

**IMPORTANT**  
 APPLICATION FOR REFUND OF PORTION OF BUILDING FEES ON ABANDONED PLANS MUST BE RECEIVED BY THE CITY ENGINEERS DEPARTMENT BEFORE FOURTEEN (14) DAYS PRIOR TO THE EXPIRY DATE OF APPROVAL OF THIS PLAN.

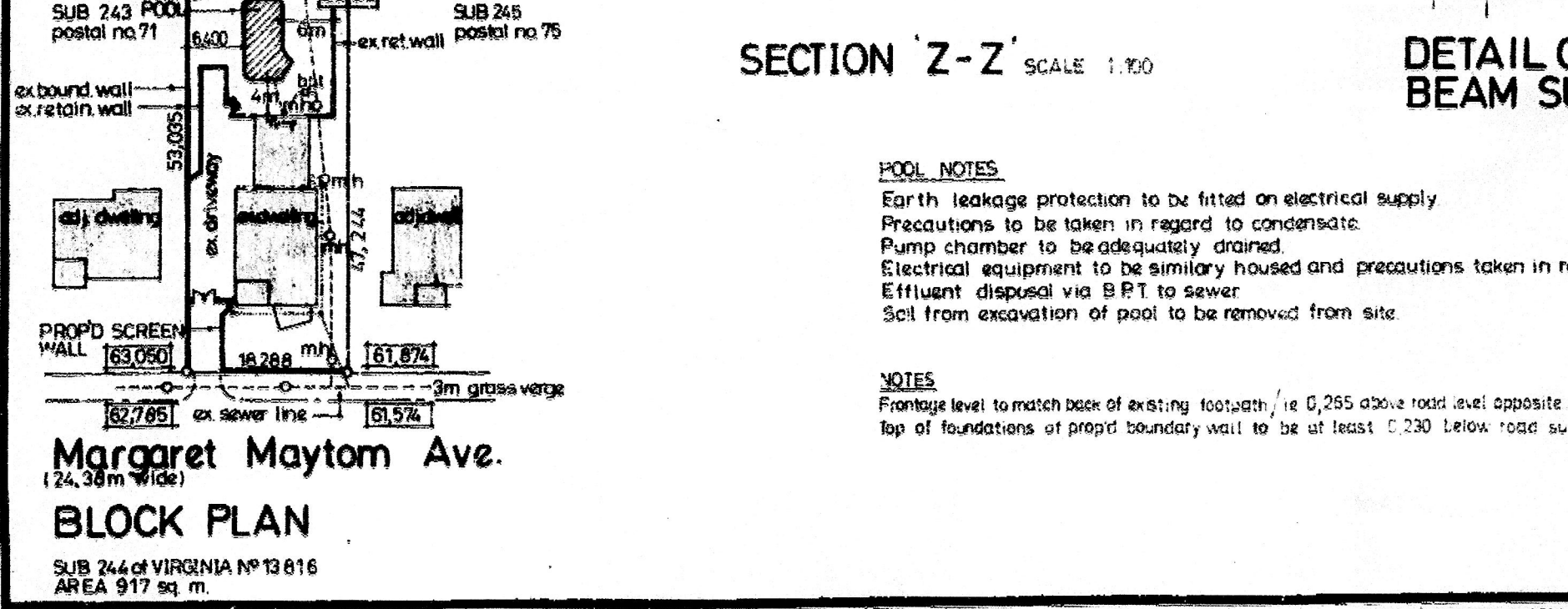
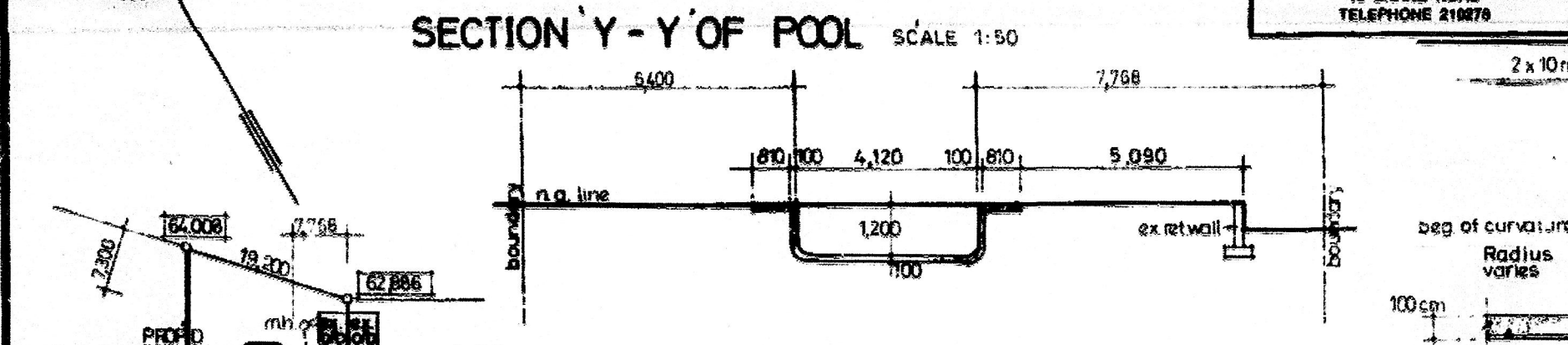
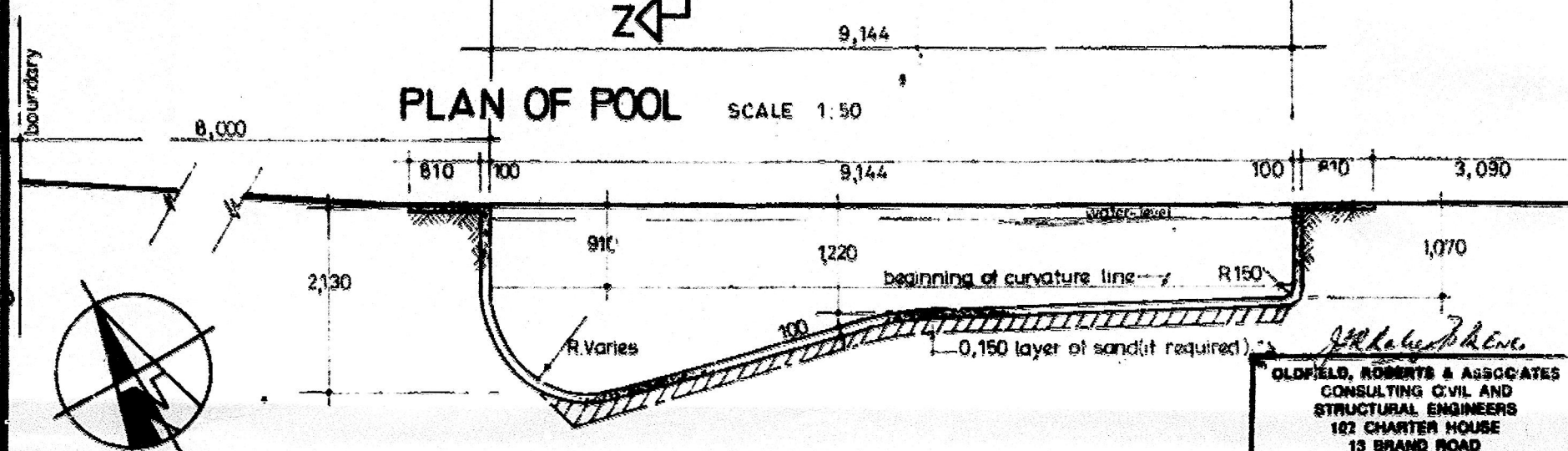
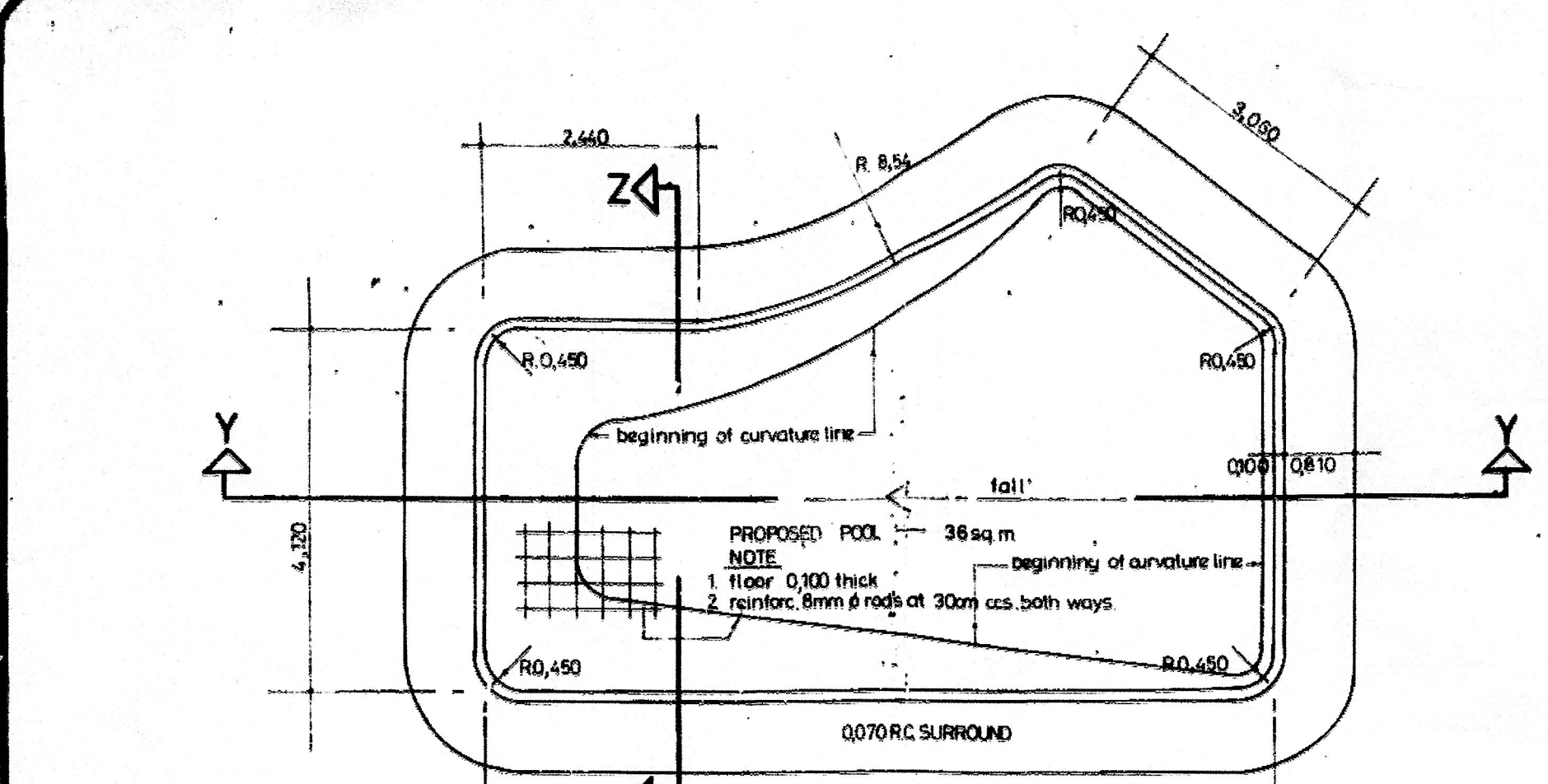
**FOUNDATION LEVEL REQUIREMENTS**  
 Top of foundations of any foundation works to be at least 200 mm below the levels given below.  
 Where no level is indicated, foundations shall not be higher than the nearest edge of the adjacent road level.  
 Similar and position of foundations on the road reserve boundary shall be constituted on the same basis as the level of road and shall either (A) conform to back of existing footpath/curb OR (B) be at a level above/below nearest existing curb OR above/below the nearest edge of its kerb/road/verge road.  
 Foundation level to be indicated on drawings.  
 Building frontage level to be indicated.  
 Building frontage level NOT IN ORDER.  
 Underlying form to be submitted.

**ORIGINAL AS BUILT**  
 Refer to Part 1019/1083 approved 22/1/83.

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PROJECT	Prop'd Pool and Screen Wall.
OWNER	MR. H. STEERE
SITE DESCRIPTION	Sub 244 of Virginia N° 13816.
ADDRESS	73 Margaret Maytom Ave

graham d fuller  
 23 LAUREL ROAD  
 LOWER GLENWOOD  
 DURBAN 4001  
 TEL: 292198  
 DATE 23-2-1981  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 SCALES: 1:100, 1:500  
 DRAWING NUMBER: G/81/20/1.

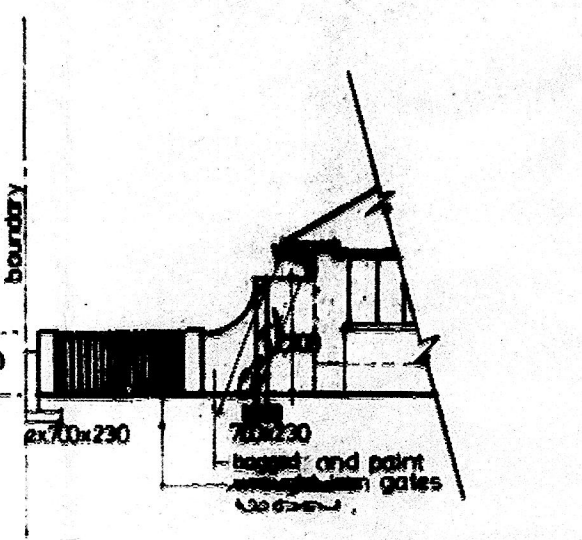


**POOL NOTES**  
 Earth leakage protection to be fitted on electrical supply.  
 Precautions to be taken in regard to condensate.  
 Pump chamber to be adequately drained.  
 Electrical equipment to be similarly housed and precautions taken in regard to flooding seepage and rainwater.  
 Effluent disposed via B.P.T to sewer.  
 Soil from excavation of pool to be removed from site.

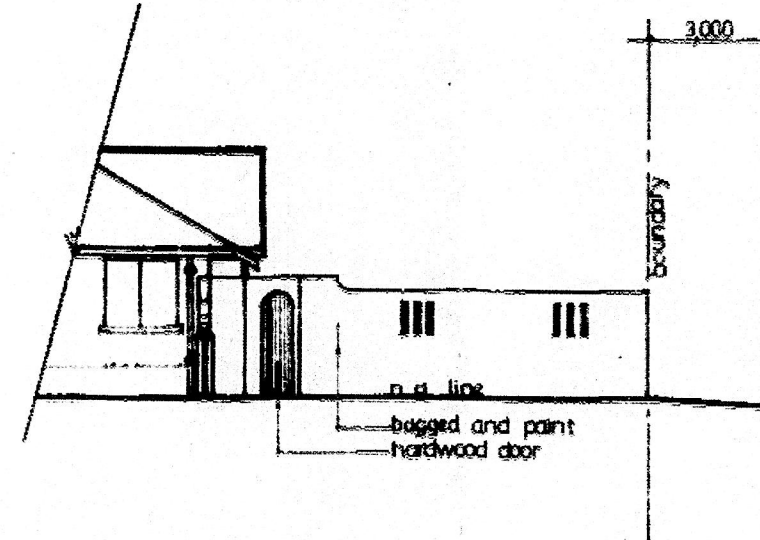
**NOTES**  
 Frontage level to match back of existing footpath, i.e. 0,255 above road level opposite.  
 Top of foundations of prop'd boundary wall to be at least 0,230 below road surface opposite.

**BOUNDARY WALLS:**  
 1. NO PART OF BOUNDARY WALLS NOR THEIR FOOTING ARE TO ENDOUR BEYOND PROPERTY BOUNDARY.  
 2. WALLS SPANNING BOUNDARY TO BE BUILT ON REINFORCED CONCRETE FOOTING TO PROFESSIONAL ENGINEER'S DETAILS.  
 3. BOUNDARY WALLS FOOTING PARALLEL WITH SERVICE LINES ARE NOT TO PROJECT MORE THAN 30 mm INTO SERVICE.

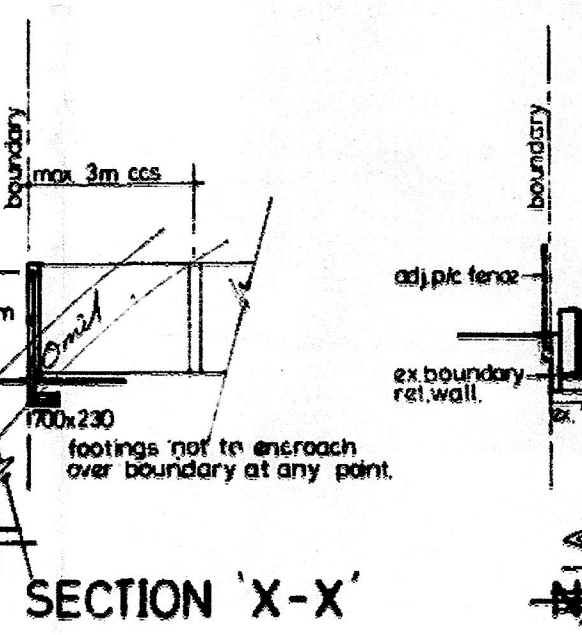
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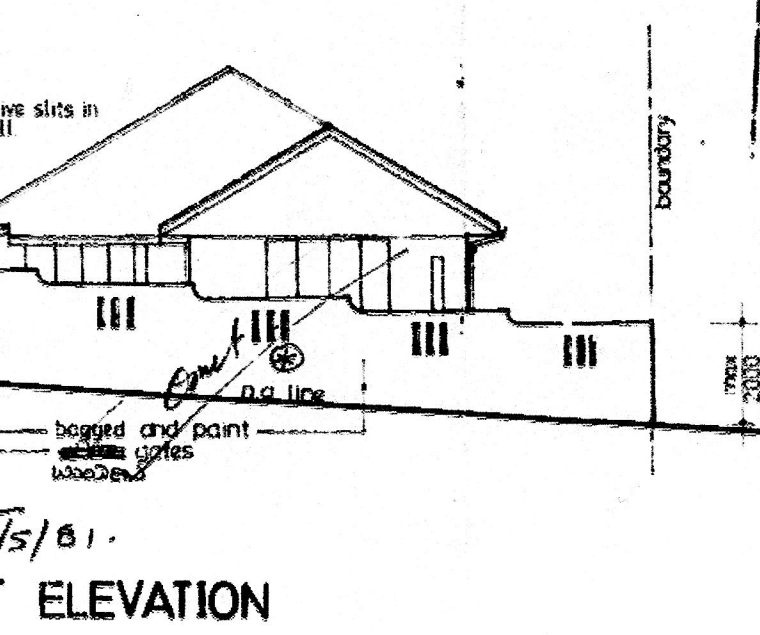
SOUTH WEST ELEVATION



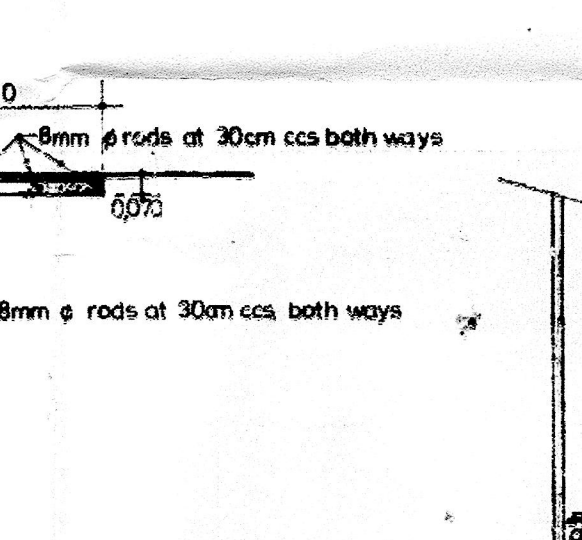
NORTH WEST ELEVATION



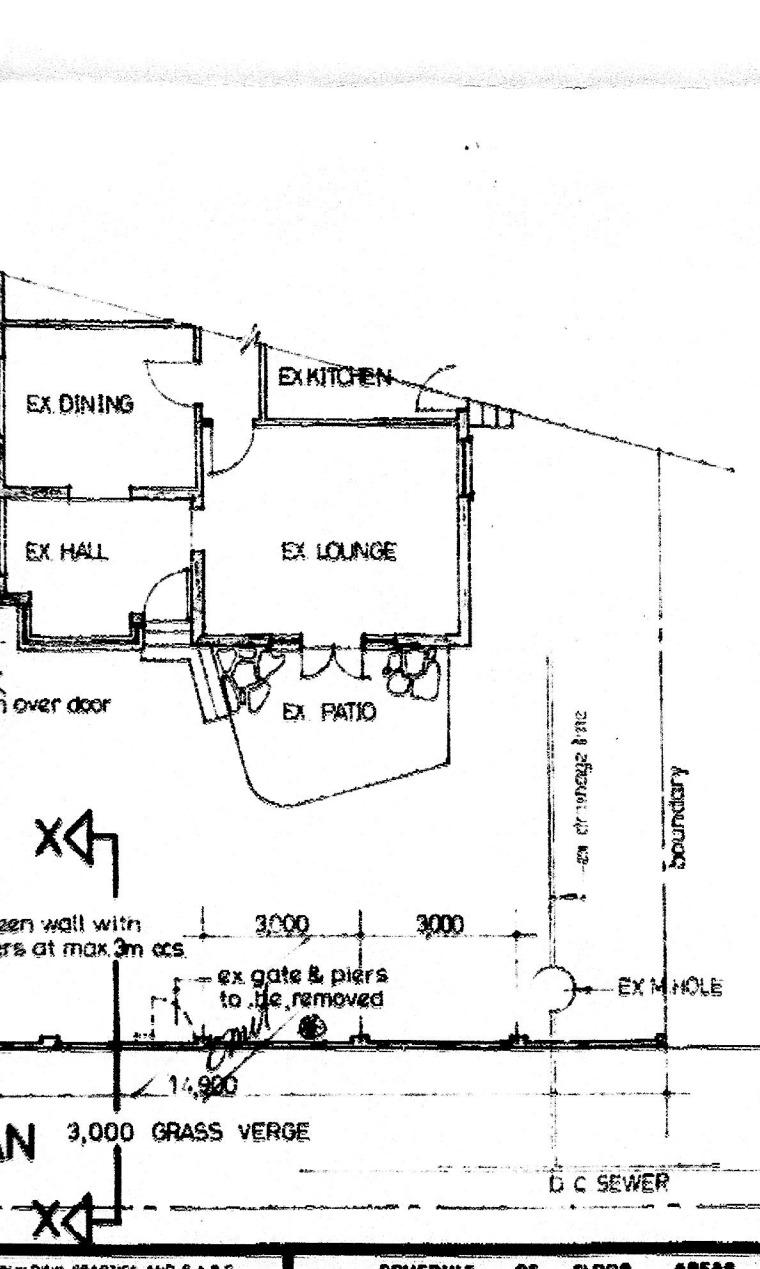
SECTION 'X-X'



NORTH WEST ELEVATION



DETAIL OF BEAM SURROUND SCALE 1:20



GROUND PLAN 3,000 GRASS VERGE

**DRAINAGE NOTES:**  
 1. CONTRACTOR TO APPLY TO LOCAL AUTHORITY FOR A SEWER CONNECTION TO BE INSTALLED PRIOR TO COMMENCING ANY BUILDING WORK. QUOTE INSTALLED DRAINAGE WORK TO BE GRADED TO ENSURE ENTRY TO CONNECTION.  
 2. ALL SANITARY FITTINGS TO BE TRAPPED IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS.  
 3. ALL TRAPS AND JUNCTIONS IN DRAINS AND SEWER LINES TO BE FITTED WITH INSPECTION EYES.  
 4. ADEQUATE ACCESS PANELS TO BE FITTED TO ALL DUCTS OVER INSPECTION EYES.  
 5. SEPTIC TANKS AND SOAK PITS TO BE BUILT AND SITED TO SATISFACTION OF LOCAL AUTHORITY. THIS APPROVAL IS TO BE OBTAINED BY CONTRACTOR FROM LOCAL AUTHORITY BEFORE COMMENCING ANY BUILDING WORK. AS THIS MAY INVOLVE CARRYING OUT A PERMITS/NOTICE.  
 6. CONTRACTOR TO ENSURE THAT ADEQUATE STORMWATER DRAINAGE IS PROVIDED SO AS NOT TO CAUSE ANY DAMAGE TO PROPERTY.

**SPECIAL NOTES TO CONTRACTOR**  
 1. ALL BOUNDARY BRACKETS TO BE FLAGGED BY REGISTERED LEAD SURVEYOR AND CONTRACTOR TO OBTAIN CERTIFICATE STATING THAT THE NEW WORKING ARE CORRECTLY SET OUT BEFORE PROCEEDING WITH CONCRETING FOUNDATIONS.  
 2. CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK AND TO REPORT ANY DISCREPANCIES IMMEDIATELY TO BUILDING DESIGNER.  
 3. CONTRACTOR IS TO CORRECT ENTRANCE LEVELS AND FLOOR LEVELS PHYSICALLY ON SITE WITH LOCAL AUTHORITY INSPECTOR AND TO BUILD THAT DRIVEWAY FALLS AND GARAGE FLOOR LEVELS ARE CORRECT BEFORE COMMENCING BUILDING WORK.  
 4. IF ON EXCAVATION THIS SITE IS FOUND TO CONTAIN SPREADS OF CLAY, PRESSURE GROUND WATER OR OTHER POOR SOIL CONDITIONS THEN ALL FOUNDATIONS ARE TO BE BUILT TO PROFESSIONAL SOIL ENGINEER'S DETAILS AND UNDER HIS SUPERVISION.  
 5. WHERE LOCAL AUTHORITY OR GOVERNMENT BUILDING REGULATIONS REQUIRE MORE STRINGENT REQUIREMENTS THAN SHOWN ON THESE DRAWINGS, THEY ARE TO BE COMPLIED WITH AT THE FIRST OBTAINING THE OWNER'S CONSENT.

**NOTES TO OWNER**  
 1. OWNER TO INVESTIGATE ALL ASPECTS OF LICENSING BUILDING BEFORE CALLING FOR TENDERS.

**SCHEDULE OF FLOOR AREAS**

NO ADDITIONAL FLOOR AREA
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