

APPROVED IN TERMS OF THE NATIONAL BUILDING REGULATIONS AND BUILDING STANDARDS ACT NUMBER 103 OF 1977  
10 JAN 2005  
AS BUILT

AS BUILT

VALUATION COMPLETE

VALUATION COMPLETE

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE R.4"

A. FRONTAGE LEVELS ARE TO CONFORM TO THE BACK OF THE CONSTRUCTED ROOF R.4 OR TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA:  $FL = 0.03 \cdot D^2$   
Where FL=frontage level, D=depth of any of pitched roof and D=distance in metres between edge of roof (excluding and roof trusses included)  
B. A CONCRETE BEAM AT THE CORNER / JUNCTION SAME GRADE AS THE KERB ON ROAD.  
C. THE TOP OF FOUNDATION OF ANY FRONTAGE WALL AT A MINIMUM DEPTH OF 0.25M METRES BELOW FRONTAGE LEVEL.

LAND USE MANAGEMENT  
CONSENT USE AUTHORITY  
GRANTED  
204 - 12 - 21  
Signature: [Signature]  
Checklist: [Signature]

DATE NO 03614002  
PHONE NO 3128687

[Signature]

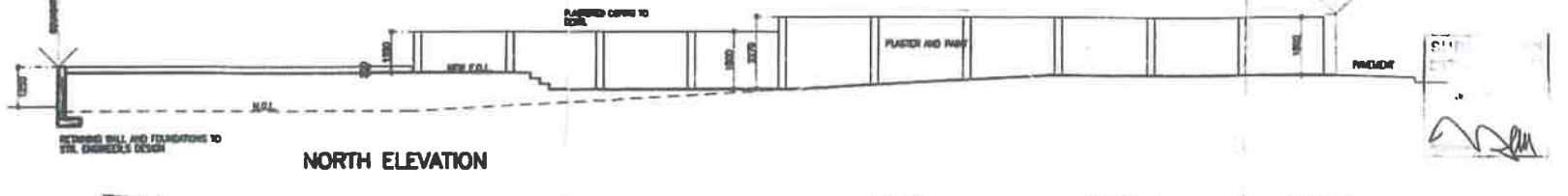
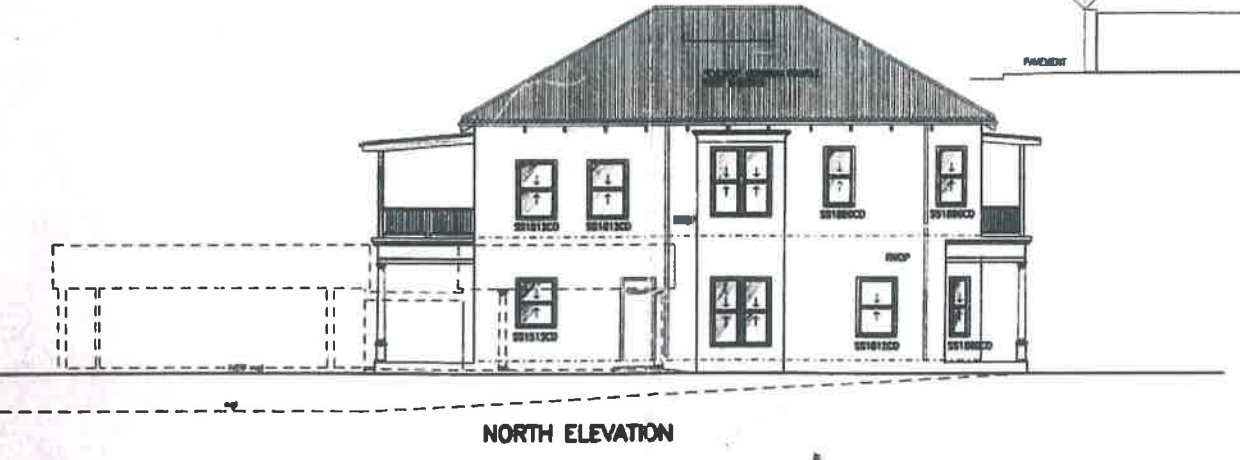
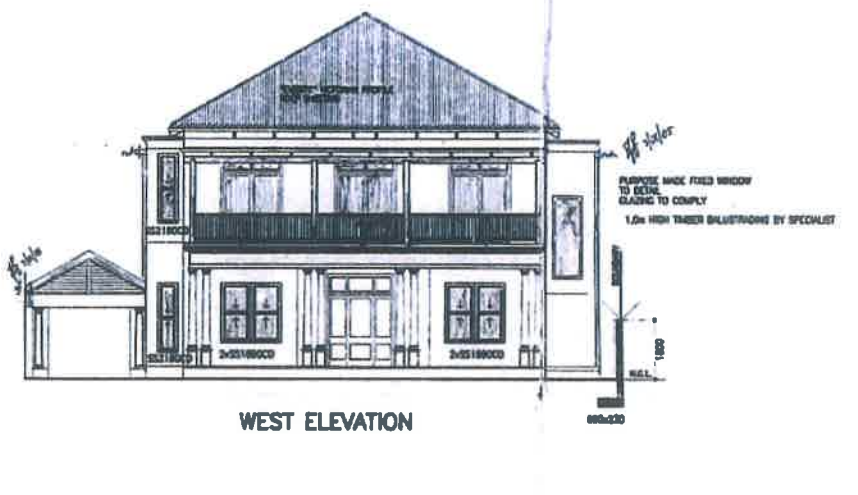
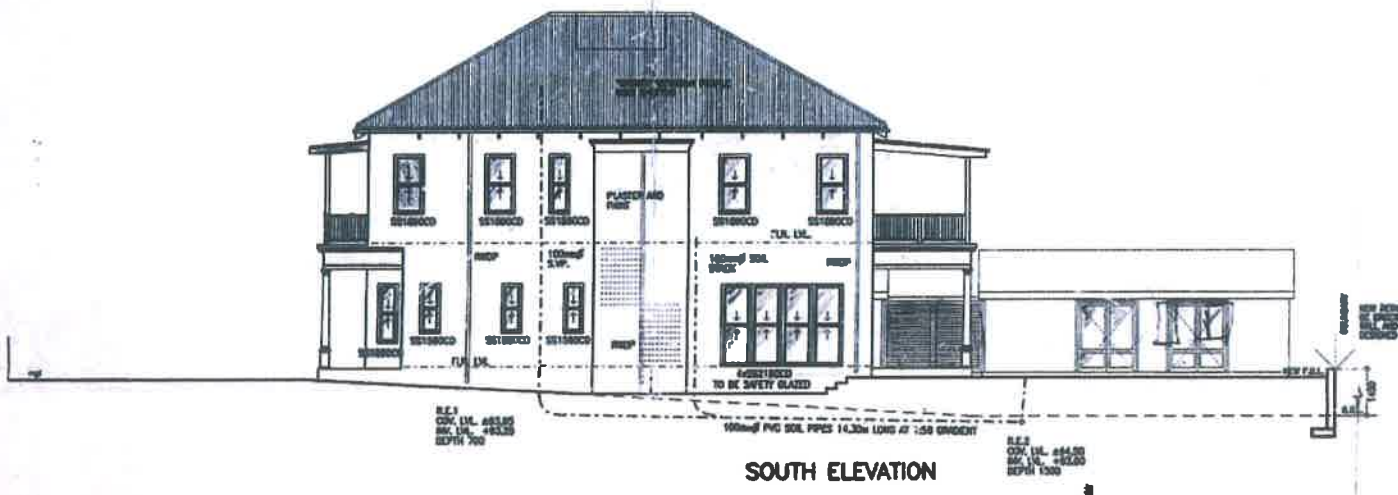
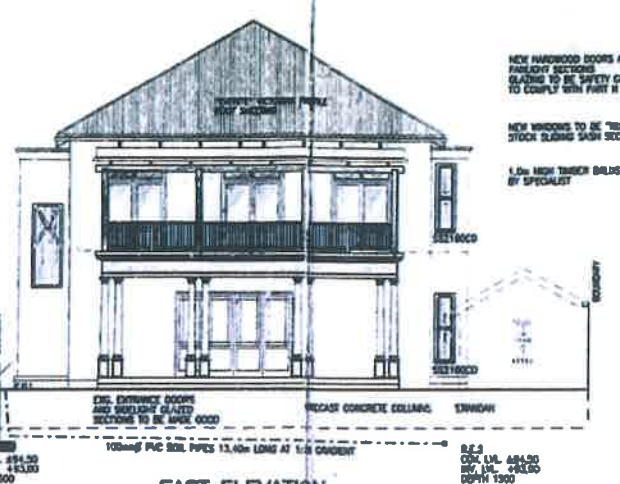
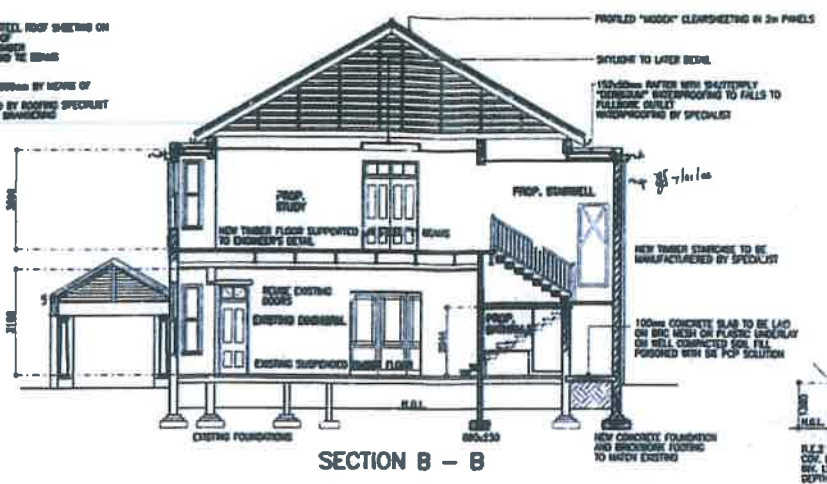
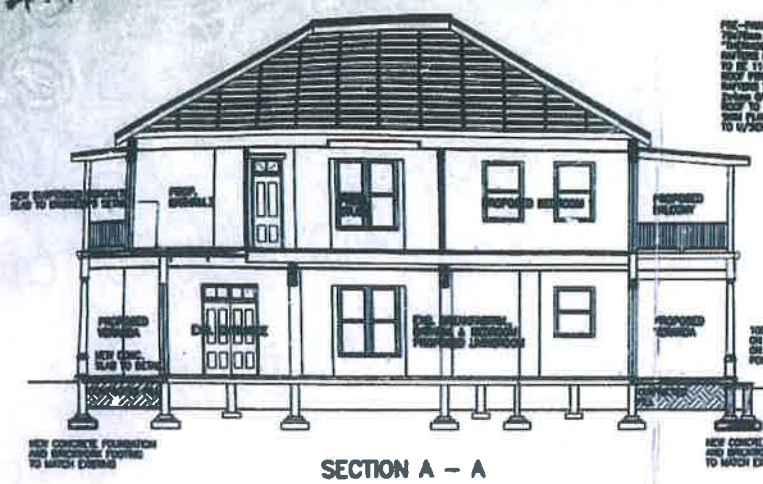
joy brasler architect  
6 woodside place, moringside, durban 4001  
tel (031) 2564285

project: ADDITIONS AND ALTERATIONS TO EXISTING DWELLING AND OUTBUILDING ON 15 MORINGSIDE ROAD, FOR MR AND MRS HOLMES  
drawing: GROUND AND UPPER LEVEL FLOOR PLANS, ELEVATIONS AND SECTION

NAME	ADDRESS	PHONE	SEN
JA Drew	19 Morningside	3125939	JA
PJ Deelman	11 Morningside	3124062	PJ

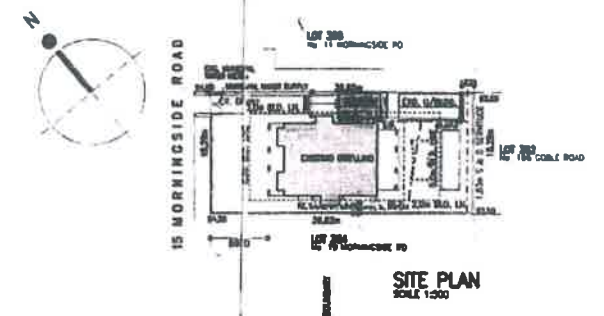
DATE	BY	SCALE
10/11/04	J.C.	1:100





SCHEDULE OF AREAS :

	sqm	sqft
SITE AREA		724,00sqm
EXS. DWELLING & OUTBLDG. F.A.R.	288,0	
EXS. DWELLING & OUTBLDG. COVERAGE	236,2	
PROPOSED F.A.R.	227,73	
PROPOSED COVERAGE	38,8	
TOTAL FLOOR AREA RATIO	445,0	
TOTAL COVERAGE	272,0	



THEFT 1/2 COPY 3  
 ETHEKWINI MUNICIPALITY  
 CENTRAL  
 Plan No. 627-11-04  
 APPROVED in terms of The National Building Regulations and Building Standards Act Number 103 of 1977  
 10 JAN 2005  
 Local Authority  
 11/01/05

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

AS BUILT

ELECTRICITY SERVICES  
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Water Electricity, 1) The location of any electrical services and appliances in the vicinity of the proposed works, 2) All requirements regarding Substation, Meter rooms, and Cable ducts.

ELECTRICITY SERVICES  
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Water Electricity, 1) The location of any electrical services and appliances in the vicinity of the proposed works, 2) All requirements regarding Substation, Meter rooms, and Cable ducts.

ROOF STRUCTURE TO BE TO "RATIONAL STEEL" OR TO RATIONAL DESIGN COMPLIANT WITH "RATIONAL STEEL" OR TO RATIONAL DESIGN COMPLIANT WITH "RATIONAL STEEL"

A. FLOORING LEVELS AND  
 1) TO CONFORM TO THE B.F.R. IN THE CONSTRUCTION DRAWING, & 2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA:  $F = 1.4 + 0.0077$   
 (where F is average floor level or level of any horizontal line and D is distance in meters from the center of the bearing and load reaction structure)  
 A CONCRETE BEAM AT THE ENTRANCE COVERAGE LEVEL IS TO BE PROVIDED AT EACH ENTRANCE CASE AT THE SAME GRADE AS THE KERB ON PAVES  
 THE TOPS OF FOUNDATIONS TO THE EXISTING COVERAGE ARE AT A MINIMUM OF 150mm ABOVE THE FINISHED GRADE

LAND USE MANAGEMENT  
 CONSENT USE AUTHORITY  
 GRANTED  
 204-R-21  
 Signature: [Signature]  
 Checked: [Signature]

DATE: 08/11/04  
 PROJECT NO: 3128657

NEIGHBOUR'S SIGNATURE: [Signature]  
 NEIGHBOUR'S SIGNATURE: [Signature]  
 NEIGHBOUR'S SIGNATURE: [Signature]

joy brasler architect  
 8 Maxwell Place, Durban, South Africa 4001  
 Tel: (031) 2862288

project: ADDITIONS AND ALTERATIONS TO EXISTING DWELLING AND OUTBUILDING ON 204-R-21 SUBDIVISION AND SURROUNDINGS OF DURBAN, 15 MORNINGSIDE ROAD, FOR MR AND MRS HOLMES  
 drawing: ELEVATIONS, SECTIONS AND SITE PLAN

NAME	ADDRESS	PHONE	SIGN
J.A. Drew	19 Morningside Rd	3125939	[Signature]
P. J. Doman	11 Morningside Rd	324062	see #

DATE: 10/11/04  
 SCALE: 1:100  
 DRAWING: J.C.  
 CHECKED: J.C.  
 SCALE: 1:200



**STORMWATER SEWERAGE**  
 Applicant to show lowest level of entry into D.C. drains and/or discharge at approved discharge points.  
 Contractor to construct connection methods. No and then apply to D.C. for connection to be installed prior to commencing any further drainage work. Once connection is made all drainage work to be graded to ensure entry to the connection as provided.

**IMPORTANT**  
 THE APPLICANT IS RESPONSIBLE FOR ASCERTAINING THE POSITION OF ALL POST OFFICE CABLES OR OTHER PLANT AND WILL BE LIABLE FOR ANY COST ARISING DUE TO DAMAGE TO OR THE NEED FOR RELOCATION OF SUCH PLANT ARISING OUT OF WORK INDICATED ON THIS APPLICATION.

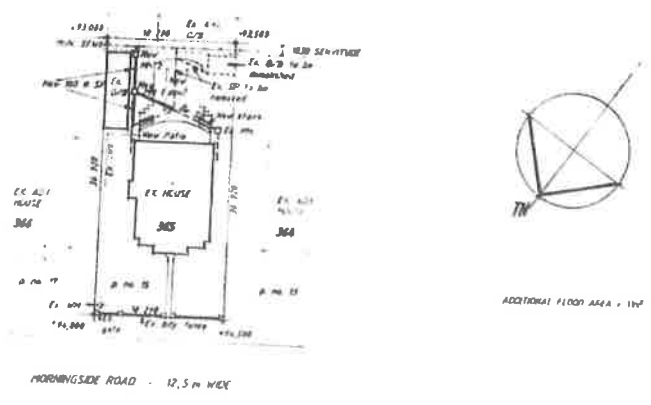
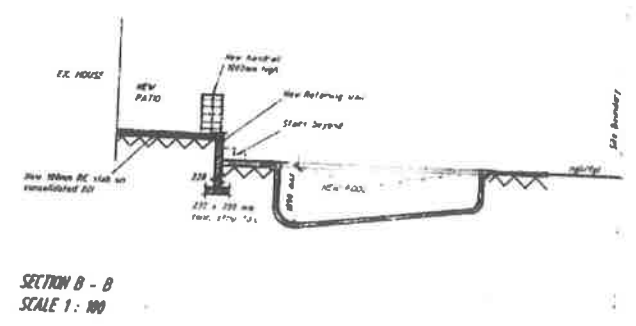
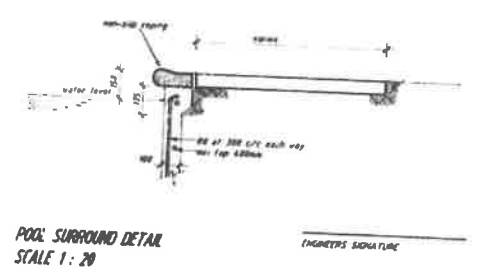
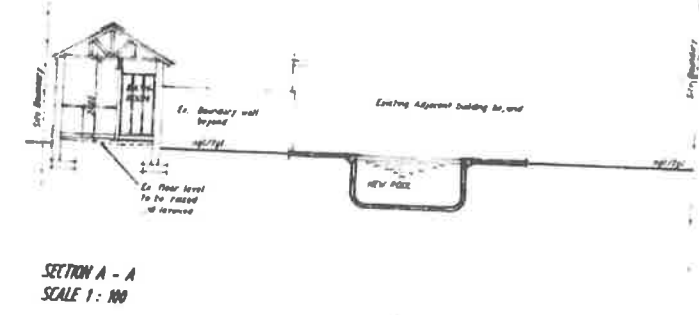
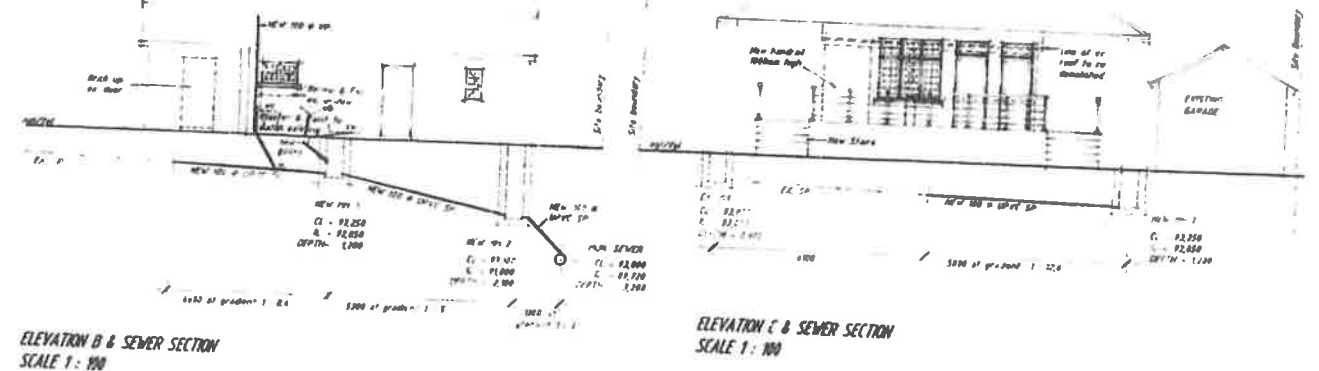
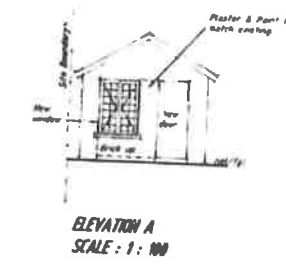
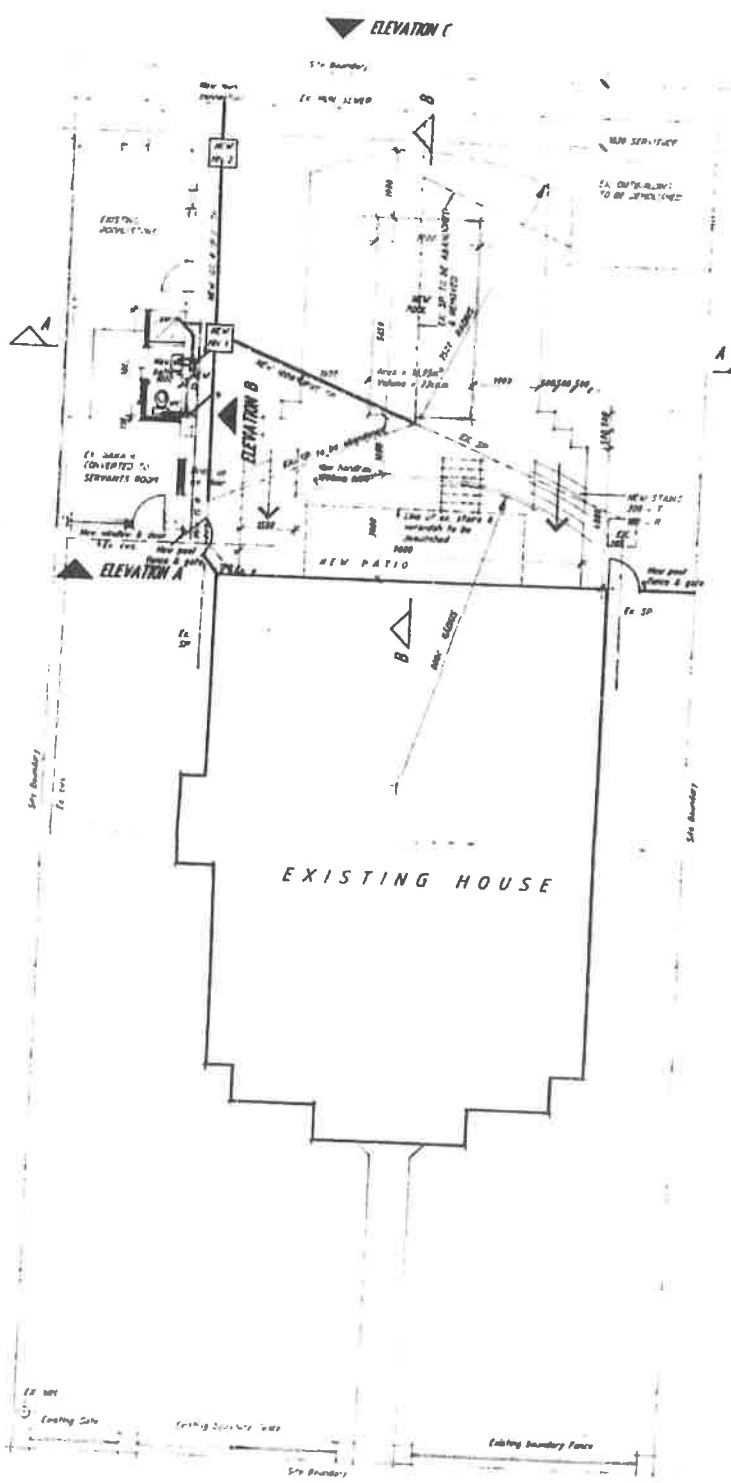
All existing wastes, drains, soil & vent pipes to conform to current Municipal Regulations

The applicant is responsible for...  
 It should be noted that this plan has been approved on the basis of information thereon.

**CITY OF DURBAN**  
 PLAN NUMBER  
 0658-11-92-7  
**APPROVED SUBJECT TO FOLLOWING CONDITIONS:**  
 THE POOL TO BE FENCED AS REQUIRED IN TERMS OF DA (1971) OF THE NATIONAL BUILDING REGULATIONS PRIOR TO THE POOL BEING FILLED WITH WATER.  
**APPROVED: R. A. MOORE**  
 EXECUTIVE DIRECTOR, PHYSICAL ENVIRONMENT SERVICE UNIT  
 DATE 11/2/92

**UTILITY SERVICES**  
 APPROVED: [Signature]  
 ENGINEERS DETAIL REQUIRED

**CITY OF DURBAN WATER INSPECTORATE**  
 APPROVED  
 APPROVAL OF WATER SUPPLY SYSTEM REQUIRED PRIOR TO OCCUPANCY  
 WATER AVAILABLE - YES/NO  
 APPROVAL DATE: 26/1/92  
 CLEARED - YES/NO  
 DATE: 26/1/92



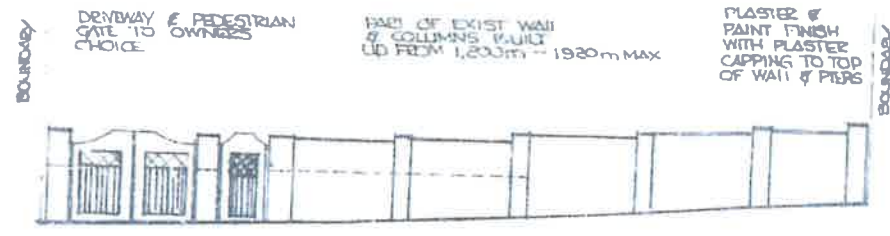
PLAN SCALE 1: 100

SECTION B - B SCALE 1: 100

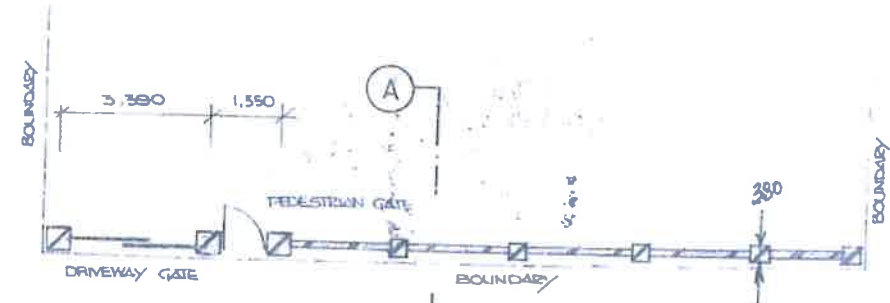
SITE PLAN SCALE 1: 500

- Earth leakage protection to electrical supply.
- Precautions to be taken in regard to foundations.
- Pump installation to be adequately drained.
- Electrical equipment to be protected.
- Plaster & Paint in the pool to be waterproofed & periodically painted.
- Pool "spill over" - 4 parts washed steps, sand.
- Waste water to be piped into D.C. sewer.
- Waste soil to be carted away.
- Pool security fencing (1.2m min. high) with self-closing locking gate to 2000 mm. Detail to pool surround & to comply with Brg. Reg. D. 4.11.1.

**SMITH KING**  
 ARCHITECTS & PROPERTY ECONOMISTS  
 PROPOSED ALTERATIONS & ADDITIONS TO EXISTING HOUSE AT 15 HORINGSIDE ROAD, ON LOT 365 DURBAN FOR DR. J. EDINGTON.  
 PROJECT [Signature]  
 SUBMISSION DATES  
 October 1992  
 DATE  
 1: 100, 1: 20, 1: 500  
 SCALE  
 T. J. Spangenberg  
 DRAWS  
**894-03-01**  
 DRAWING NO.  
 1 Entry Plan  
 2 Entry Plan  
 3 Entry Plan  
 4 Entry Plan  
 5 Entry Plan  
 6 Entry Plan  
 7 Entry Plan  
 8 Entry Plan  
 9 Entry Plan  
 10 Entry Plan



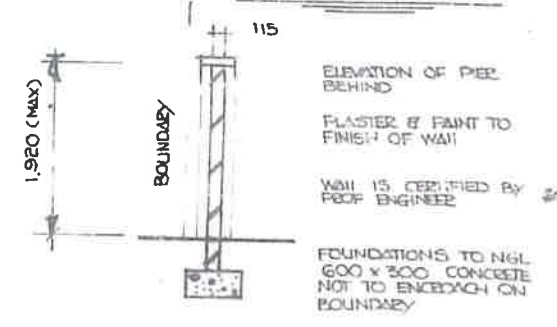
N.W  
ELEVATION (1/100)



500 x 500 BRICK PIERS TO DRIVEWAY & PEDESTRIAN GATES  
380 x 380 BRICK PIERS AT 2,015mm MAX. C/C'S TO BOUNDARY WALL

Morningside Road

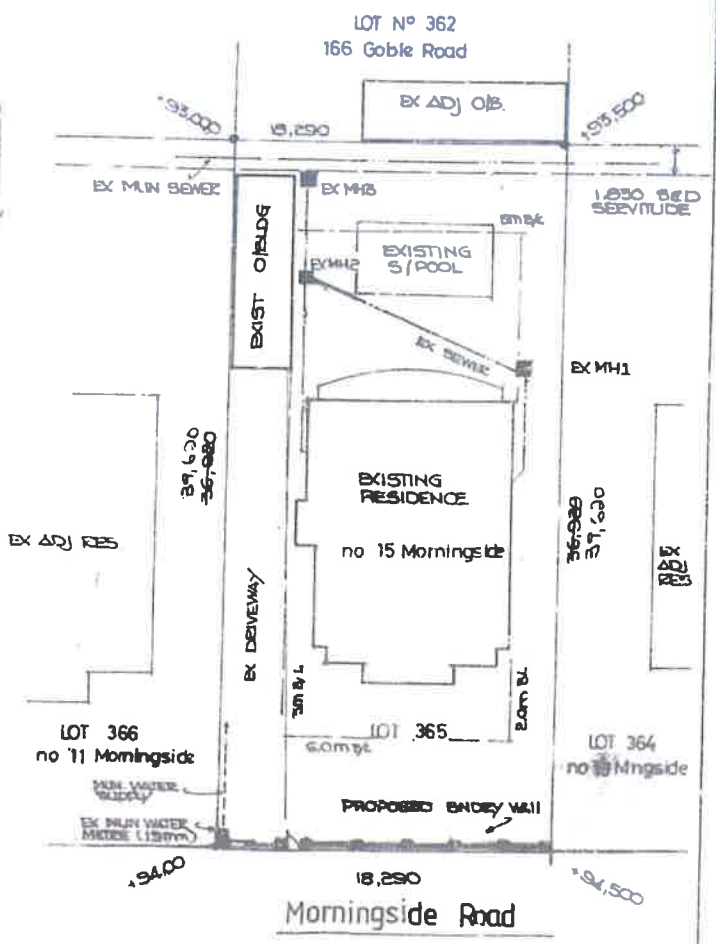
PLAN (1/100)



SECTION A-A (1/50)

SUBDIVISION AND DEVELOPMENT SECTION  
SITE PLAN CHECKED  
27 FEB 1996  
Signature: [Handwritten Signature]

N.B NOTE:  
AS BUILT WALL TO ENG. CERTIFICATION (see attached form)



SITE PLAN (1/250)

OFFICIAL STAMPS:

9/11/29  
COPY 3  
CITY OF DURBAN  
PLAN NUMBER  
0706-02-96-6

APPROVED: R.A. MOORE  
EXECUTIVE DIRECTOR: PHYSICAL ENVIRONMENT SERVICE UNIT  
DATE: 14 MAR 1996  
PER: [Handwritten Signature]

THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE

[Handwritten Signature]  
21-7-97

ENGINEERS DETAILS REQUIRED

PLANNING CONTROL BOARD  
TOWN PLANNING AUTHORITY  
GRANTED  
04 MAR 1996  
Signature: [Handwritten Signature]  
Checked: [Handwritten Signature]

"It should be noted that this plan has been approved on the basis of information thereon."

DRAWN GILL JOUBERT  
TEL \*823601  
ADDRESS 33 SATURN RD.  
WESTVILLE 3630  
SIGNATURE: [Handwritten Signature]

AS BUILT BOUNDARY WALL FOR:  
MR. A. C. HOLMES AT  
15 MORNINGSIDE ROAD ON:  
LOT 365 DURBAN

SCHEDULE OF AREAS

AREA OF SITE  
AREA OF  
NO INCREASE

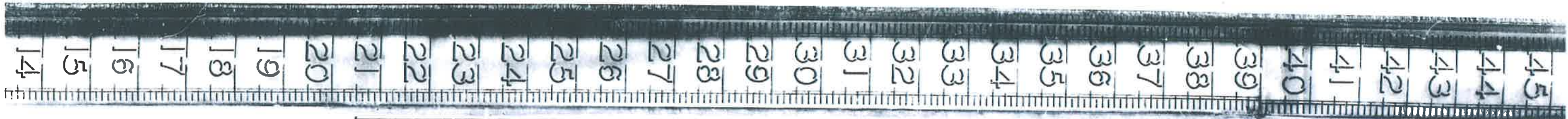
TOTAL AREA  
ALLOWABLE COVERAGE  
ALLOWABLE F.A.R.

SCALES 1/100/250 DATE FEB. 96

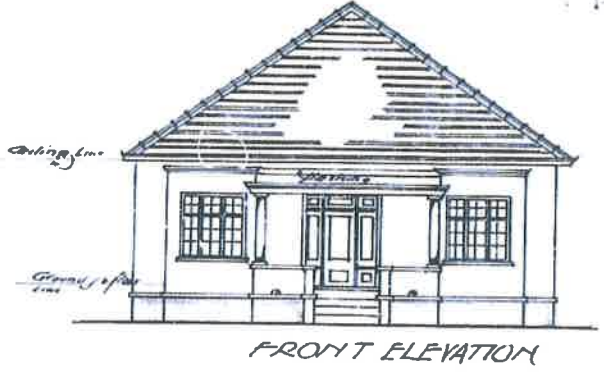
NB ALL LEVELS DIMENSIONS AND POSITION OF ALL SERVICES TO BE CHECKED ON SITE BY CONTRACTORS PRIOR TO COMMENCEMENT OF WORK

OWNERS SIGNATURE: [Handwritten Signature]

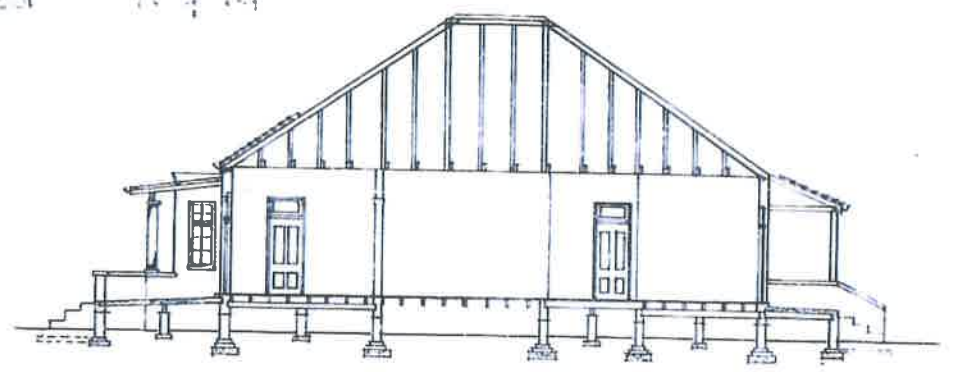




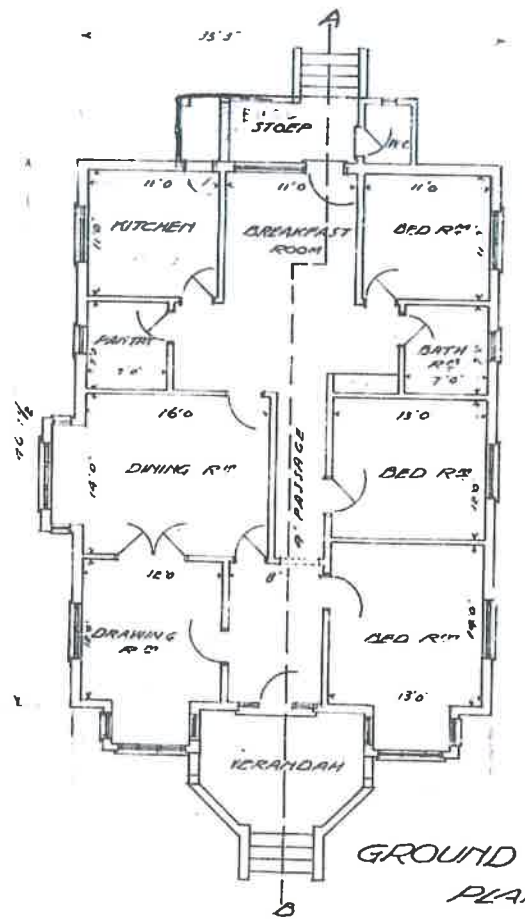
15. Morningside Rd



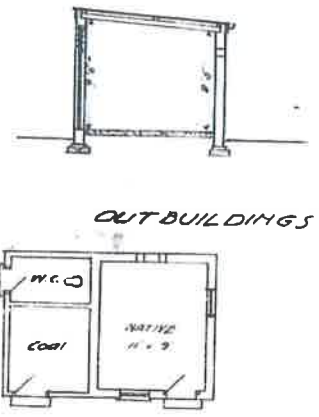
FRONT ELEVATION



SECTION AB



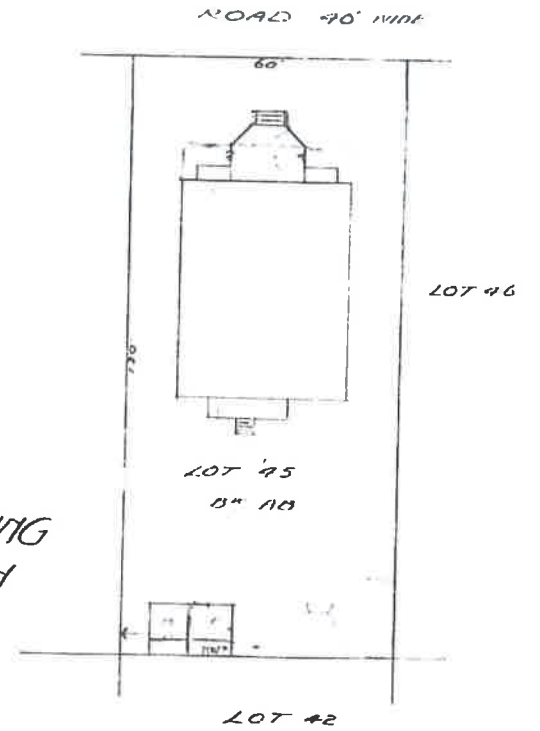
GROUND FLOOR PLAN



OUTBUILDINGS

PROPOSED DWELLING for MRS K. GORVET

Scale 1/8" = 1ft.



BLOCK PLAN

Scale 20' = 1"

