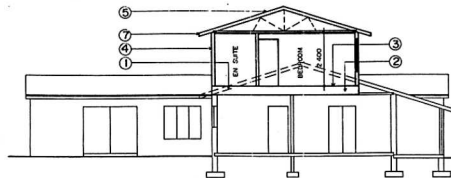


SOUTH EAST ELEVATION

NORTH WEST ELEVATION

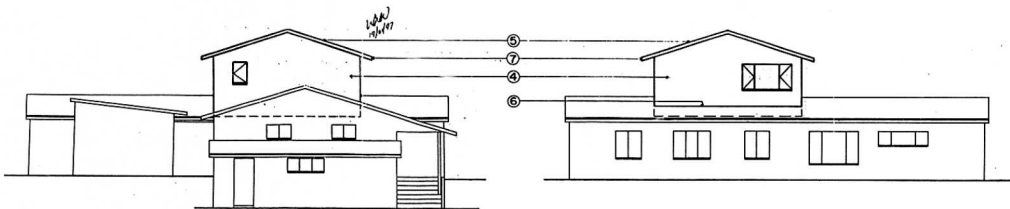
LEGEND.

1. EXISTING RAFTERS TO BE REMOVED.
2. MAIN BEARER BEAM TO ENGINEER'S DETAILS.
3. 18mm SHUTTERBOARD FLOOR ON MAIN BEARER BEAM TO ENGINEER'S DETAILS.
4. INTER FIBRE CEMENT SHEETING FIXED TO TIMBER FRAMING, 5mm COAT PLASTER AND PIN TO MATCH EXISTING.
5. RULES TO MATCH EXISTING ON 38 x 38 BATTENS ON APPROVED UNDERLAY ON TIMBER TRUSSES TO ENGINEER'S DETAILS, PITCH TO MATCH EXISTING, PLUS.
6. GALVANISED FLASHING TO CONTRACTOR'S SPECIFICATION.
7. 125mm HALF ROUND PVC GUTTER TO MATCH EXISTING.
8. NEW SA PINE STAIRCASE TO NBR TO ENGINEER'S DETAIL. IS 40MM RISER, 250MM TREADS.



SECTION A - A
1 : 100

ELECTRICITY SERVICES
 The following works are to be carried out in accordance with the Electrical Rules of 1987 and the Electrical Regulations of 1988.
 1. To provide the main supply to the building.
 2. To provide the main distribution board.
 3. To provide the lighting and power circuits.
 4. To provide the earthing system.
 5. To provide the fire alarm system.
 6. To provide the fire alarm control panel.
 7. To provide the fire alarm bell.
 8. To provide the fire alarm horn.
 9. To provide the fire alarm siren.
 10. To provide the fire alarm strobe light.

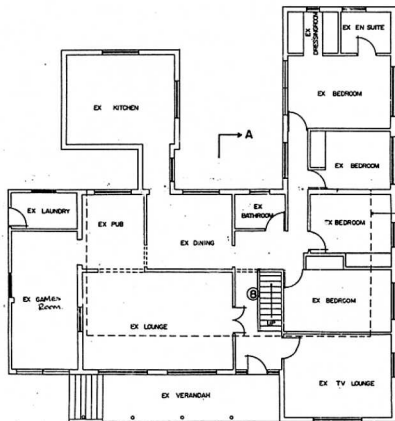


SOUTH WEST ELEVATION

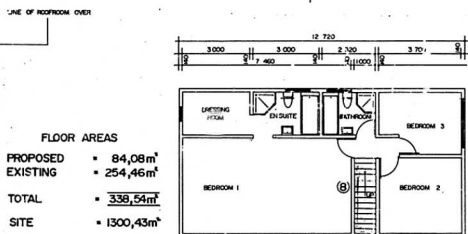
NORTH EAST ELEVATION

GENERAL NOTES.

- A. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES AND THE OWNER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- B. ONLY FIGURED DIMENSIONS ARE TO BE TAKEN, DRAWINGS ARE NOT TO BE SCALED.
- C. ALL LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.
- D. ALL REINFORCED CONCRETE WORK TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATION.
- E. ANTICORROSION ABOVE DAMP-PROOF COURSE TO COMPLY WITH RELEVANT BY-LAWS AND NBR REQUIREMENTS.
- F. ALL WALLS TO BE REINFORCED WITH TWO COURSES BRICKWORK AT ALL CILL AND WALL PLATE LEVELS.
- G. ALL SHEETS OF GLASS IN EXCESS OF 1.5sqm TO BE OF AN APPROVED SAFETY GLASS, AT SLIDING DOORS ETC.
- H. LIGHTING AND VENTILATION IN COMPLIANCE WITH NBR CLAUSE D1.
- I. ALL TIMBER WORK TO COMPLY WITH AS 1600 D.C. SECTION.
- J. STRUCTURES TO COMPLY WITH AS 1600 D.C. SECTION.



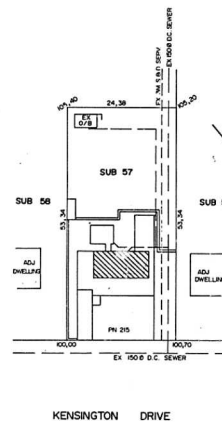
GROUND FLOOR PLAN
1 : 100



FIRST FLOOR PLAN
1 : 100

FLOOR AREAS

PROPOSED	= 84,08m ²
EXISTING	= 254,46m ²
TOTAL	= 338,54m ²
SITE	= 1300,43m ²



SITE PLAN
1 : 500

SHEET 11 COPY 2
CITY OF DURBA
 PLAN NUMBER
 0396-12-96-2
 APPROVED: R.A. MOORE
 EXECUTIVE DIRECTOR: PHYSICAL
 ENVIRONMENT SERVICE UNIT
 DATE: 29 JAN 1997

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

"It should be noted that this plan has been approved on the basis of information thereon."

ENGINEERS DETAIL REQUIRED

ROOF STRUCTURE TO BE TO EMPHICAL RULES OR DESIGNED BY ENGINEER

GRANTED
 08 JAN 1997
 Approved: R. Moore
 Director

ILLUSTRATED, DIMENSIONS HEIGHTS AND OPENINGS TO COMPLY WITH MMS AND DOLA OF SABS 0400.

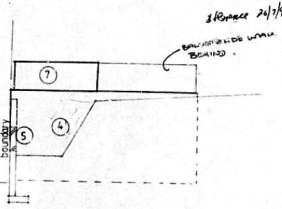
PROJECT
 PROPOSED ROOFROOM SABS 082
 FOR: MRS K. FLORENCE
 SUB 57 OF LOT 3193 D/NORTH
 215 KENSINGTON DRIVE ✓

DRAWN BY
PLANS GALORE CC
 CR 91-07810

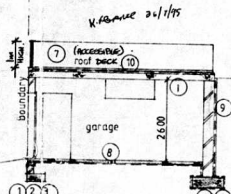
41 SOUTH ROAD
 ESCOMBE 4093
 P.O. BOX 39043
 QUEENSBURGH 4070
 6602010 OT
 021250077-70

SIGNED: [Signature] DATE: DEC '96.

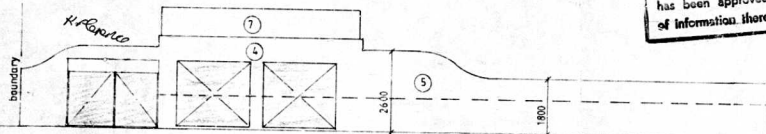
SCALES 1:100 unless otherwise shown
 CONTRACT REF. NO. _____
 OWNER'S SIGNATURE _____



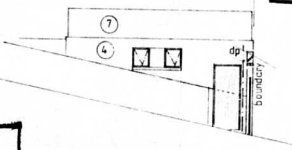
n-e elev.



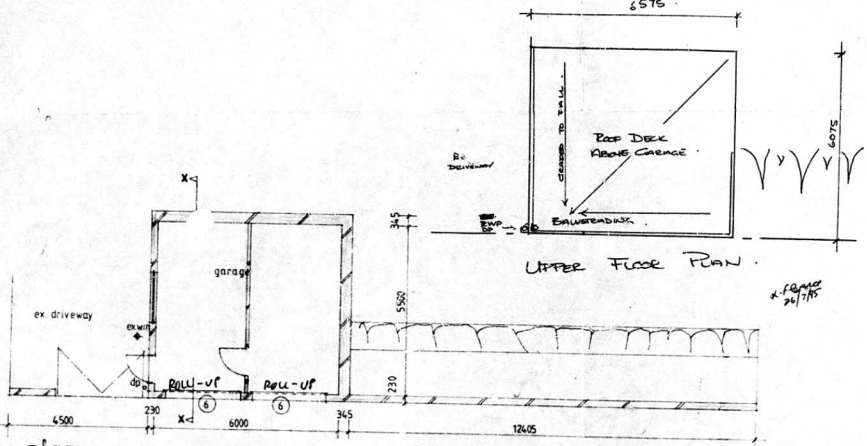
section x-x



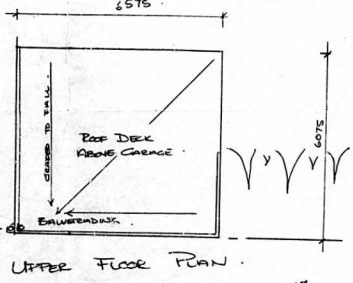
s-e elev.



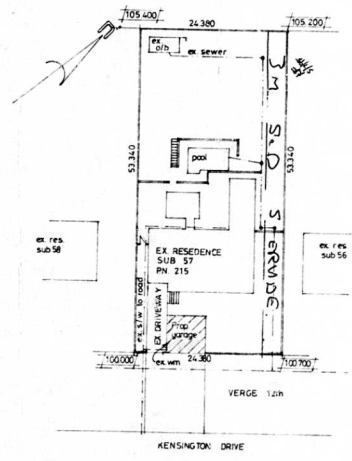
s-w elev.



LOWER plan



UPPER FLOOR PLAN



site plan
sub 57 of virginia 3916

- NOTES**
1. All structural work to engineer's details.
 2. No part of building to encroach over boundary.
 3. Foundations min 600x200 & to engineer's details.
 4. Plaster & paint.
 5. Ex boundary wall to be increased in height.
 6. Demolish part of ex boundary wall.
 7. Substituted to comply with part d of nbc.
 8. 100mm concrete surface had on Gunitas underlay on well compacted posioned soil.
 9. Bituthene 3000 vertical apr.
 10. Derbigum waterproofing on screed laid to fall to future outlet.

An construction work undertaken by the owner which encroaches upon a Council serviced area is an offence under the provisions of the Act. Any work not be done to be a violation of any of the Council's provisions in respect of such services.

FINISHED LEVELS ARE TO BE CONFORM TO THE BACK OF THE UNDISTURBED SURFACE OR TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA: $F = P + (D \times S)$ WHERE: F = FINISHED LEVEL, P = LEVEL OF EDGE OF MAIN ROAD, D = DISTANCE IN METRES BETWEEN LEVEL OF ROAD MARKING AND TOP OF FINISHED SURFACE, S = SLOPE IN METRE PER CENT AS AT THE SCOURED FRONTAGE LEVEL TO BE PROVIDED AT EXISTENCE LEVEL AT THE SCOURED FRONTAGE LEVEL.

THE AUTHOR OF THE PLAN IS NOT RESPONSIBLE FOR SHOWING ON THE APPROVED DRAWING THE TYPE OR DIMENSIONS OF AIR FRIGHAGE HOLES AT A MINIMUM DEPTH OF 0.200 METERS BELOW FRONTAGE LEVEL.

"It should be noted that this plan has been approved on the basis of information thereon."

BOUNDARY BEACONS
FAILURE TO REMOVE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

ENGINEERS DETAILS REQUIRED

SHEET 1 | 1 COPY →

CITY OF DURBAN

PLAN NUMBER

0071-07-95-6

APPROVED: R.A. MOORE
EXECUTIVE DIRECTOR, PHYSICAL ENVIRONMENT SERVICE UNIT

DATE: 24/7/95

THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

ORIGINAL

ELECTRICITY SERVICES

Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Electricity Department:

- 1) The location of any electrical services and conductors in the vicinity of the proposed works.
- 2) Specialized requirements regarding excavation, water supply and other parts.

IN ACCORDANCE WITH THE TOWN PLANNING AUTHORITY

GRANTED

28 JUL 1995

Signature: *[Signature]*
Checked: *[Signature]*

SUBDIVISION AND LAND DEVELOPMENT SECTION

SITE PLAN CHECKER

[Signature] 24/7/95

PROPOSED ADDITIONS = 40.82

owner: K.Florence

Proposed garage & boundary wall for MR M FLORENCE at 215 KENSINGTON DRIVE, DURBAN NORTH

drawn by: STANLEY NAIDOO
PO BOX 12024
MOBENI

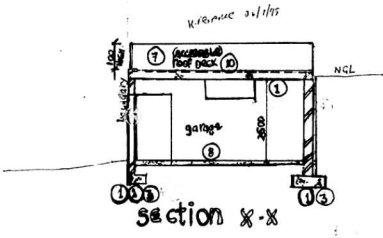
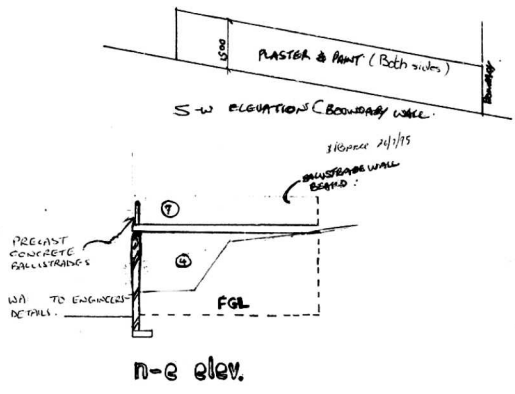
tel: 4-6529

date: JUNE 1995 scale 1:100/1:500

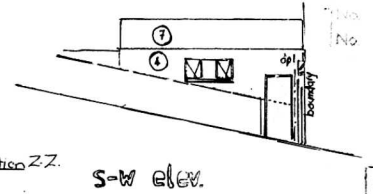
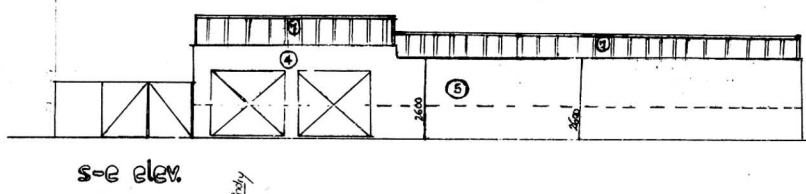
- NOTES**
- 1 All structural work to engineer's details.
 - 2 No part of building to encroach over boundary.
 - 3 Foundations min 600x200 & o engineers details.
 - 4 Plaster & paint.
 - 5 Ex boundary wall to be increased in height.
 - 6 Demolish part of ex boundary wall.
 - 7 Balustrades to comply with part d of nbc.
 - 8 100mm concrete surface bed on Gunglax underlay on well compacted panned soil.
 - 9 Butabone 3000 vertical r/c.
 - 10 Berbercom waterproofing on screed laid to fall to future outlet.

COPIES TO BE PROVIDED TO THE TOWN ENGINEER OF ALL BOUNDARY COUNCIL WALLS

APPROVED: R.A. MOORE
 EXECUTIVE DIRECTOR, PHYSICAL ENVIRONMENT SERVICE UNIT
 DATE: _____ PER: *[Signature]*



Any construction work undertaken by the owner which encroaches upon a Council servitude is undertaken entirely at owner's risk. Any consent by the Council thereon shall not be deemed to be a waiver of any of the Council's rights in respect of such servitude.

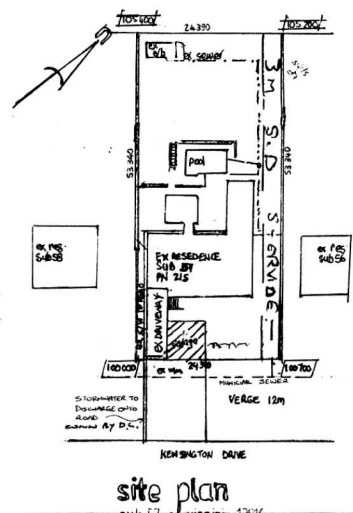
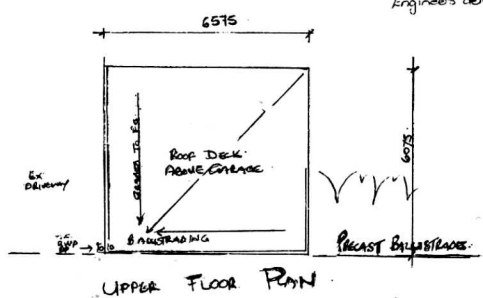
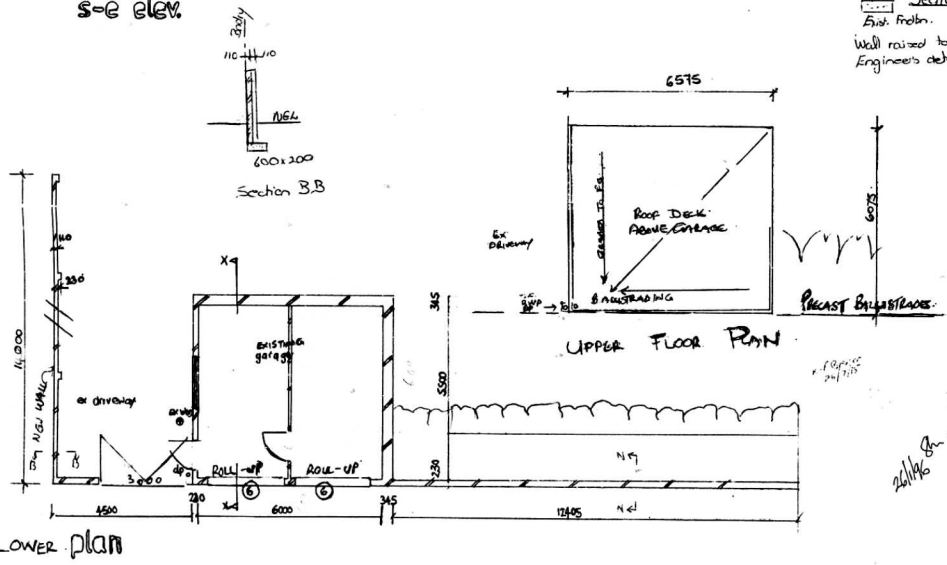


AS BUILT
 12 MAR 1996
 Signature: *[Signature]*
 Checked: *[Signature]*
 ENGINEERS DETAILS REQUIRED

ANTGUARD - D.P.C. - VERTICAL D.P.C.
 SOIL POISONING REQUIRED

BURDEN OF LAND DEVELOPMENT SECTION
SITE PLAN CHECKED
 14 DEC 1995
 Signature: *[Signature]*

57 of 3193 De. Moore
 owner: K. Florence
 Proposed boundary wall for MR. K. FLORENCE at 215 KENSINGTON DRIVE, DURBAN NORTH
 drawn by STANLEY NAIDOO
 MOBENI
 tel: 4008528
 date JUNE 1995 | scale 1:100/1:500
 095271



CHROMADEK ROOF SHEETING

NEW CHROMADEK ROOF SHEETING ON RECTANGULAR POWER COATED COLUINS & BEAMS WITH CENTRAL DUTTER & DOWN PIPE.

1800MM POWER COATED RATTIN & DOWN PIPE.

6300MM POWER COATED BEAMS.

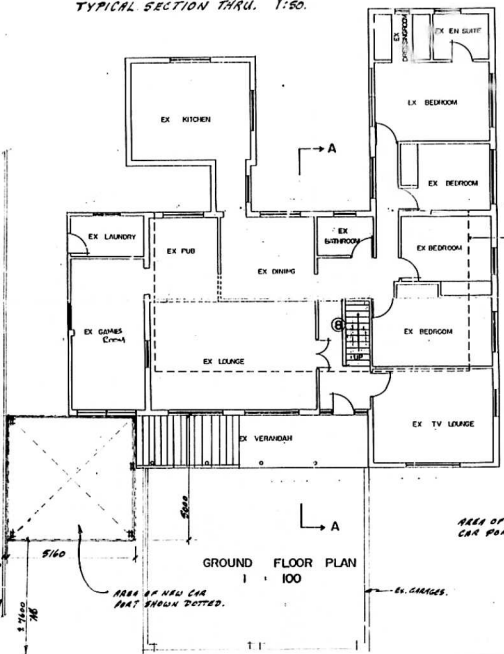
SPECIAL POWER COATED COLUMNS.

BEAM HOLES AND PIPES TO EX. WALL

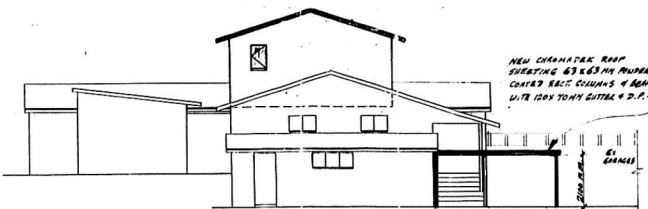


SOUTH EAST ELEVATION

TYPICAL SECTION THRU. 1:50.

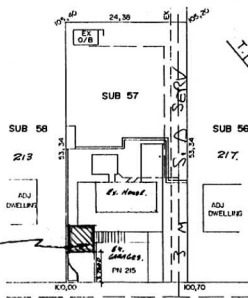


GROUND FLOOR PLAN 1:50



SOUTH WEST ELEVATION

NEW CHROMADEK ROOF SHEETING ON RECTANGULAR POWER COATED RATTI COLUMNS & BEAMS WITH 1800MM DUTTER & D.P.



SITE PLAN. 1:500.

AREA OF NEW CAR PORT.

AS BUILT
[Signature]

ENGINEERS DETAILS REQUIRED

"It should be noted that this plan has been prepared on the basis of information thereon."

"It should be noted that this plan has been prepared on the basis of information thereon."

6 MAY 1998
[Signature]

SHEET 3
CITY OF DUBAI
PLAN NUMBER
0373-05-98-4
APPROVED: M. I. SHIBANI
EXECUTIVE DIRECTOR DEVELOPMENT
14 JUL 1998
DATE PER

This Agreement shall lapse six months after approval date unless the erection of the building in terms of Art 103 of 1977 is commenced.

LAND USE MANAGEMENT
CONSENT USE AUTHORITY
GRANTED
08 JUL 1998
Signature: *[Signature]*
Checked: _____

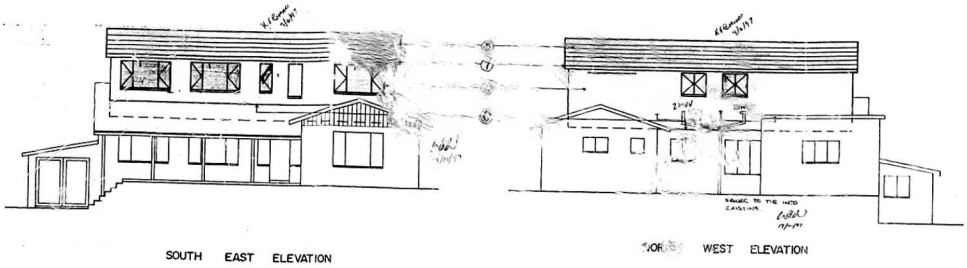
Proposed new car port for:-
MRS. K. FLORENCE.
SUB. 57 OF LOT 2193 D/NORTH.
215 KENSINGTON DRIVE.

Schedule of areas:

Property	59 m.
Exist. House	59 m.
new Cover Slop	59 m.
new Double Garage	59 m.
new additions	25.0

Scale: 1:100 1:500 1:1500.
Drawn by: A.V. BUSTON, Plans B31294
150 PROSPECT HALL RD
DUBAI NORTH
4051

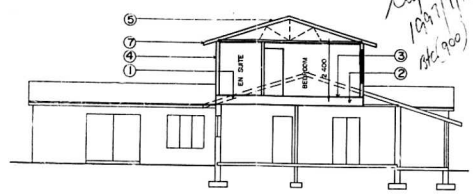
PLANNING SERVICES
1. All building planning permissions
2. All building planning applications
3. All building planning applications
4. All building planning applications
5. All building planning applications
6. All building planning applications
7. All building planning applications
8. All building planning applications
9. All building planning applications
10. All building planning applications



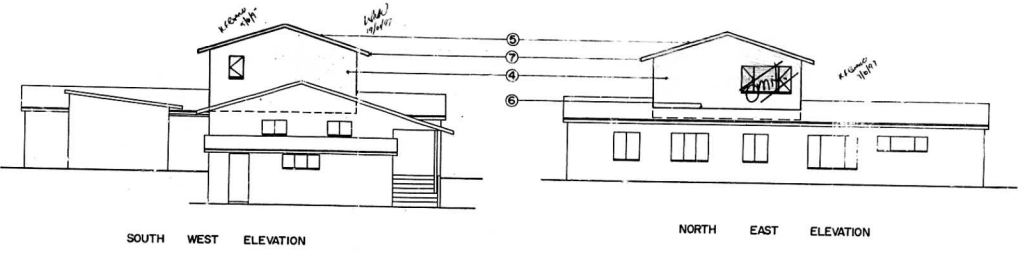
LEGEND.

1. EXISTING BATTERS TO BE REMOVED.
2. MAIN BEARER BEAM TO ENGINEER'S DETAILS.
3. 18mm SHUTTERBOARD FLOOR ON MAIN BEARER BEAM TO ENGINEER'S DETAILS.
4. NUER FIBRE CEMENT SHEETING FIXED TO TIMBER FRAMING; SHIP COAT FRAGER AND PA TO MATCH EXISTING.
5. TILES TO MATCH EXISTING ON 38 x 38 BATTERS ON APPROVED UNDERLAY ON TIMBER TRUSSES TO ENGINEER'S DETAILS. PITCH TO MATCH EXISTING. 1:2.5
6. GALVANIZED FLASHING TO CONTRACTOR'S SPECIFICATION.
7. 125mm HOLE ROUND PIPE GUTTER TO MATCH EXISTING.
8. NEW SA PINE STAIRCASE TO NBR TO ENGINEER'S DETAIL. 45 x 150MM RISERS, 250MM TREADS.

AS BUILT



SECTION A - A
1 : 100



CITY OF DUNDAS
APPROVED FOR CONSTRUCTION
DATE: 29 JAN 1996
SHOULD WORK NOT HAVE COMMENCED UNTIL APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

"It should be noted that this plan has been approved on the basis of information thereon."

ENGINEER'S DETAIL REQUIRED

STRUCTURE TO BE TO MUNICIPAL RULES OR DESIGNED BY ENGINEER

GRANTED
18 JAN 1997
Signature: B. J. ...

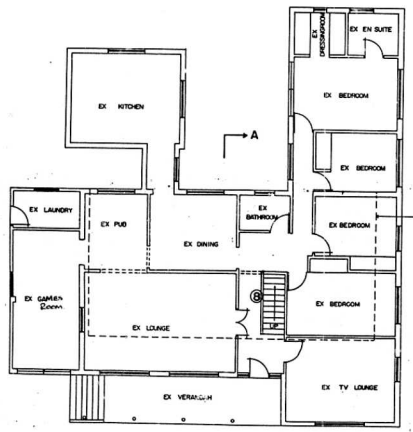
ELECTRICAL, MECHANICAL HEIGHTS AND OPENINGS TO COMPLY WITH NBR AND DCA OF 1988

GENERAL NOTES.

- A. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES AND THE OWNER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- B. ONLY FIGURED DIMENSIONS ARE TO BE TAKEN, DRAWINGS ARE NOT TO BE SCALED.
- C. ALL LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.
- D. ALL REINFORCED CONCRETE WORK TO BE STRICTLY IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATION.
- E. ANTIQUARDS ABOVE DAMP-PROOF COURSE TO COMPLY WITH RELEVANT BY-LAWS AND NBR REQUIREMENTS.
- F. ALL WALLS TO BE REINFORCED WITH TWO COURSES BRICKWORK AT ALL CELL AND WALL JUNCTIONS.
- G. ALL SHEETS OF GLASS IN EXCESS OF 1.5sqm TO BE OF AN APPROVED SAFETY GLASS AT SLIDING DOORS ETC.
- H. LIGHTING AND VENTILATION IN COMPLIANCE WITH NBR CLAUSE 01.
- I. ALL TYPING WORK TO BE IN ACCORDANCE WITH NBR CLAUSE 01.
- J. DEVELOPER TO BE RESPONSIBLE TO COMPLY WITH ALL E.O.C. TABLES THAT ETC.

- 1) Partition Added to Stair Landing Area
- 2) Window Added To Bed Room Northwest Slant
- 3) Bathroom Window Repositioned
- 4) Window omitted to NE Elevation
- 5) Window change South East Elevation

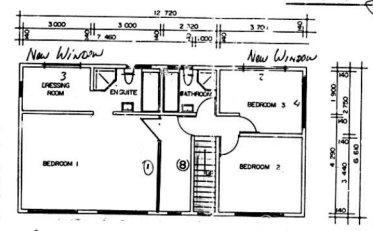
AMENDMENT APPROVED
(1-5) 11 JAN 97
DATE
SIGNATURE: J. H.



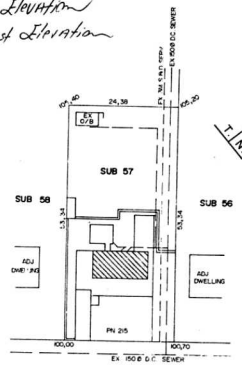
GROUND FLOOR PLAN
1 : 100

FLOOR AREAS

PROPOSED	84.08m ²
EXISTING	25.46m ²
TOTAL	109.54m²
SITE	1300.43m²

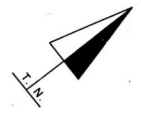


FIRST FLOOR PLAN
1 : 100



KENSINGTON DRIVE

SITE PLAN
1 : 500



PROJECT
PROPOSED ROOFRoom SABS 082
FOR: MRS K. FLORENCE
SUB 57 OF LOT 3193 D/NORTH
215 KENSINGTON DRIVE

DRAWN BY
PLANS GALORE CC
C.S. 10001

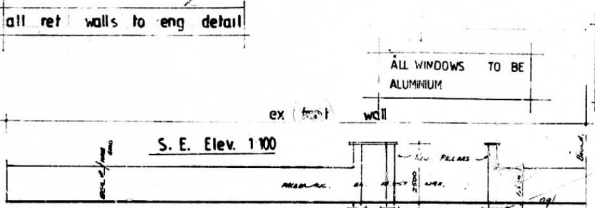
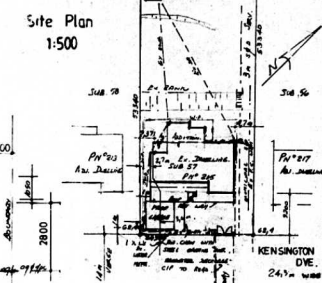
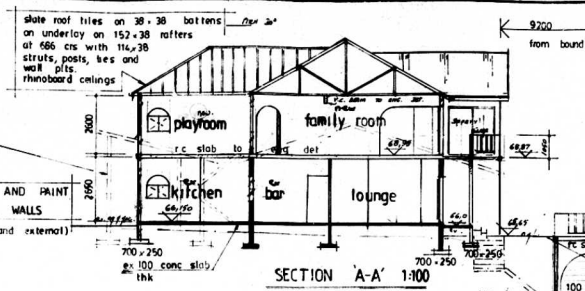
41 SOUTH ROAD ESCOMBE QUEENSBURG 0829067725 4093 4070

SIGNED: [Signature] DATE: DEC '96

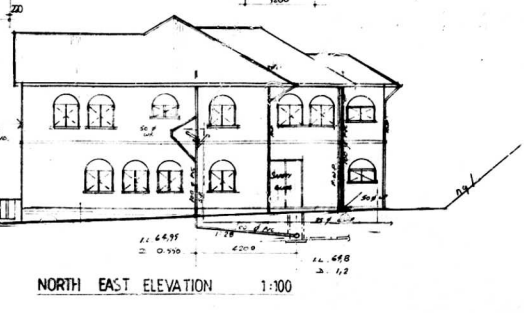
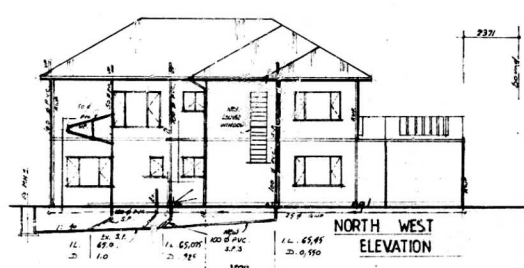
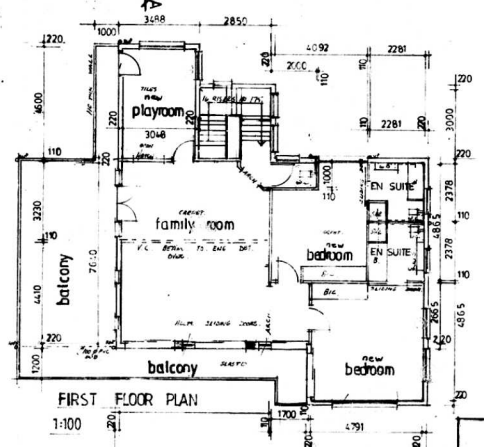
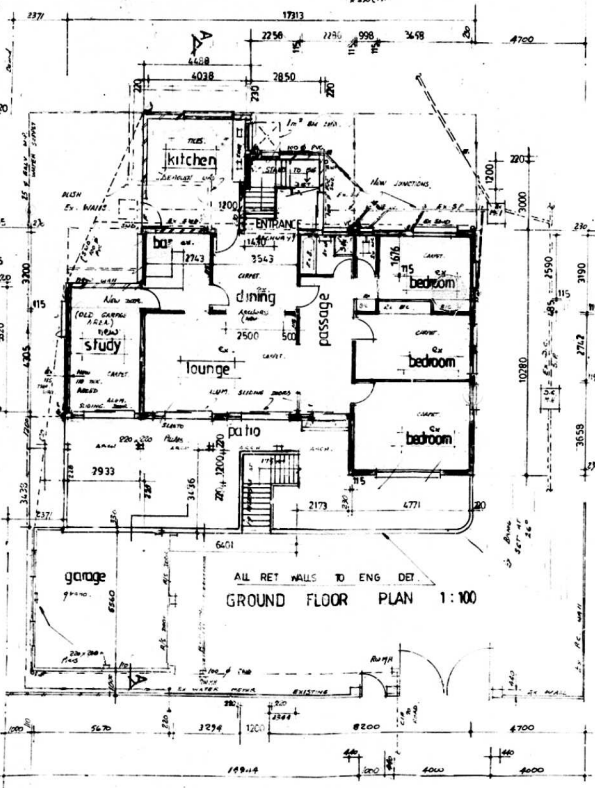
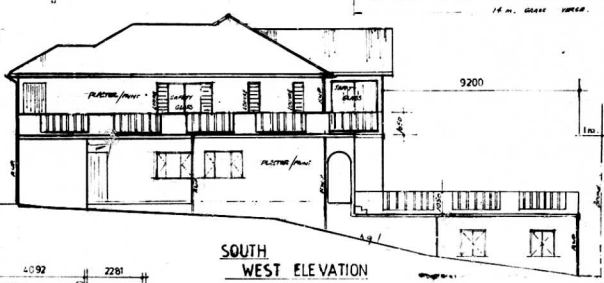
SCALE: 1:100 unless otherwise shown

CONTRACT REF. NO.

OWNER'S SIGNATURE



2 courses of brickwork reinforced with brickface with solid joints in cement mortar in all walls below window sill, window head and roof pit lvs foundations to be taken down to solid ground



- 24/10/14
1. GAV. FOR HOT TO BE USED FOR HOT WATER SUPPLY
 2. GAPS TO BE FILL TO REPAIRS UNDERGROUND CABLE TO NEW METER BOX AND BE FIRE ALTERNATIVE CONNECTION
- Carver Signed *[Signature]*
Date 24/10/14

CITY OF DURBAN
PLAN NUMBER 24/187
APPROVED
1924-19-20
D. C. MACLEOD
City Engineer

NO DETAILS REQUIRED

ENGINEER'S DETAILS OF RETAINING WALL REQUIRED
Any person undertaking building operations in accordance with this plan is required to ascertain from the City Electrical Engineer the location of underground cables in the vicinity of the proposed works prior to the commencement thereof.

Qualified Professional Engineer to be responsible for and approve all proposed:
Foundations Retaining Walls
Earthworks Stormwater-Drainage-Structures
Barriers
Complete Forms 1 and 2, and approval plans

CITY HEALTH DEPT. URBAN PLANS SECTION
REC'D
1924 APR 19
Approved: *[Signature]*

DATE OF SUBMITTAL OF ANY FURTHER WORKS TO BE AT LEAST 14 DAYS BEFORE THE EXPIRY OF THIS PLAN.
The City Engineer shall not be held responsible for any error on the part of the applicant.
The City Engineer shall not be held responsible for any error on the part of the applicant.
The City Engineer shall not be held responsible for any error on the part of the applicant.

rate n° 9193 8098
exist main bldg area 178 m²
exist out bldg area 13 m²
new total bldg area 370 m²
additional bldg area 179 m²
Proposed extensions and alterations to ex dwelling for Mr SULLIVAN at 215 Kensington Drive Durban
SUB 57, OF VIRGINIA
N° 13816
drawn by: *[Signature]*

ORIGINAL

PLAN SUBSTITUTED 6/8/80
SHEET SUBSTITUTED
SHEET ADDED

SHEET 1/1 COPY 3

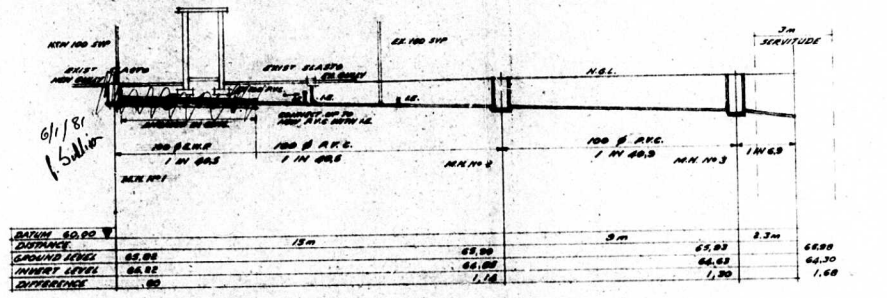
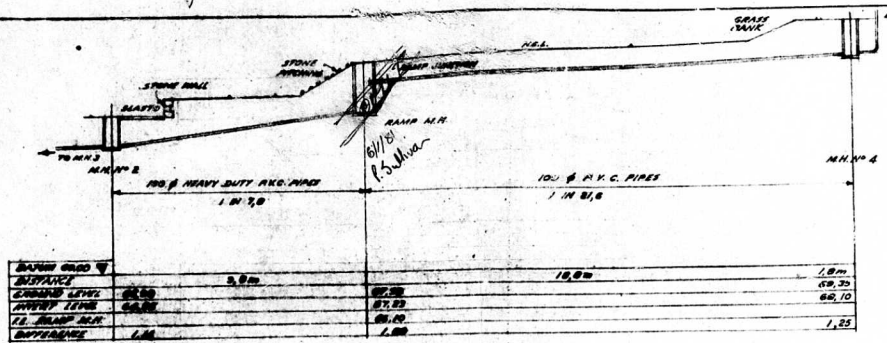
CITY OF DURBAN
PLAN No. 717/6/80

APPROVED 15 AUG 1980
D.C. MACLEOD
CITY ENGINEER

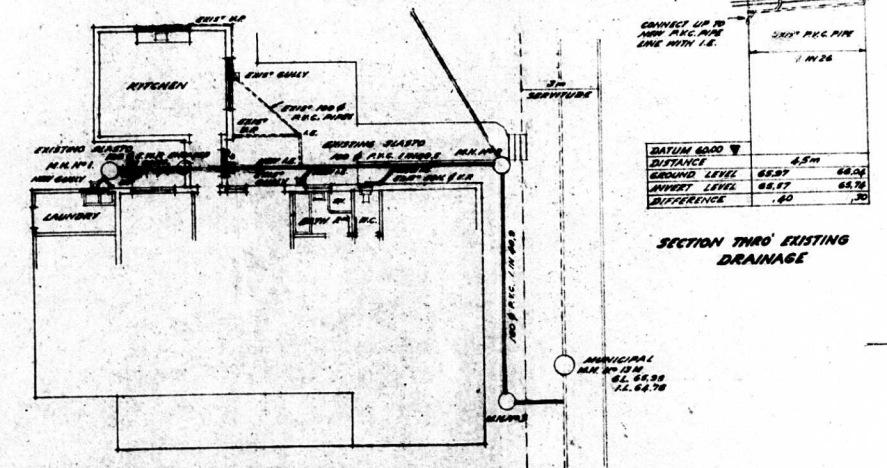
All existing wastes, drains, soil & vent pipes to conform to current By-laws

Contractor to expose the D.C. Drain at proposed point of connection and ascertain correct invert level. Invert of 100 M.M. to be set, allowing a 1% gradient fall to D.C. drain. All other drainage to be as shown.

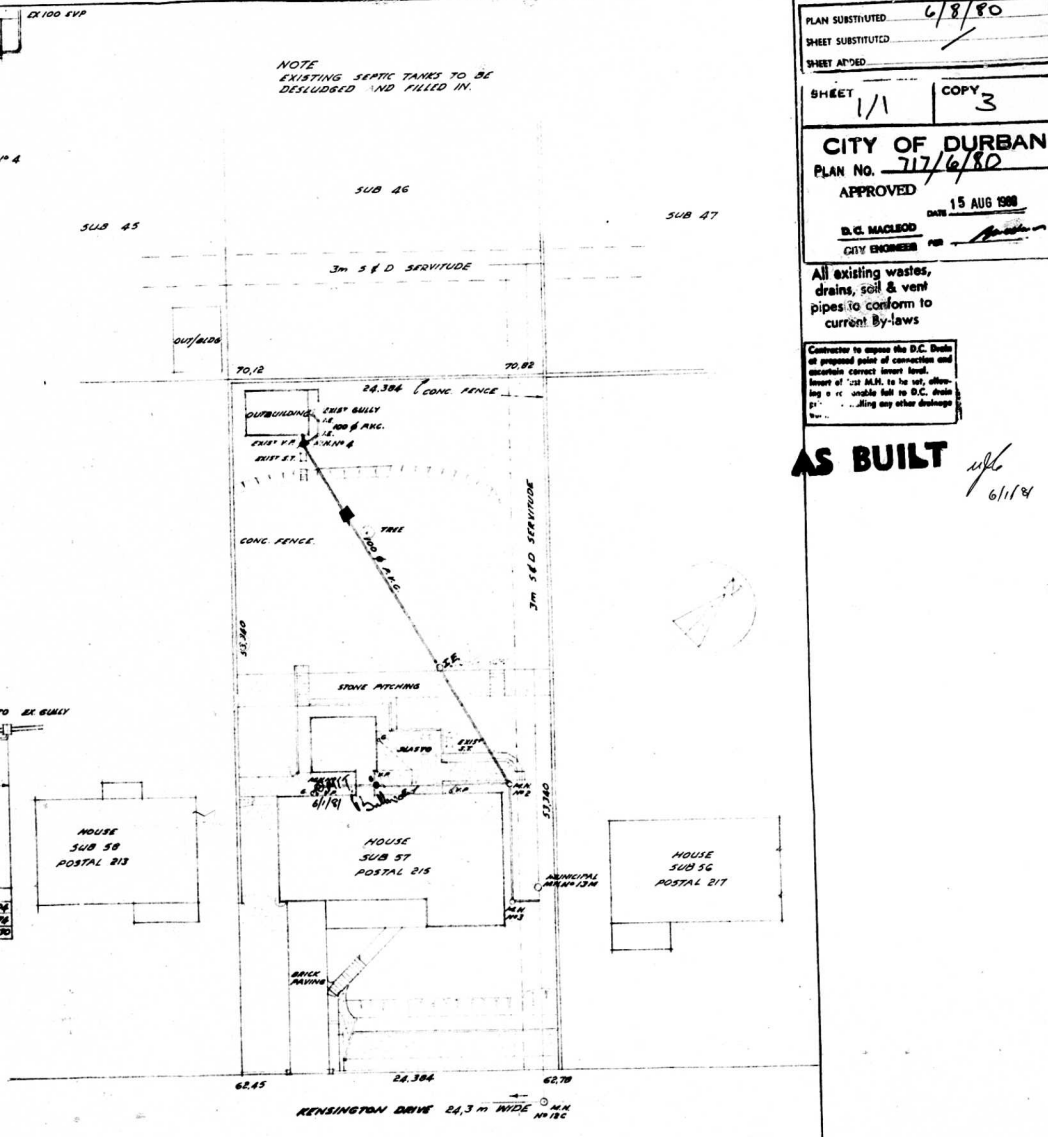
AS BUILT
6/1/84



DRAINAGE SECTIONS
HORIZONTAL 1:100
VERTICAL 1:100



SECTION THRU EXISTING DRAINAGE



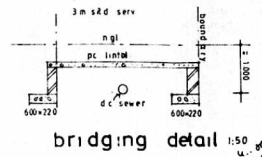
SITE PLAN
SUB 57 OF VIRGINIA 13816

PROPOSED NEW SEWERAGE CONNECTION TO MUNICIPAL LINE AT NO 215 KENSINGTON DRIVE, DURBAN NORTH, FOR H.O. SULLIVAN ESQ.

SCALES 1:100 1:200 RATE NO 688/9.25 005

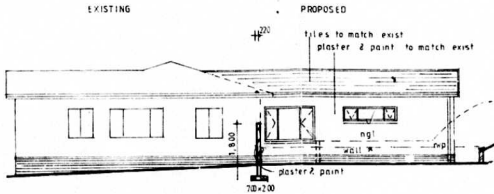
DRAWN BY: H.T. DATE 80-06-80



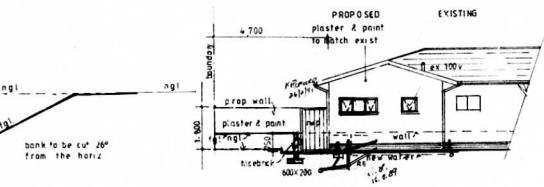


AMENDMENT APPROVED
 D. C. MACLEOD
 26-2-91
 CITY ENGINEER

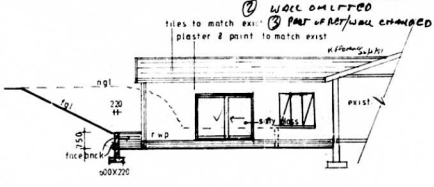
It should be noted that this plan has been approved on the basis of information thereon.



north-east elevation

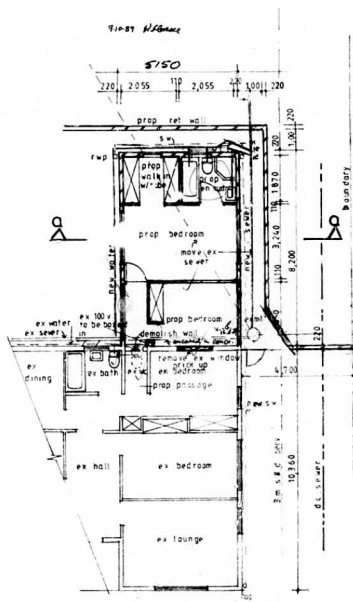


north-west elevation

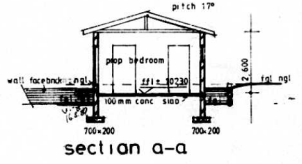


south-west elevation

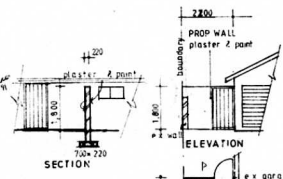
All existing wastes, drains, soil & vent pipes to conform to current National Building Regulations



floor plan 1:130



section a-a

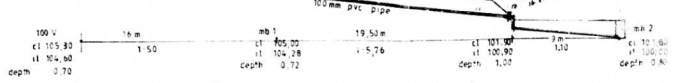


wall plan, section & elevation

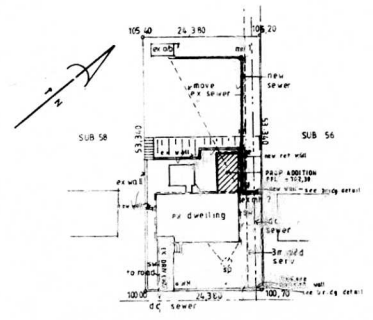
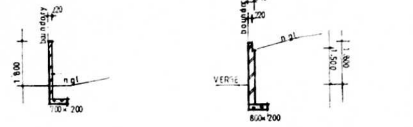
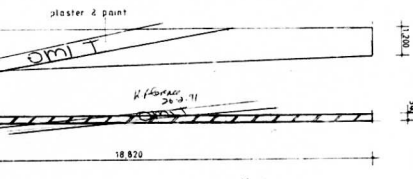
NOTES
 roof tiles to match exist on 38x38 battens on pvc underlay on ganged nail trusses 700 c/c on 114 x 50 wallplate rhinoboard ceiling
 2 courses brickwork at c/c wallplate level with solid mortar joints
 asbestos gutters + rwp
 100 mm conc slab reinforced with weld mesh on posioned soil airtents over windows

AREA
 ex dwelling 171.85 m²
 ex outb 44.40 m²
 prop dwelling 39.21 m²

NOTES FOR RETAINING WALL
 weepholes must be provided and suitable backed depend on nature of ground
 min recommend 50 x 41m c/c vert
 foundation soil must be well compacted under the foundation



sewer section 1:200



site plan 1:500

SHEET 1/1 COPY 3
CITY OF DURHAM
 PLAN NUMBER: 262/16/10/12
 APPROVED: D. C. MACLEOD
 4 SEP 1991

AS BUILT

TOWN PLANNING BRANCH
APPROVED
 1991-07-04
 Signature: K.S. [initials]
 Checked:

*As certified on the Application from the holder of the title is responsible for:
 (1) compliance with the National Building Regulations
 (2) compliance with the City of Durham Building By-laws
 (3) compliance with the City of Durham Planning By-laws
 (4) compliance with the City of Durham Environmental Health By-laws
 (5) compliance with the City of Durham Fire By-laws
 (6) compliance with the City of Durham Traffic By-laws
 (7) compliance with the City of Durham Parks and Recreation By-laws
 (8) compliance with the City of Durham Public Health By-laws
 (9) compliance with the City of Durham Water and Sewerage By-laws
 (10) compliance with the City of Durham Electricity By-laws
 (11) compliance with the City of Durham Gas By-laws
 (12) compliance with the City of Durham Telecommunications By-laws
 (13) compliance with the City of Durham Other By-laws
 (14) compliance with the City of Durham Other By-laws
 (15) compliance with the City of Durham Other By-laws
 (16) compliance with the City of Durham Other By-laws
 (17) compliance with the City of Durham Other By-laws
 (18) compliance with the City of Durham Other By-laws
 (19) compliance with the City of Durham Other By-laws
 (20) compliance with the City of Durham Other By-laws

Any person undertaking building operations in accordance with this plan is required to ascertain from the City Engineer, Engineer, the location of underground cables in the vicinity of the proposed works prior to the commencement thereof.

ENGINEER'S DETAILS OF RETAINING WALL REQUIRED

proposed addition to dwelling, retaining wall, walls & boundary wall for mr Florence on sub 57 of Virginia 13816 215 Kensington Drive

K. Florence
 Ref: no. 9/930-98

DATE 1. 6. 89
 SCALE 1:100/500/200
 DRAWN U. VAN MEYER
 DWG NO 107/6



SUB 48

SUB 46

SUB 47

3m S & D SERVITUDE



70,12

70,82



24,304

NEW CONC FENCE 2m HIGH

EXISTING CONCRETE FENCES 1,0m HIGH

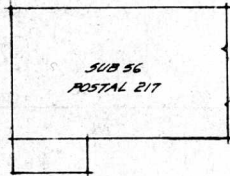
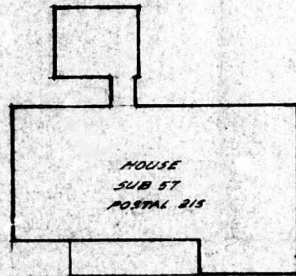
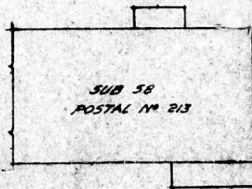
EXIST CONC FENCE 1,0m HIGH

SMOOTH PANELS 2m HIGH

POSTS TO BE EMBEDDED IN CONCRETE



SECTION THRU FENCE



55,700

3m S & D SERVITUDE

55,240

68,65

70,4

62,78

KENSINGTON DRIVE 24,3 m WIDE

SHEET

COPY

CITY OF DURBAN

PLAN No.

3007/78

APPROVED

DATE

10 AUG 1978

D. C. MACLEOD

CITY ENGINEER

PER

I, H. O. SULLIVAN.....
the registered owner of property described as
SUB 57, 215, KENSINGTON DRIVE, DURBAN 215

hereby acknowledge that any portion of the precast walling erected upon the Durban City Council's servitude area on the said property, is erected and will remain there at my own risk, and if damaged in the course of any Departmental work carried out within the said servitude area, no liability whatever shall attach to the Durban City Council in respect of such damage.

Date: 21.8.78

Signed H. O. Sullivan

AS BUILT

NOTES
THE LEVEL OF SOIL ON EITHER SIDE OF THE P.C.F. TO BE THE SAME FOR A MIN DISTANCE OF 305 mm EXCEPT WHERE P.C.F. RETAIN NO MORE THAN 305 mm.

FENCE TO BE SMOOTH PANEL 24,304 LONG 2m HIGH.

TO BE 'RECTED' BY 'TAYDEE'

PRECAST CONCRETE GARDEN WALLS ON BOUNDARIES

BOUNDARY BEACONS TO BE EXPOSED AND POINTED OUT TO THE DISTRICT BUILDING INSPECTOR BY THE APPLICANT BEFORE ERECTION OF THE GARDEN WALLS ARE COMMENCED. THE BEACONS SHALL REMAIN EXPOSED AFTER COMPLETION OF THE WORK FOR A FINAL INSPECTION.

DRAWN

H. O. SULLIVAN
215 KENSINGTON DRIVE
DURBAN NORTH.

H. O. Sullivan
11/7/78

PROPOSED PRECAST CONCRETE FENCE FOR H. O. SULLIVAN - 215 KENSINGTON DRIVE - DURBAN NORTH, ON SUB 57 OF VIRGINIA 13816

1 : 200

