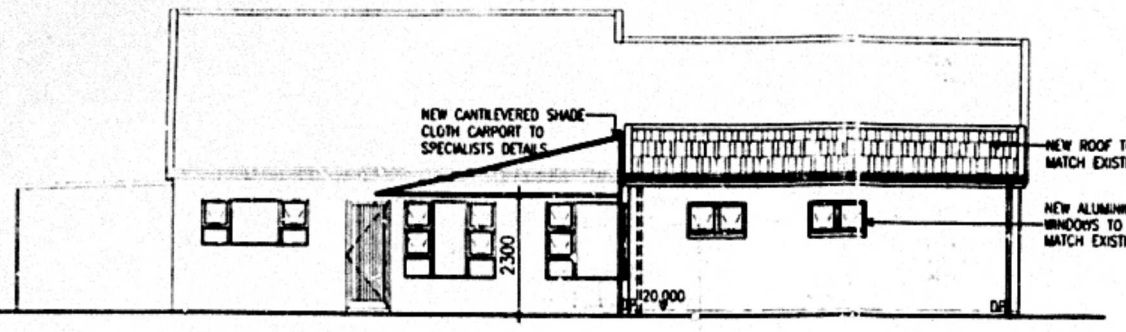


6 EAGLE HILL

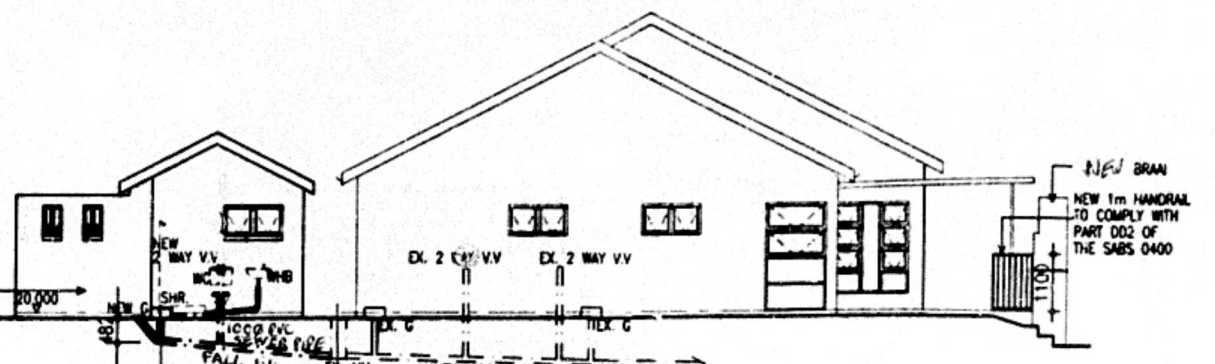
NOTES
 1. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCING ANY WORK.
 2. ALL DIMENSIONS TO BE SHOWN WITH THE ARCHITECT INDICATING THE POINT TO BE CONSIDERED AS THE POINT.
 3. ALL DIMENSIONS TO BE SHOWN WITH THE ARCHITECT INDICATING THE POINT TO BE CONSIDERED AS THE POINT.
 4. COPYRIGHT AND ALL RIGHTS RESERVED.
 5. THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING ACT 1974 AND THE BUILDING REGULATIONS 1975.
 6. THESE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE BUILDING ACT 1974 AND THE BUILDING REGULATIONS 1975.

APPLICATION IN PRINCIPLE
 No: PS 110 08 2010
 SHEET: 1/1

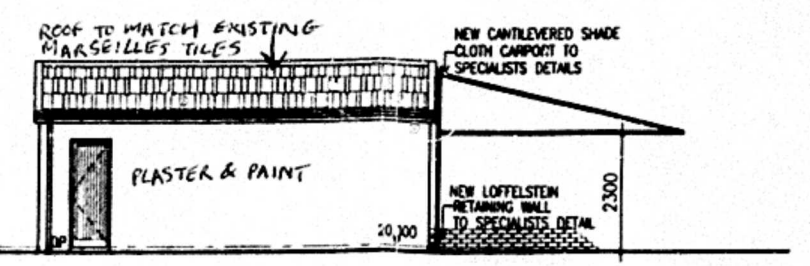
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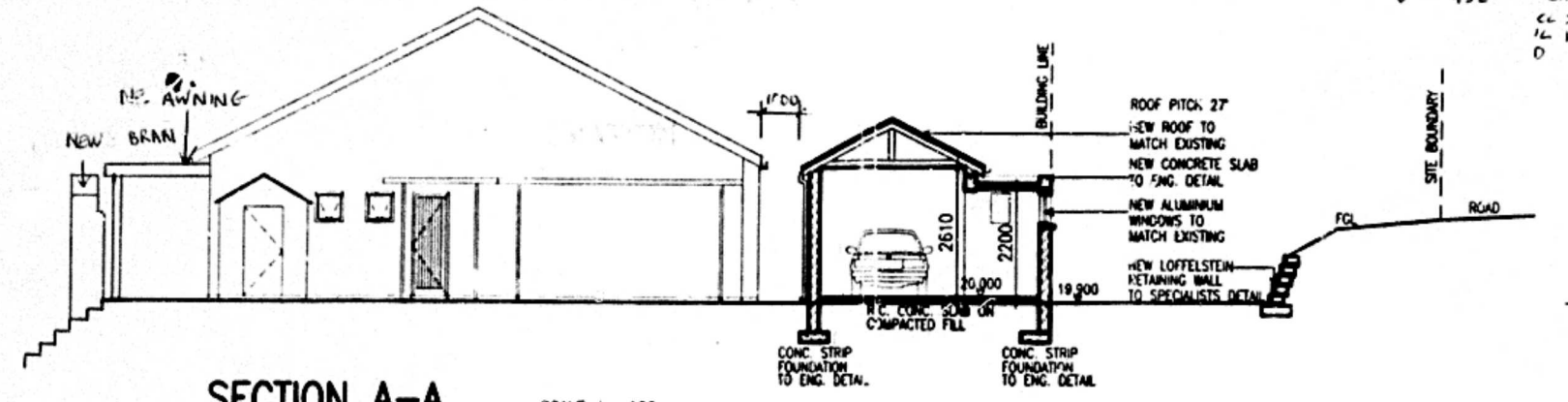
EAST ELEVATION SCALE 1 : 100



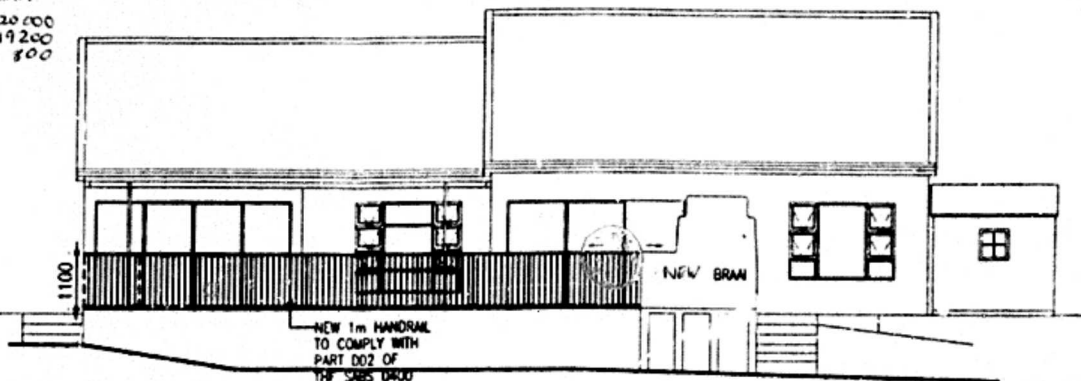
NORTH ELEVATION SCALE 1 : 100



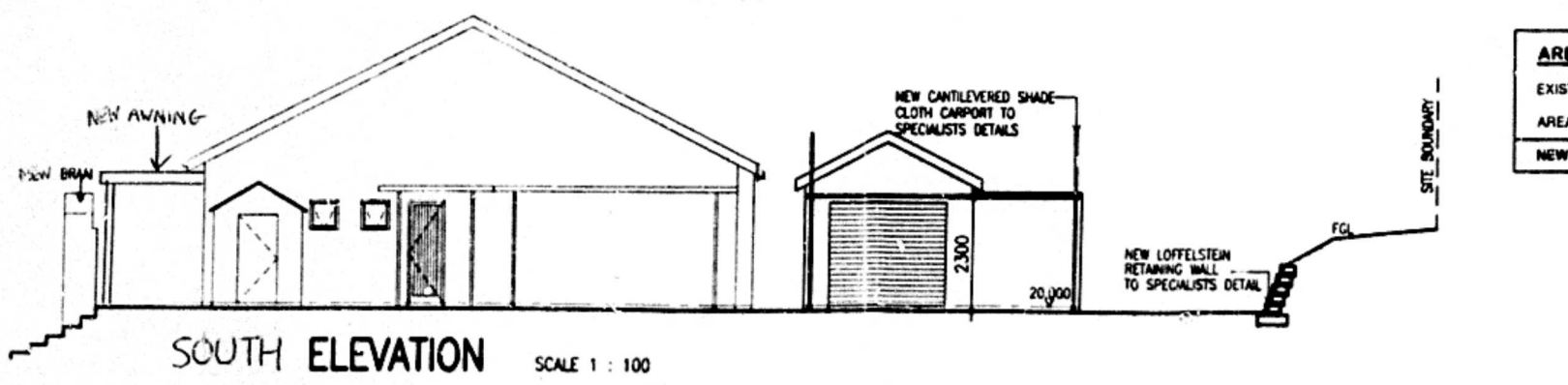
WEST ELEVATION SCALE 1 : 100



SECTION A-A SCALE 1 : 100



WEST ELEVATION SCALE 1 : 100



SOUTH ELEVATION SCALE 1 : 100

AREA SCHEDULE

EXISTING BUILDINGS (166.2+16.1)	181.3m ²
AREA ADDED	33.5m ²
NEW TOTAL AREA (166.2+33.5)	214.8m ²

SITE AREA 1030m²

COVERAGE 3.64%

PERMITTED F.A.R (10%)	412m ²
EXISTING MAIN HOUSE F.A.R (10%)	237.2m ²
EXISTING OUT BUILDING F.A.R (10%)	16.1m ²
TOTAL EXISTING F.A.R (10%)	253.3m ²
PROPOSED GARAGE F.A.R (10%)	33.5m ²
PROPOSED TOILET F.A.R (10%)	37.4m ²
TOTAL PROPOSED F.A.R (10%)	37.4m ²

GENERAL NOTES

- ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY BUILDING OPERATIONS.
- ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SPECIFICATIONS AND SPECIFICATIONS RELATED TO THIS PROJECT AS WELL AS ALL ENGINEERS' DRAWINGS.
- DRAWINGS ARE NOT TO BE SCALED.
- ALL BUILDING WORK AND MATERIALS ARE TO COMPLY WITH THE LOCAL AUTHORITY REQUIREMENTS AND ARE TO BE IN ACCORDANCE WITH THE SABS 9488-1990 NATIONAL BUILDING REGULATIONS.
- UNLESS OTHERWISE STATED, ANY PRODUCTS SPECIFIED BY TRADE NAME ARE TO BE INSTALLED STRICTLY IN ACCORDANCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- ALL SLABS, BEAMS, COLUMNS, FOUNDATIONS, STRUCTURAL STEEL, STRUCTURAL WALLS, RETAINING WALLS AS WELL AS ANY OTHER STRUCTURAL ELEMENTS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
- ALL ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH THE ENGINEER'S DESIGN AND DETAIL AND TO THE ENGINEER'S APPROVAL.

FOUNDATIONS

- ALL FOUNDATIONS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.

FLOOR SLABS AND SURFACE BEDS

- ALL CONCRETE FLOOR SLABS AND SURFACE BEDS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
- ALL CONSTRUCTION JOINTS AND CONTROL JOINTS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
- SURFACE BEDS SHALL BE REINFORCED CONCRETE SURFACE BEDS ON MINIMUM 250 MICRON SABS APPROVED POLYTHENE DAMP PROOF MEMBRANE (DPM) SHEETING TO BE LAID ON A BUILDING LAYER OR WELL COMPACTED SOIL. ALL IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
- JOINTS IN THE DAMP PROOF MEMBRANE SHALL OVERLAP MINIMUM 100mm AND BE SEALED. THE EDGES OF THE DAMP PROOF MEMBRANE MUST BE TURNED UP AROUND THE PERIMETER OF THE SLAB.
- SURFACE BEDS ARE TO BE STEPPED DOWN AT THRESHOLDS; 250 MICRON PVC SHEETING TO BE TURNED UP AND DRESSED INTO THE EXTERNAL WALLS UNDER THE BRICKWORK DPC.
- THE SOIL SHALL BE TREATED AND CERTIFIED 'C'. A SOIL POSINGING SPECIALIST USING APPROVED SOIL POSINGING IN ACCORDANCE WITH THE RECOMMENDATIONS OF SABS 0124.

LINTOLS / BEAMS

- PRE-CAST PRE-STRESSED CONCRETE LINTOLS SHALL BE BUILT ABOVE EVERY WINDOW AND DOOR OPENING UNLESS OTHERWISE SPECIFIED.
- BEARING AREAS ON EITHER SIDE OF OPENINGS ON ALL PRE-CAST LINTOL LENGTHS SHALL BE A MINIMUM OF 300mm.
- PRE-CAST LINTOLS SHALL BE PROPPED IN THE CENTRE FOR 7 DAYS.
- BRICK COURSE ABOVE LINTOLS SHALL BE TO THE LINTOL MANUFACTURER'S SPECIFICATION.
- WHERE FACEBRICK HAS BEEN SPECIFIED, PRE-CAST CONCRETE LINTOLS SHALL NOT BE USED.
- FACEBRICK LINTOLS TO BE FACEBRICK-ON-EDGE WITH BRICK HOLES USED TO ACCOMMODATE 16mm MILD STEEL REINFORCING BARS REINFORCING BARS TO BE FREE OF RUST, OILS & OIL BEARING AREAS ON EITHER SIDE OF OPENINGS ON ALL FACEBRICK-ON-EDGE LINTOL LENGTHS SHALL BE A MINIMUM OF 300mm.
- FACEBRICK-ON-EDGE LINTOLS SHALL BE SUPPORTED WITH A STRONG ROFFIT PLANK AND PROPPED IN THE CENTRE FOR A MINIMUM OF 14 DAYS BEFORE STRIPPING.
- ALL IN-SITU REINFORCED CONCRETE BEAMS TO STRUCTURAL ENGINEER'S DESIGN, DETAIL AND SPECIFICATION.

BRICKWORK GENERAL

- ON-SITE MATERIAL STORAGE, MORTAR MIXER, PLASTER MIXER AND LAYING PRACTICE SHALL BE AS PER CONCRETE CONSTRUCTION GUIDE AND SPECIFICATIONS.
- ALL BRICKWORK SHALL BE PLUMB & STRUE & CORRECTLY BONDING.
- ALL BRICKWORK TO HAVE EXPANSION JOINTS TO STRUCTURAL ENGINEER'S SPECIFICATION, UNLESS OTHERWISE SPECIFIED.
- ALL BRICKWORK TO BE CONNECTED WITH GALVANIZED MILD STEEL HOOP IRON TIES AT EVERY 3RD COURSE AT POLYBULPHONE JOINTS.
- THE OUTER FACE OF THE INNER SKIN OF BRICKWORK SHALL BE FACED AND PAINTED WITH A MINIMUM OF 2 COATS OF BITUMASTIC PAINT.
- ALL BRICKWORK SHALL BE LAID ON A FULL MORTAR BED OF UNIFORM THICKNESS. PERP JOINTS SHALL BE FULL AND ACROSS THE ENTIRE WIDTH OF THE WALL LEAF.
- BRICKWORK SHALL NOT BE LAID TO A HEIGHT ABOVE 1300mm IN A DAY.
- DAMP PROOF MATERIALS SHALL COMPLY WITH THE RELEVANT SABS SPECIFICATIONS.
- EMBOSSED 375 MICRON BRICKWORK DPC SHALL BE PROVIDED AT THE TOP OF THE GROUND FLOOR SLAB AND SHALL BE BONDING IN WET MORTAR AND EXTEND SLIGHTLY BEYOND THE OUTSIDE MASONRY UNIT SURFACE, AND OVER THE FULL WIDTH OF THE WALL.
- A J DPC SHALL BE LAPPED BY A MINIMUM OF 150mm AT ENDS, A JOLES, JUNCTIONS AND WHEREVER RELEVANT, AND SEALED. A JO SHALL BE PLACED IN ALL EXTERNAL WALLS TO A MINIMUM HEIGHT OF 150mm ABOVE GROUND LEVEL, AND UNDER WINDOW CILLS.
- FOR ALL CAVITY WALLS, A STEPPED DPC SHALL BE USED AT FLOOR LEVEL WITH THE SLOPE FROM INSIDE TO OUTSIDE.
- FOR ALL CAVITY WALLS WITH A FACEBRICK EXTERNAL SKIN, WEEP HOLES SHALL BE FORMED BY OPEN PERP JOINTS AT 600-1000mm CENTRES AT THE BASE OF THE WALL TO PREVENT ANY MOISTURE BUILD-UP.
- BRICKWORK SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR IMPERIAL BRICKWORK.
- BRICKWORK SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR CONCRETE 80 MPa.
- BRICKWORK SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR CONCRETE 80 MPa.
- BRICKWORK SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR CAVITY WALLS.
- BRICKWORK SHALL BE USED AT EVERY COURSE ABOVE ALL DOORS AND WINDOWS FOR FOUR COURSES AND AT WINDOW CILL LEVEL WHERE POSSIBLE.

ROOF

- THE ENTIRE ROOF STRUCTURE, INCLUDING ALL TRUSSES, BRACING ETC. IS TO BE DESIGNED AND CERTIFIED BY A PROFESSIONAL STRUCTURAL ENGINEER.
- ALL RAFTERS, THE BEAMS AND GIRDERS TO BE TO A ROOFING SPECIALIST'S DESIGN AND DETAIL, SHALL BEAR THE SABS MARK AND SHALL BE MADE FROM MINIMUM 18 STRUTTING TIMBER.
- THE ROOF CONSTRUCTION SHALL HAVE ADEQUATE CROSS BRACING AND SHALL BEAR ON 110mm THICK WALL PLATES.
- SILICON SEALANT TO BE APPLIED AS PER MANUFACTURER'S SPEC.

DRAINAGE NOTES

- ALL DRAINAGE WORK AND MATERIALS ARE TO COMPLY WITH THE LOCAL AUTHORITY REQUIREMENTS IN ACCORDANCE WITH THE SABS 1040-2001 BUILDING REGULATIONS PART 2.
- ALL NEWER RETICULATION, SEPTIC TANKS, SOAKPITS, MANHOLES ETC ARE TO BE TO ENGINEER'S DESIGN, DETAIL AND SPECIFICATION.
- PROVIDE DEEP SEAL TRAPS TO ALL FITTINGS.
- INSPECTION EYES (IE) TO BE PROVIDED TO ALL BENDS AND JUNCTIONS OF ALL SOIL AND WASTE PIPES.
- ALL INSPECTION EYES ARE TO BE ACCESSIBLE AT ALL TIMES; INSPECTION EYES IN PAVED AREAS ARE TO HAVE MARKED COVERS AT GROUND LEVEL.
- PROVIDE 100mm AND 80mm TWO WAY VENT VALVES WHERE POSSIBLE.
- ALL WASTE PIPES TO BE 50mm DIAMETER; ALL SOIL PIPES TO BE A MINIMUM OF 100mm.
- WALLS AND FOUNDATIONS ARE TO BRIDGE OVER ALL PIPES;
- REMOVABLE ACCESS PANELS ARE TO BE PROVIDED TO ALL DUCTS; FITTINGS ARE TO BE FULLY ACCESSIBLE.
- ACCESS IS TO BE PROVIDED 150mm ABOVE GROUND LEVEL AT THE FOOT OF ALL SOIL STACKS.
- PROVIDE 20mm WATER SUPPLY TO ALL FITTINGS.
- PROVIDE HOT AND COLD WATER TO ALL WASH HAND BASINS (WHS), SINKS, PREP BOYLS, SHOWERS AND BATHS, UNLESS OTHERWISE STATED.
- WASTE & SOIL PIPES ARE TO CONNECT SEPARATELY TO STACK.

STORM WATER LAYOUT:

STORM WATER LAYOUT TO BUILDING AND SITE TO BE DESIGNED BY AN ENGINEER, AND TO COMPLY WITH NBR AND SABS 0400 PART 8

ETHEKWINI MUNICIPALITY
 GRANTED
 DATE: 06.09.2010
 BY: [Signature]
 FOR: [Signature]

DATE	DESCRIPTION	NUMBER

walkersmitharchitects

BKS HOUSE, 2 MARYVALE ROAD, WESTVILLE
 BOX 115, WESTVILLE, 2002
 T: 031 264 4600 F: 031 264 4802 E-MAIL: paul@walkersmith.co.za

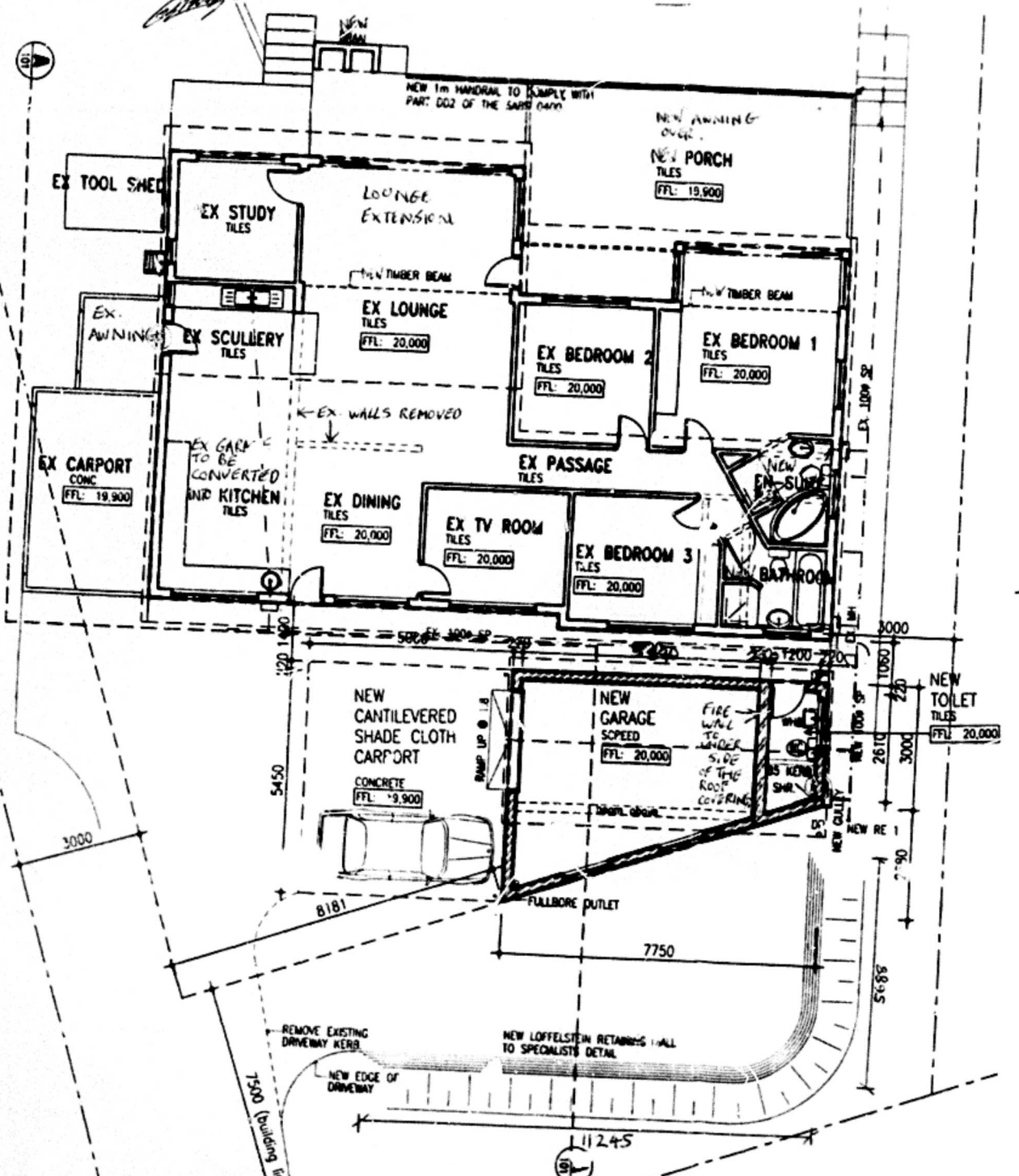
PROP NEW GARAGE TO EXISTING DWELLING AT 6 EAGLE HILL, YELLOW WOOD PARK ON ERF 394 COEDMORE, FOR MR & MRS ACHMAD

FLOOR PLAN, ELEVATIONS & SECTION

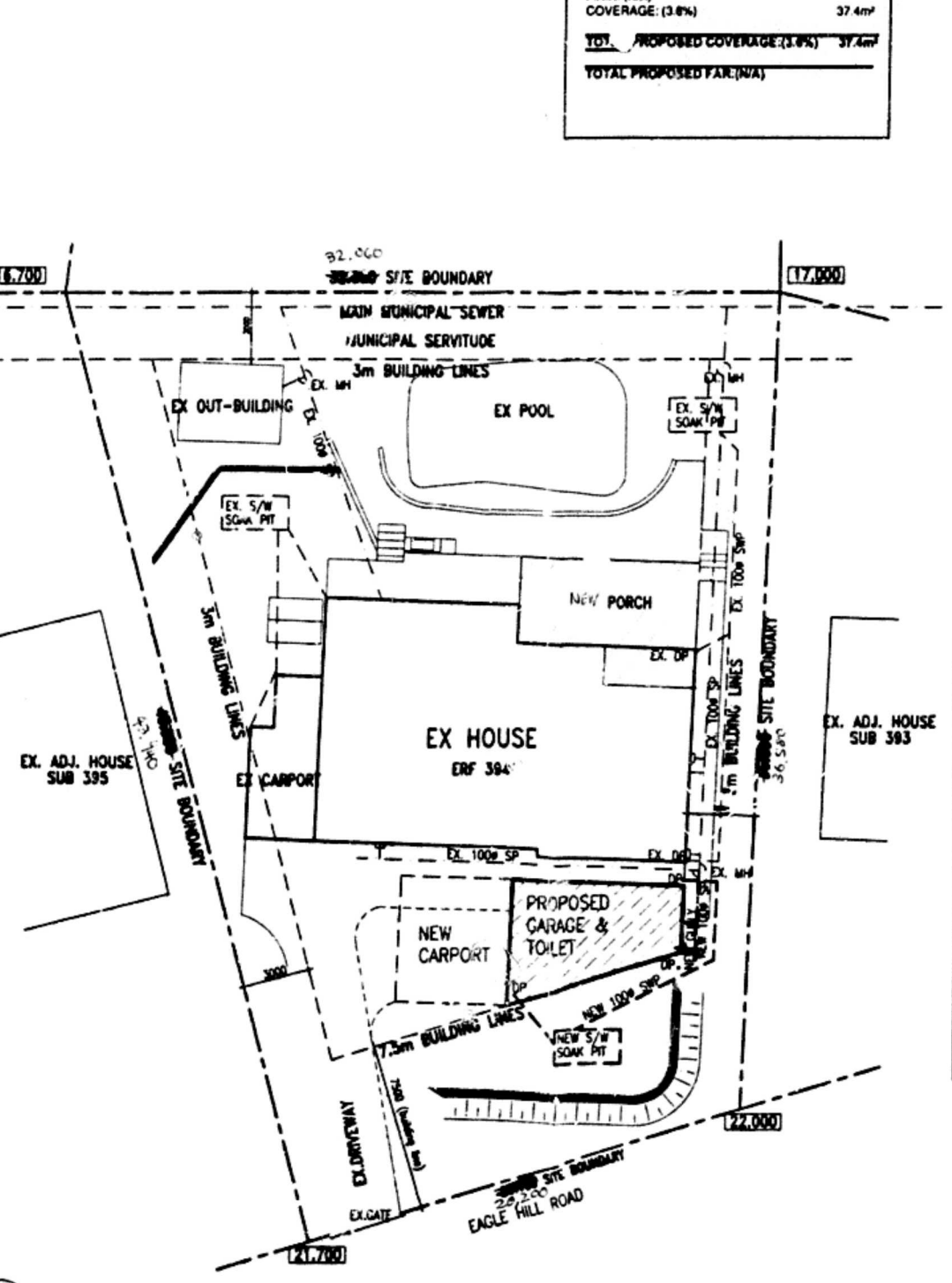
DATE: 06.09.2010

P. SMITH ARCHITECT
 REG. NO. 5156
 S. NGUBANE / L. STEVENS ARCHITECT
 2010-07-30

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FLOOR PLAN SCALE 1 : 100



PLAN : SITE SCALE 1 : 200