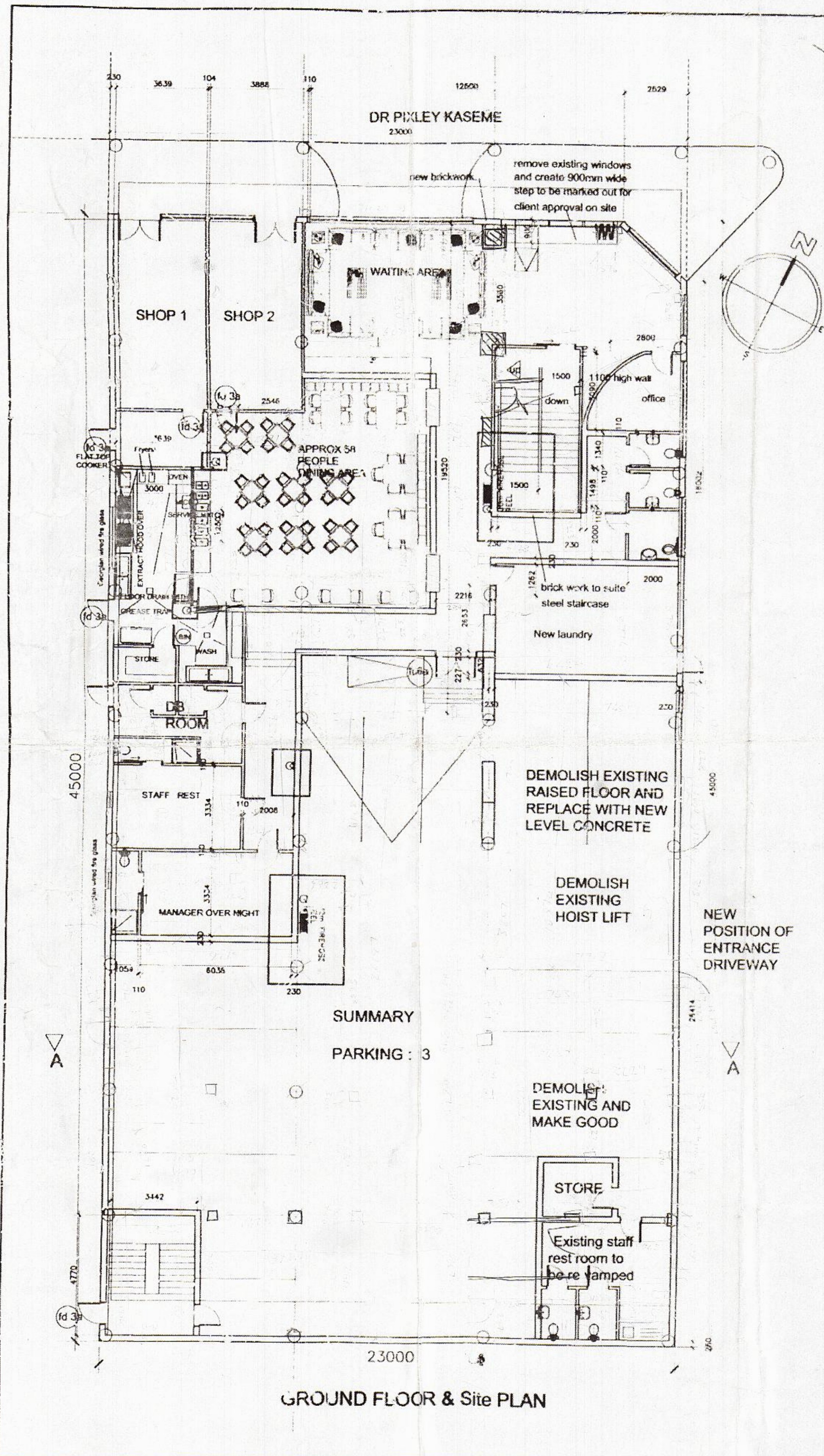
DRAWN BY:

R N PROFESSIONAL CONSULTING SERVICES
 85 PLUMSTEAD CRES
 RESERVOIR HILLS
 DURBAN
 4092
 083 412 1957

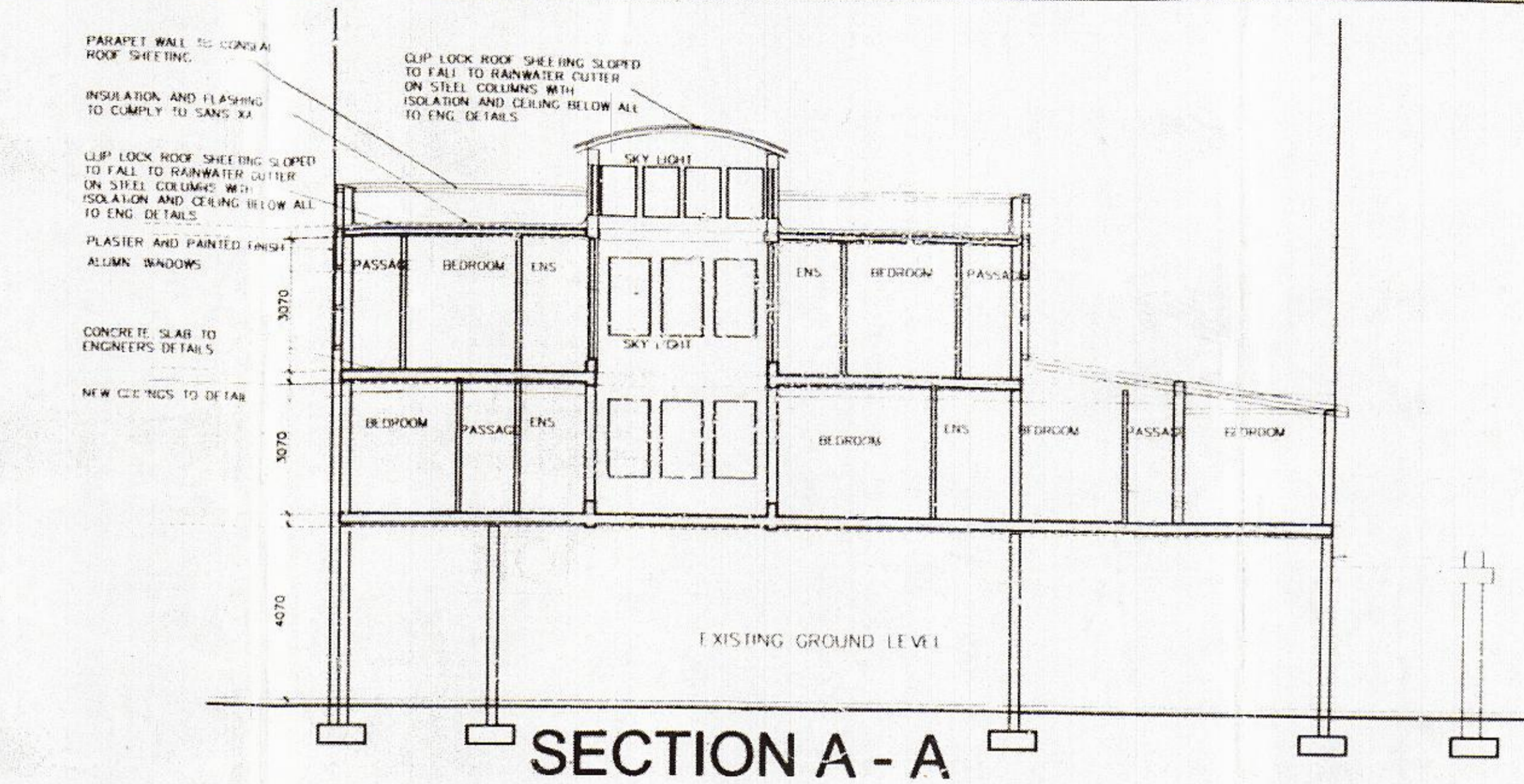
Date: 18.11.17
 Drawn: RL
 Drawing Description: FLOOR PLANS
 Scale: 1:100
 Rate No: 18.11.17
 Draw No: 18.11.17

All walls to underside of floor slabs

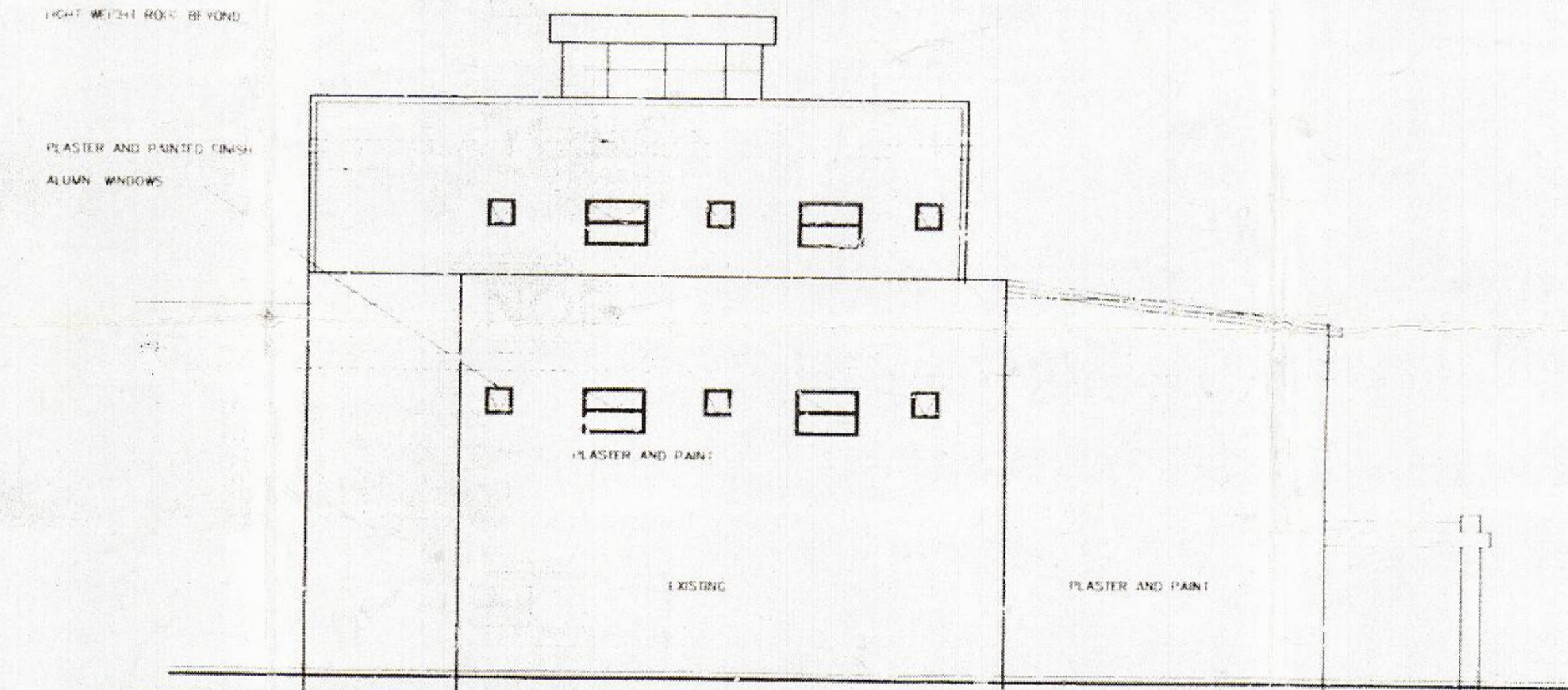
All new plumbing to the main sewer line



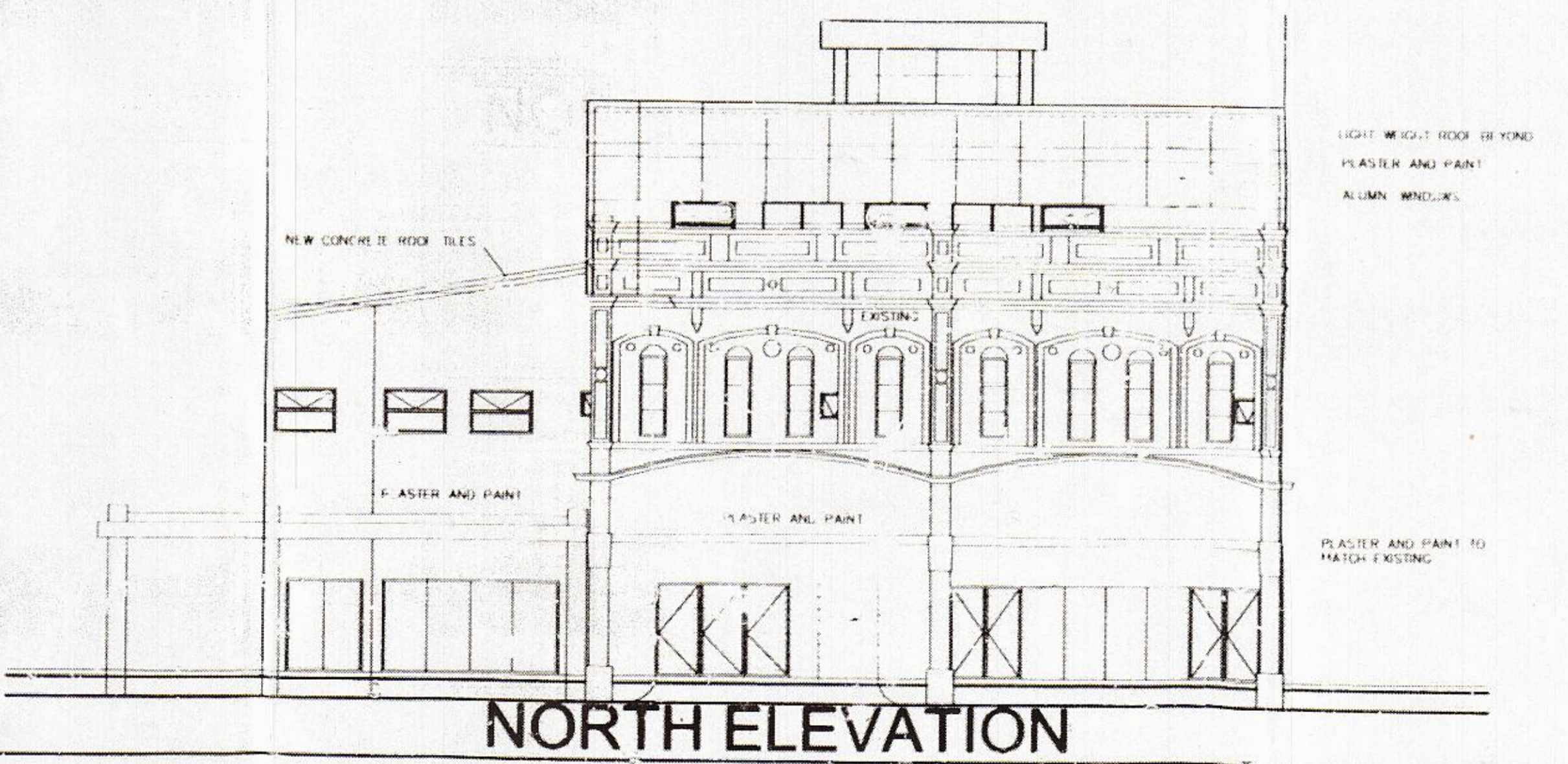
GROUND FLOOR & Site PLAN



SECTION A - A



SOUTH ELEVATION

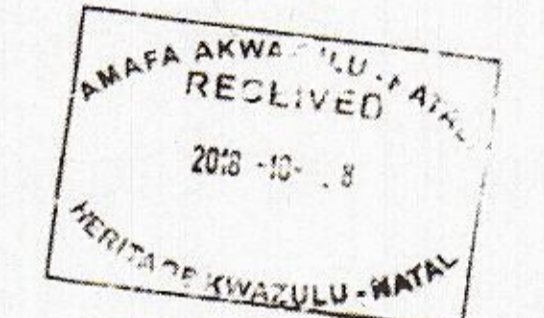


NORTH ELEVATION

GENERAL NOTE
The Contractor is to verify all dimensions & levels on site before commencing work or producing shop drawings. Any discrepancies are to be reported to the Architect immediately.
THIS DRAWING IS SUBJECT TO COPYRIGHT AND MAY NOT BE REPRODUCED OR USED IN ANY MANNER WHATSOEVER WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

NO.	REVISION

165 07 18



DRAWN BY R. N. PROFESSIONAL CONSULTING SERVICES 85 PLUMSTEAD CRES RESERVOIR HILLS DURBAN 4092 083 412 1957	
DATE: 12.11.17	SCALE: 1:100
DRAWING DESCRIPTION: SUBMISSION	
DATE: 12.11.17	DRAWING NO: JB 500 02