

0376-09-90-3

APPROVED SUBJECT TO FOLLOWING CONDITIONS:

THE POOL TO BE FINISHED AS REQUIRED IN ACCORDANCE WITH THE REGULATIONS OF THE NATIONAL BUILDING REGULATIONS PRIOR TO THE POOL BEING FILLED WITH WATER.

APPROVED

ELECT 1894

E.C. MACLEOD

CITY ENGINEER

\*As certified on the Application Form, the author of the plan is responsible for:

(1) showing on the application drawings:  
 (a) the correct level of entry into DC sewers, storm and/or channels (including any necessary manholes);  
 (b) the correct level of any drainage works or any drainage level (noting the level of any drainage works below the finished level);  
 (2) showing no encroachment over DC servitudes or DC underground services.

B. Frontage levels shall:  
 (1) conform to the back of the constructed sidewalk, or  
 (2) to be calculated by the use of the following formula:  
 $EL = E + 0.150 m \cdot D$   
 (where FL = finished level, E = level at edge of finished floor, and D = distance between edges of foot kerbs and road reserve boundary)

C. A concrete beam at the correct (finished level) is to be provided to support the cables at the same grade as the level of road.

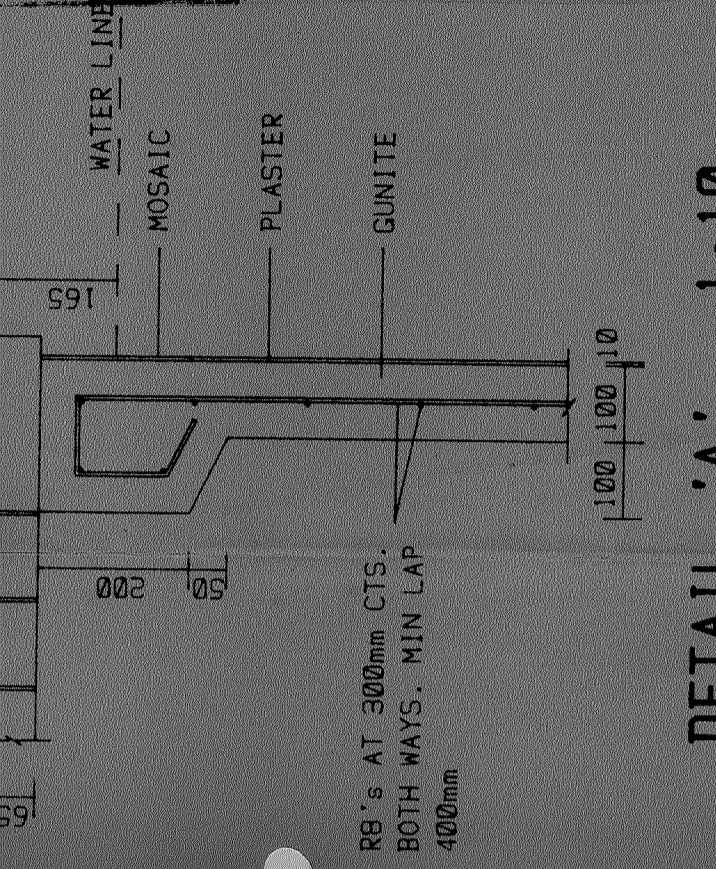
D. No change in level over DC servitudes or DC underground services shall be made without the prior written approval of the City Engineer.

Any person undertaking building operations in accordance with this plan is required to ascertain from the City Electrical Engineer the location of underground cables in the vicinity of the proposed works prior to the commencement thereof.

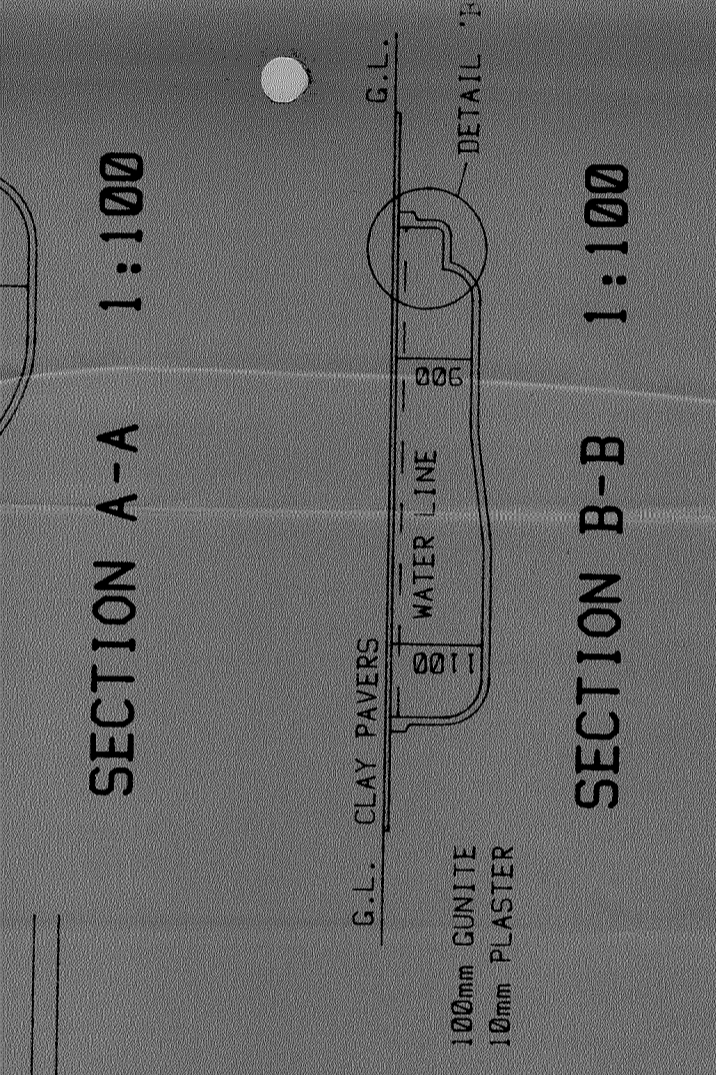
IMPORTANT

THE APPLICANT IS RESPONSIBLE FOR ASCERTAINING THE POSITION OF ALL POST OFFICE CABLES OR OTHER PLANT AND WILL BE LIABLE FOR ANY COST ARISING DUE TO DAMAGE TO OR THE NEED FOR RELOCATION OF SUCH PLANT ARISING OUT OF WORK INDICATED ON THIS APPLICATION.

"It should be noted that this plan has been approved on the basis of information thereon"



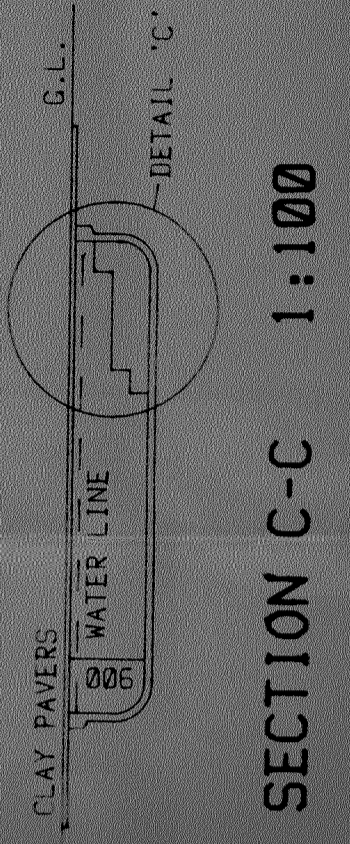
DETAIL 'A' 1:100



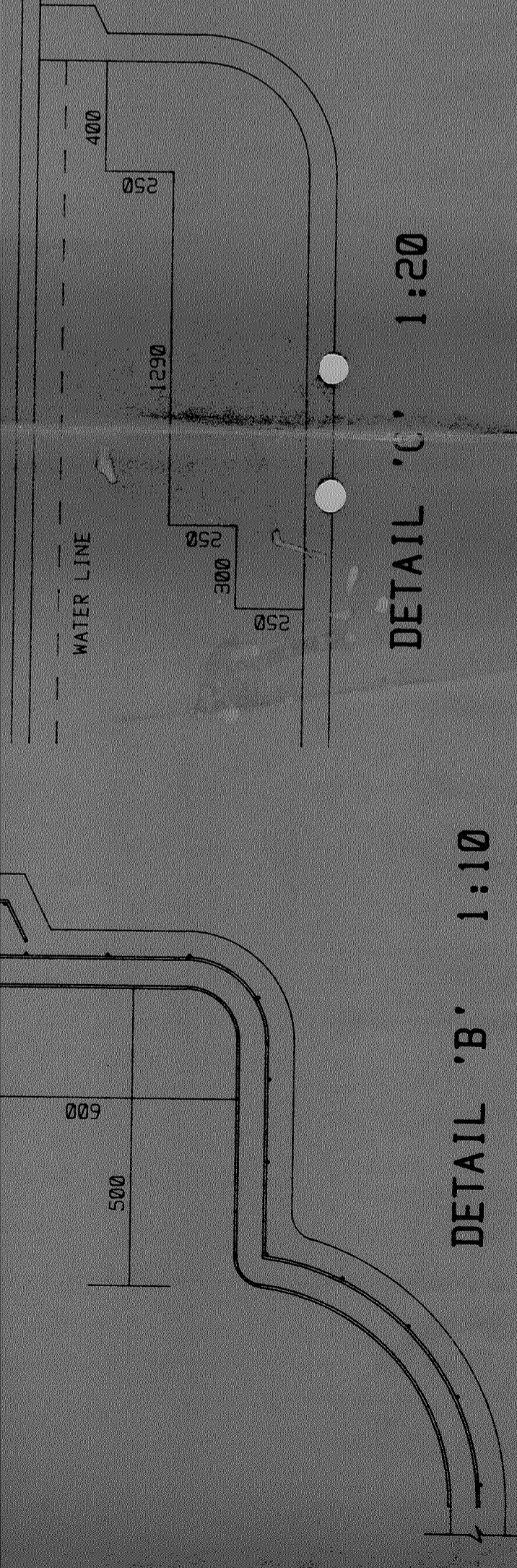
SECTION A-A 1:100

APPLICATION TO BE SUBMITTED AND COSTS PAID TO THE CITY ELECTRICAL ENGINEER'S DEPARTMENT FOR THE REPOSITIONING OF ALL AFFECTED ELECTRICAL SERVICES PRIOR TO THE COMMENCEMENT OF BUILDING WORKS

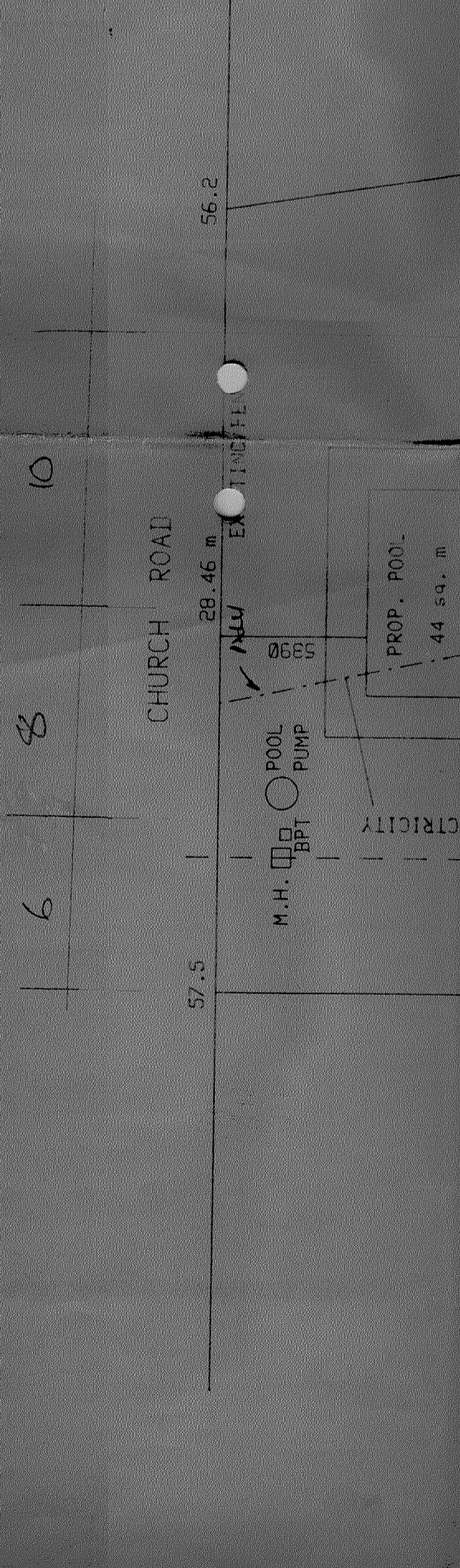
SECTION B-B 1:100



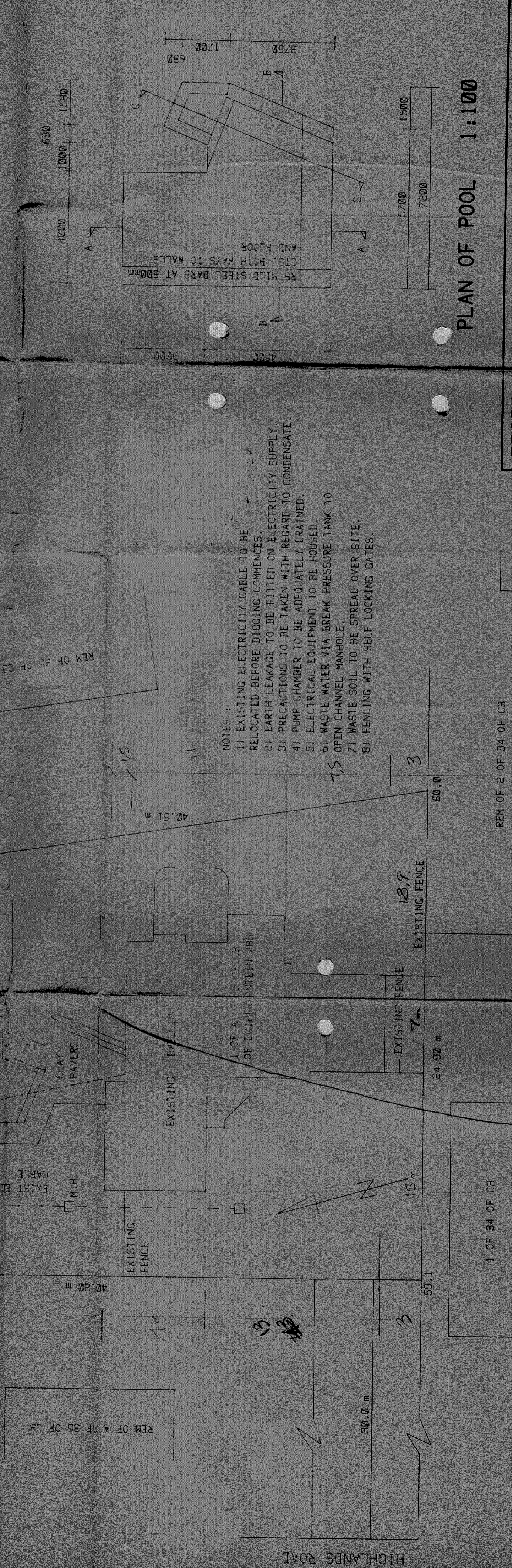
SECTION C-C 1:100



DETAIL 'B' 1:100



DETAIL 'C' 1:200



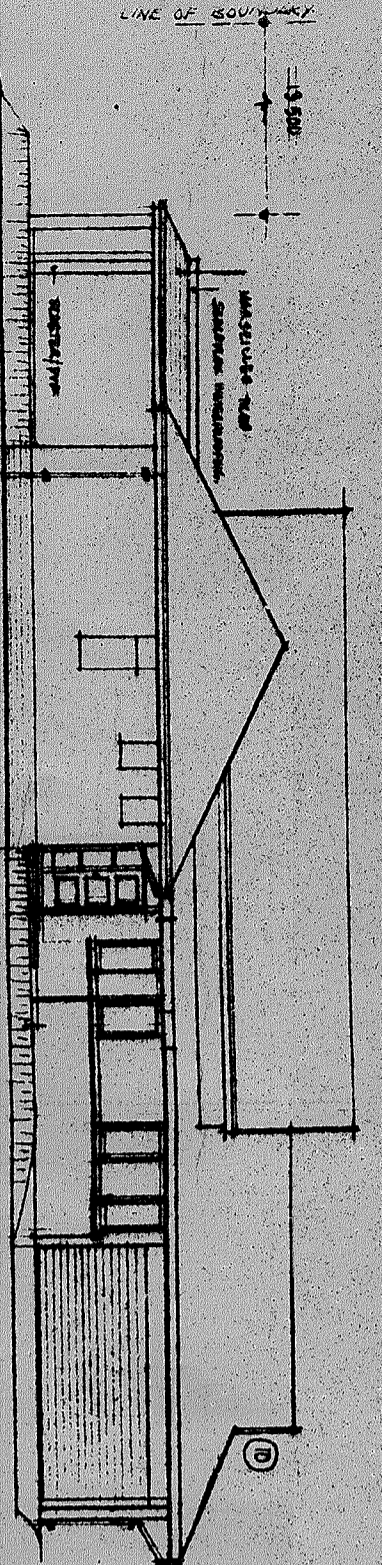
PLAN OF POOL 1:100

- NOTES:
- EXISTING ELECTRICITY CABLE TO BE RELOCATED BEFORE DIGGING COMMENCES.
  - EARTH LEAKAGE TO BE FITTED ON ELECTRICITY SUPPLY.
  - PRECAUTIONS TO BE TAKEN WITH REGARD TO CONDENSATE.
  - PUMP CHAMBER TO BE ADEQUATELY DRAINED.
  - ELECTRICAL EQUIPMENT TO BE HOUSED.
  - WASTE WATER VIA BREAK PRESSURE TANK TO OPEN CHANNEL MANHOLE.
  - WASTE SOIL TO BE SPREAD OVER SITE.
  - FENCING WITH SELF LOCKING GATES.

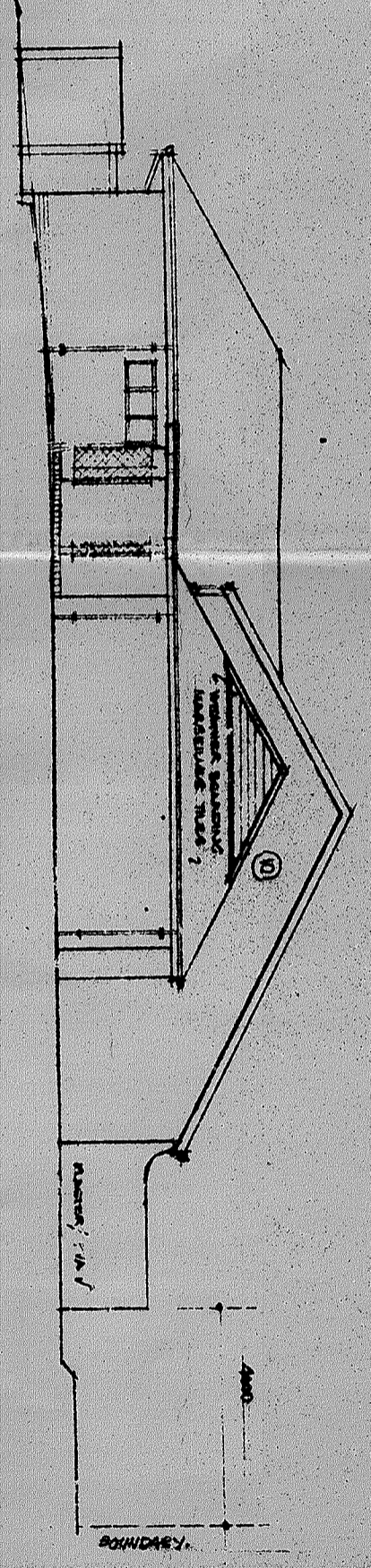
PROPOSED SWIM POOL FOR Mr A.R. FRYER  
 AT 62 HIGHLANDS ROAD ON SUB 1 OF SUB A  
 OF SUB 85 OF SUB C3 OF THE FARM  
 DUIKERMONTAIN No.785

SITE PLAN 1:200

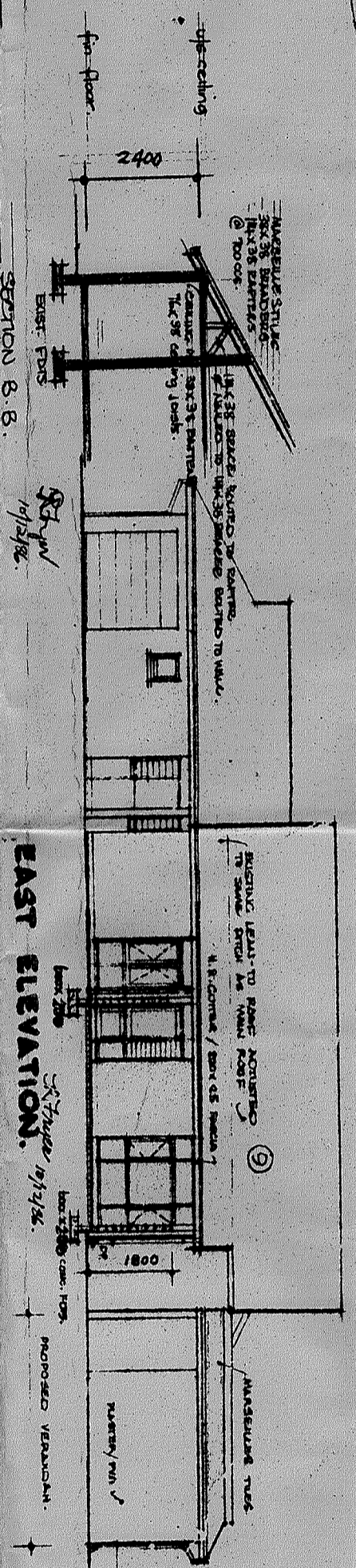
DATE	29 / 08 / 1990
DRAWN BY	C.D. SCOTT
SCALES	AS SHOWN
ENGINEER'S SIGNATURE	



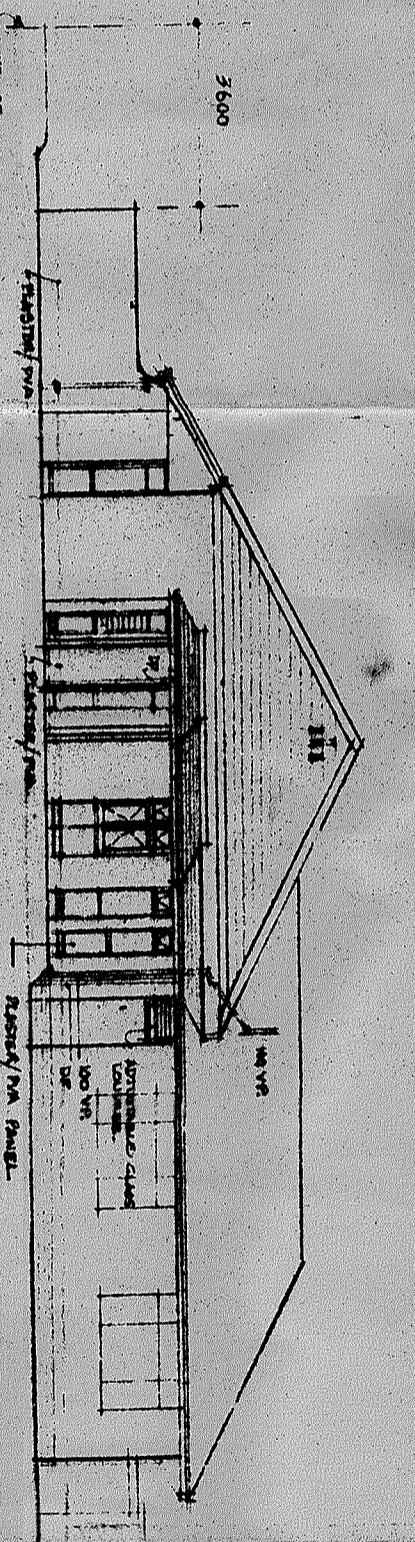
**WEST ELEVATION.**  
 ALTERNATIVE B - ENTRANCE CORNER, GARAGE ROOF PROFILE



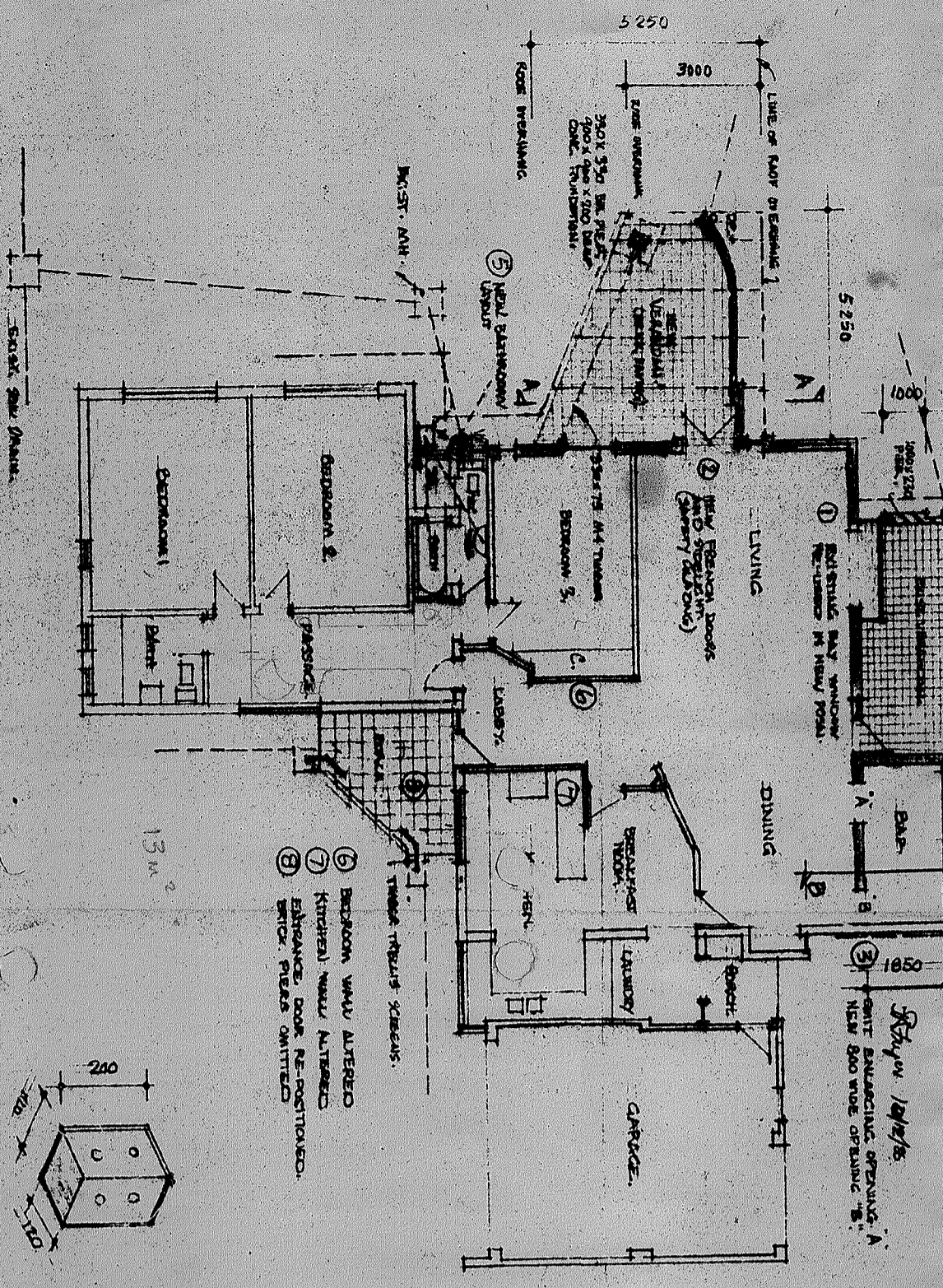
**SOUTH ELEVATION.**  
 (SHOWS NEW GARAGE ROOF PROFILE)



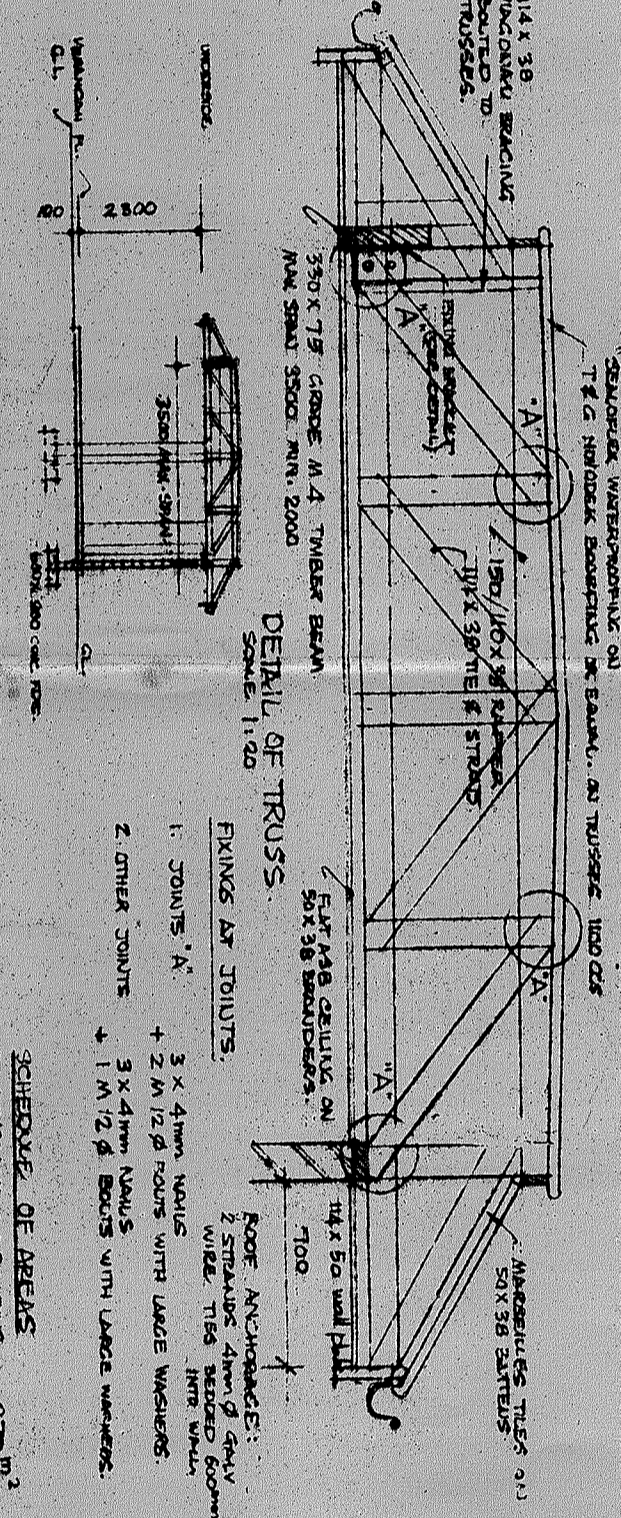
**EAST ELEVATION.**



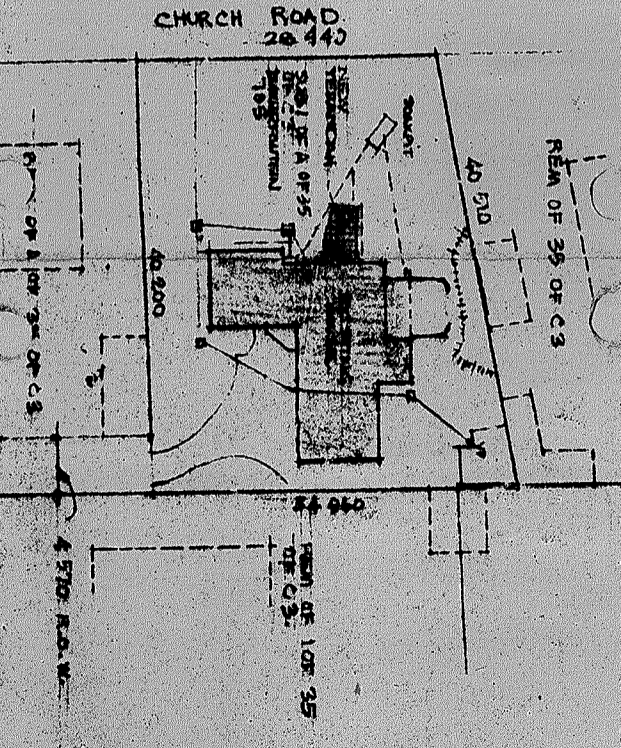
**NORTH ELEVATION.**



**PLAN.**  
 (SHOWN ALTERNATIVES)  
 SCALE: 1/16" = 1'-0"



**SECTION A-A.**  
 (FRONT VERANDAH)



**SITE PLAN.**  
 SCALE: 1/16" = 1'-0"

Any person undertaking building operations in accordance with this plan is required to ascertain from the City of Durban the location of the proposed building in the vicinity of the proposed building prior to the commencement thereof.

*John P. S. (Sigsby)*  
 FSAICE; NSAAAE

*P.H.T. Milne*  
 Registered Professional Engineer certifies that all structures are in accordance with the provisions of the Building Act and Regulations and that the structures are safe and sound and will stand for the period specified in the certificate.

AMENDMENTS: (22.9.06)

1. NEW WINDOW RE-CONSTRUCTION IN LIVING ROOM
2. NEW WINDOW RE-CONSTRUCTION IN BATH ROOM
3. NEW WINDOW RE-CONSTRUCTION IN KITCHEN
4. NEW WINDOW RE-CONSTRUCTION IN GARAGE
5. NEW WINDOW RE-CONSTRUCTION IN VERANDAH
6. NEW WINDOW RE-CONSTRUCTION IN VERANDAH
7. NEW WINDOW RE-CONSTRUCTION IN VERANDAH
8. NEW WINDOW RE-CONSTRUCTION IN VERANDAH
9. NEW WINDOW RE-CONSTRUCTION IN VERANDAH
10. NEW WINDOW RE-CONSTRUCTION IN VERANDAH

**AMENDMENTS TO APPROVED PLAN NO. 478-S-84 AND PROPOSED VERANDAH FOR MR. A.R. FRYER 62 HIGHLAND ROAD GREENWOOD PARK.**

DRAWN BY: *[Signature]*  
 DATE: *[Date]*