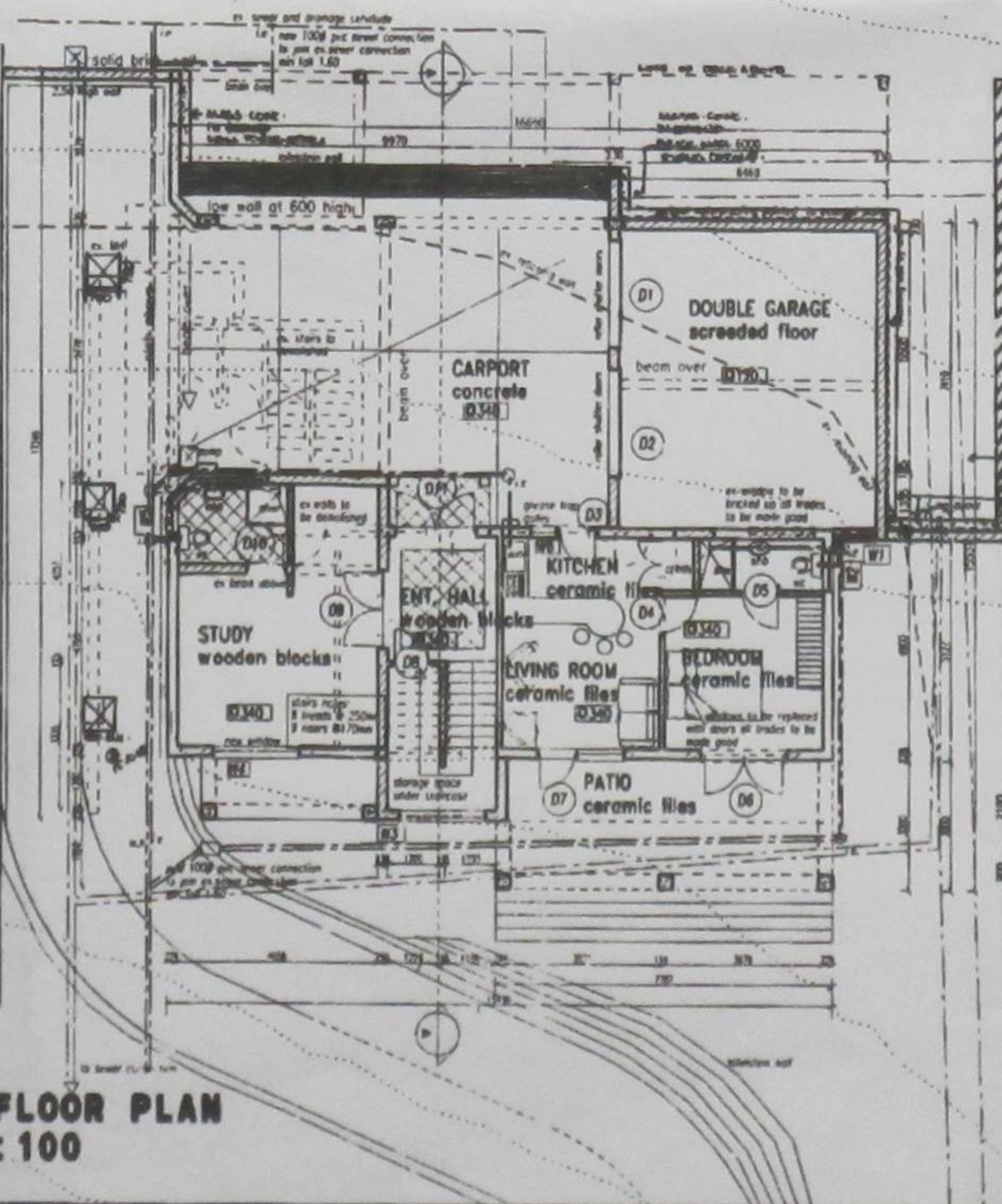
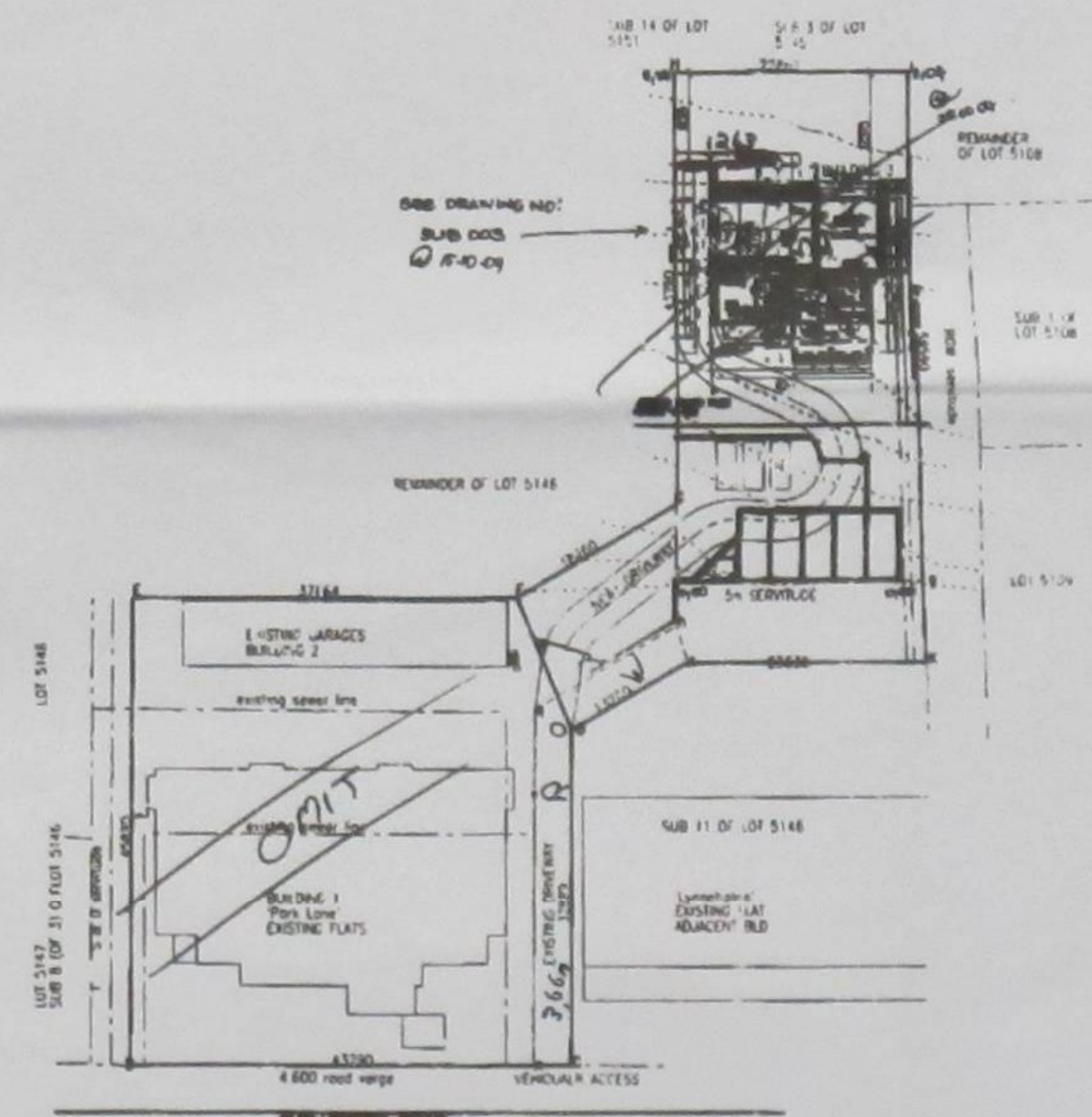


**FIRST FLOOR PLAN
SCALE 1:100**



**GROUND FLOOR PLAN
SCALE 1:100**



**SITE PLAN
SCALE 1:500**

SHOULD NOT HAVE COMMON COUNCIL APPROVAL WILL EXPLORE THIS FIRST ANNIVERSARY

SHEET 1/3 COPY 2

ETHEKWINI MUNICIPALITY
GENERAL

Plan No. 172/2004
Registered in the National Map
Number 105 of 1977

- 1 NOV 2004

This Plan is approved on the basis of the information shown herein. Attention is drawn to attached documents.

Timber to SABS 042

ELECTRICITY SERVICES

Any person undertaking any electrical work in accordance with this plan is to be done in accordance with the provisions of the Electricity Act No. 47 of 1987 and the Regulations thereunder.

ELI SERVICES

Any person undertaking any electrical work in accordance with this plan is to be done in accordance with the provisions of the Electricity Act No. 47 of 1987 and the Regulations thereunder.

A. FRONTAGE LEVELS ARE:

(1) TO CONFORM TO THE BACK OF THE CONSTRUCTED SIDEWALK, OR

(2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA: $FL = 0.05 \cdot D$

(where FL=frontage level, E=1/2" of edge of hardware road and D=distance in metres between edge of road kerbside and road reserve boundary)

B. A CONCRETE BEAM AT THE CORRECT FRONTAGE LEVEL IS TO BE PROVIDED AT EACH ENTRANCE/EXIT AT THE SAME GRADE AS THE KERB ON ROAD.

C. THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0.750 METRES BELOW FRONTAGE LEVEL.

ROOFING DETAILS REQUIRED

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE BSL"

ALL GLAZING TO COMPLY WITH PART M2 AND M3 OF SABS 0400

Assoc. Arch. No. 1453/2001 DATE: 08-09-04

Assoc. Architects cc.

B. ARCH(NATL) M.A. ARCH(SA) REG No. 4450
P.O. BOX 78114 AVONDALE ROAD 4101
TEL (031) 301 5909 FAX (031) 201 5923

CLIENT:
Mr & Mrs J Murley

SIGNATURE: *J. Murley*

PROJECT
Additions & Alterations to ex. outbuilding at 172 CHELMSFORD ROAD ON PORTION 10 OF ERF 5146, DURBAN

DRAWING:
GROUND FLOOR PLAN, FIRST FLOOR PLAN AND SITE PLAN

SCALE	DATE	DRAWN BY:
AS SHOWN	AUGUST 2004	N.M.
PROJECT No	DRAWING No:	REVISION
2003/23	SUB 301	

EXISTING DRAWING NO: 248067

SITE AREA: 3656 SQ.M
ALLOWABLE COVERAGE: 40% OF SITE: 1462 SQ.M
ALLOWABLE FAR: 0.8 OF SITE: 2924 SQ.M
EXISTING COVERAGE: 4431 SQ.M @ 2.5m
PROPOSED COVERAGE: 146 SQ.M @ 1.75m
NEW TOTAL COVERAGE: 1316 SQ.M @ 2.75m
EXISTING FAR: 2856 SQ.M @ 1.6m
EXISTING 1ST FLOOR FAR: 104 SQ.M
EXISTING 2ND FLOOR FAR: 80 SQ.M
PROPOSED FAR: 85 SQ.M @ 10% max
NEW TOTAL FAR: 3124 SQ.M @ 2.6m
ZONE: SPECIAL RESIDENTIAL 900

