

Sub/No. 885

SHEET 111 COPY 1

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

CITY OF DURBAN

PLAN No. 326/04/012

APPROVED: Ms. J SUBBAN EXECUTIVE DIRECTOR DEVELOPMENT & PLANNING UNIT 13 JUN 2001

It should be noted that this plan has been approved on the basis of information thereon.

ELECTRICITY SERVICES

Any person undertaking erection of a structure/design in accordance with this plan is to ensure that: 1) The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142:1987, as amended, and the Occupational Health and Safety Act 85/1993 2) A certificate of Compliance and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source 3) Adequate earthing to the satisfaction of the Director: Transmission, DME is provided.

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO NATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE 00.4"

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

ENGINEERS DETAILS REQUIRED

ELECTRICITY SERVICES

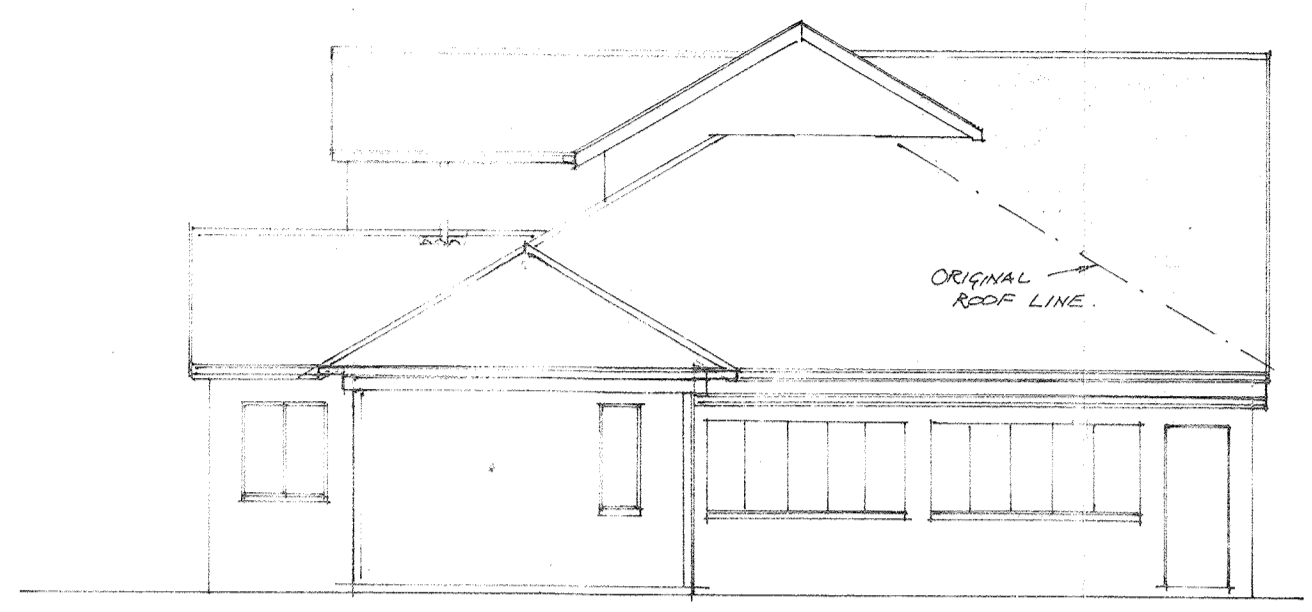
Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director: Durban Metro Electricity. 1) The location of any electrical services and servitudes in the vicinity of the proposed works. 2) DME requirements regarding Substation, Meter rooms, and Cable ducts.

STRUCTURAL NOTES.

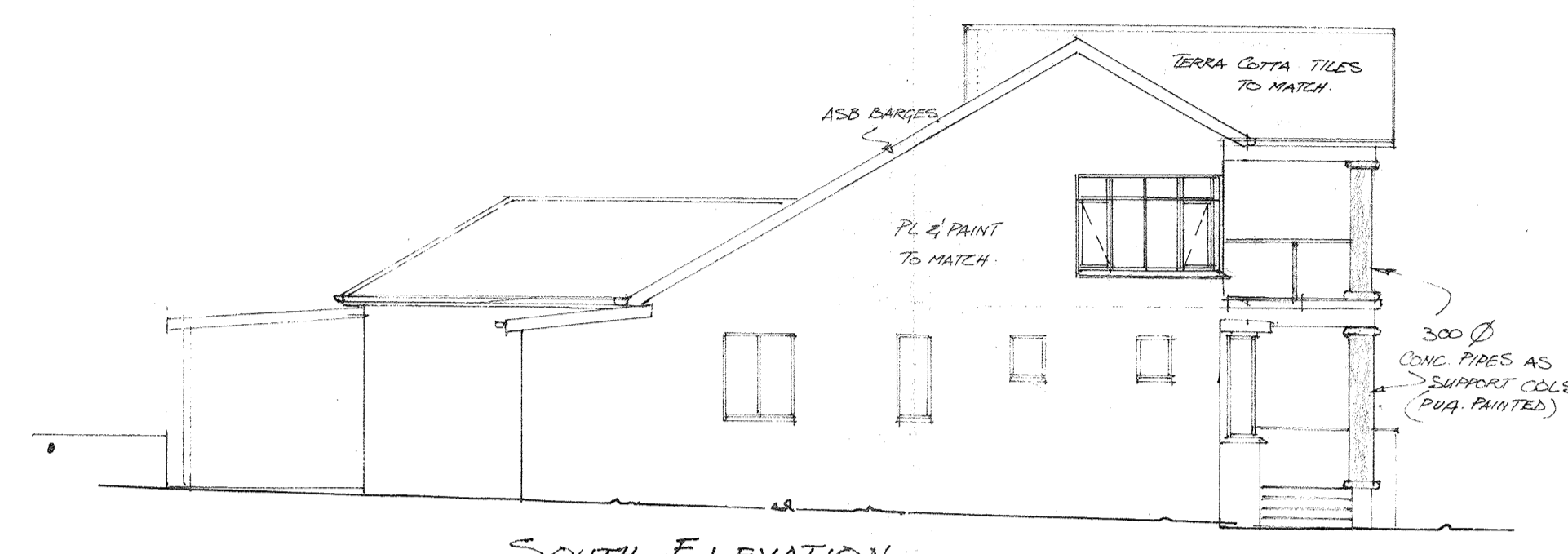
ROOF: RE-ROOFING REUSE EXISTING TRUSSES ON REMADE TRUSSES TO CONFORM TO EXISTING DESIGN. NEW ROOFS, MODIFY TO MARRY INTO EXISTING DESIGN. MATERIALS: TERRACOTTA TILES ON 28x38 TILE BATTENS ON TRUSSES BY SPECIALIST MANUFACTURER. PROVIDE F.V.C. (SABS) UNDERLAY UNDER ALL TILE BATTENS. WALLS: PROVIDE BRICK FORCE FOR 2 COURSES OF BRICKWORK, AT BOTH WINDOW EILL AND WALL PLATE LVLS. FLOORS: SUSPENDED CONCRETE FLOOR SLABS TO BE TO STRUCTURAL ENGINEER'S DETAIL. ENGINEER TO CERTIFY ALL ADDITIONAL LOADING ON EXISTING FOUNDATION FOOTINGS. MEASUREMENTS: BUILDER/CONTRACTOR TO CHECK ALL MEASUREMENTS ON SITE FOR SHOP-MADE COMPONENTS.

SOAKPITS TO BE 1m³ FOR EVERY 40m² OF ROOFED AND HARDENED AREA

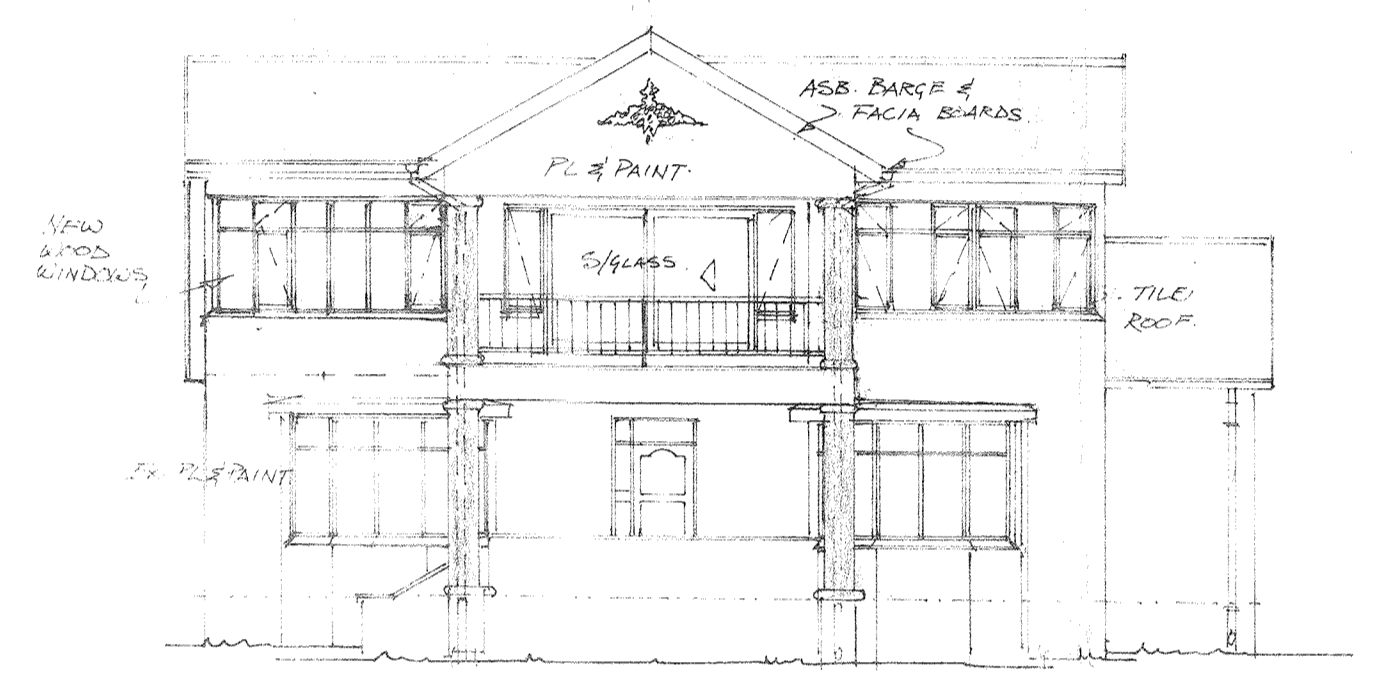
BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH NBS AND DSZ.4 OF SABS 0400.



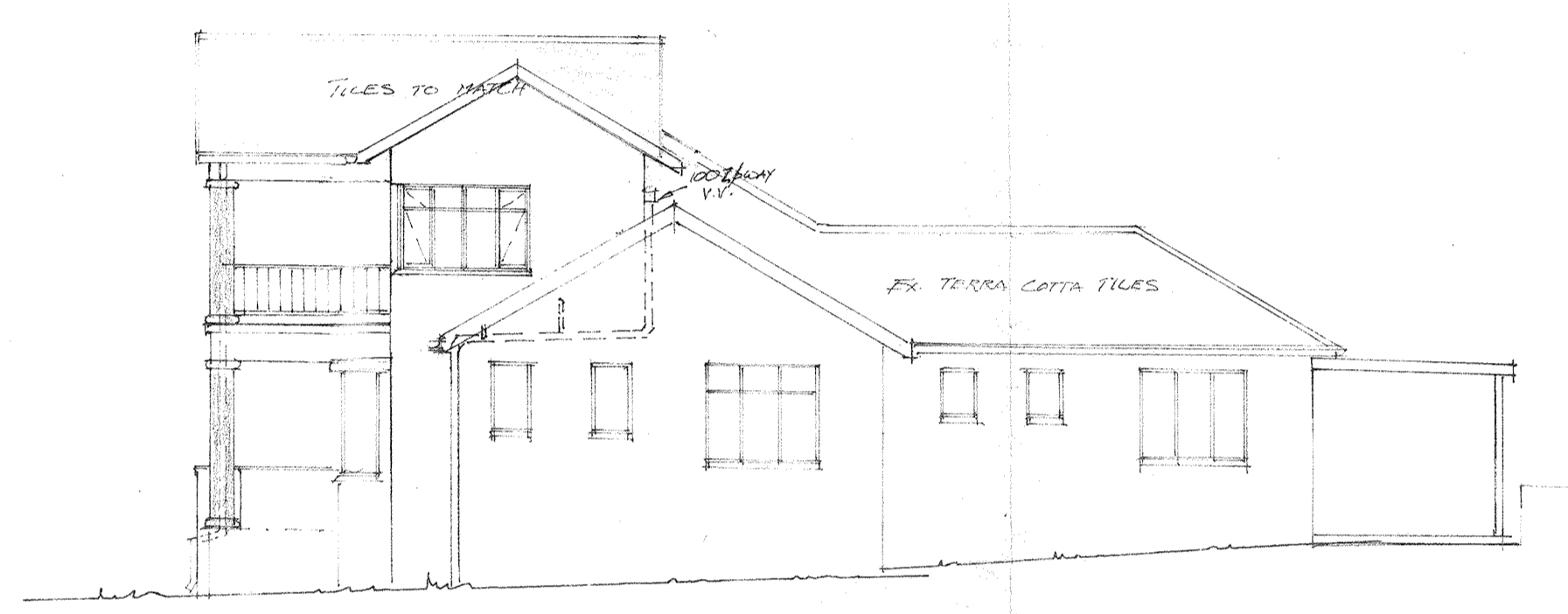
WEST ELEVATION



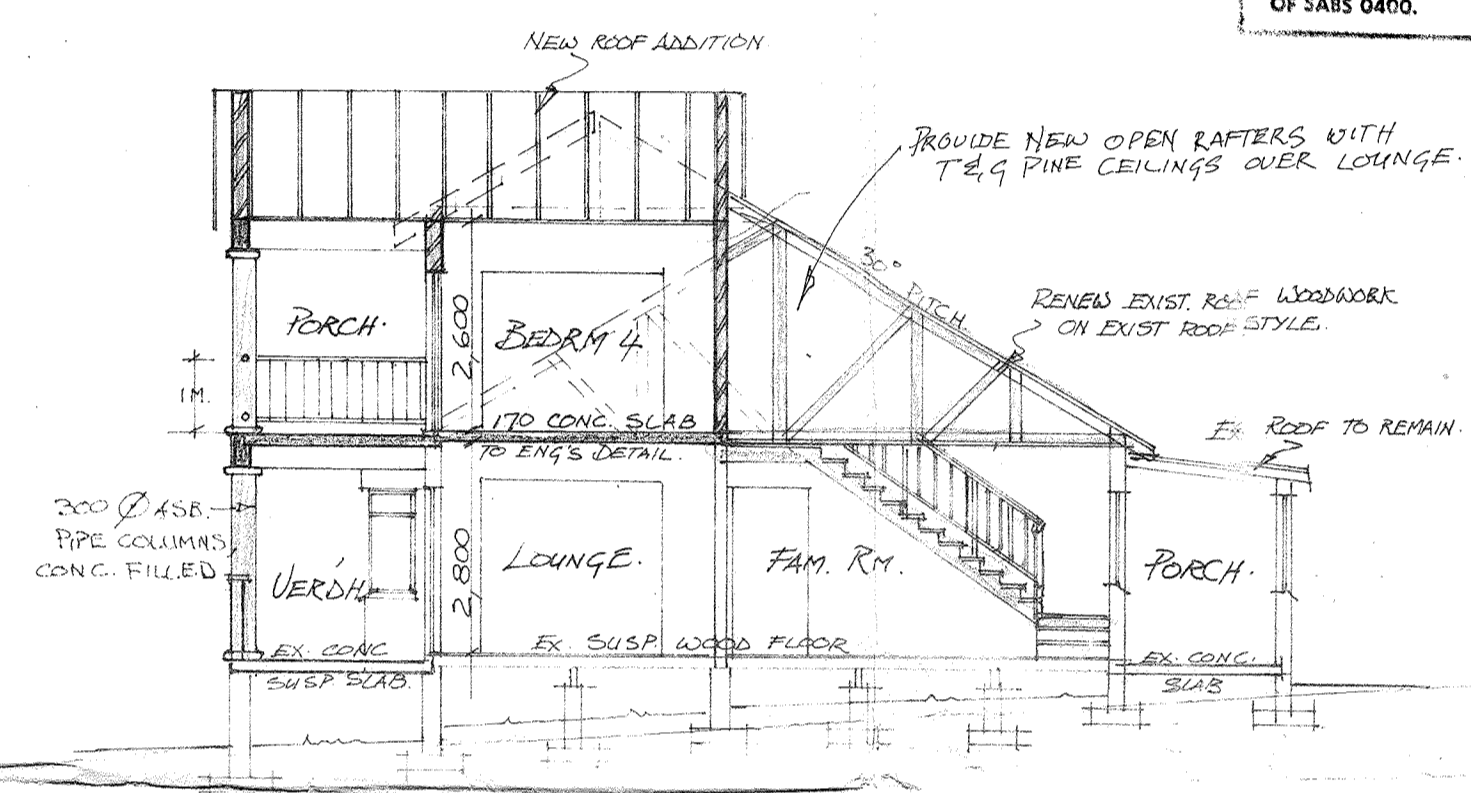
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

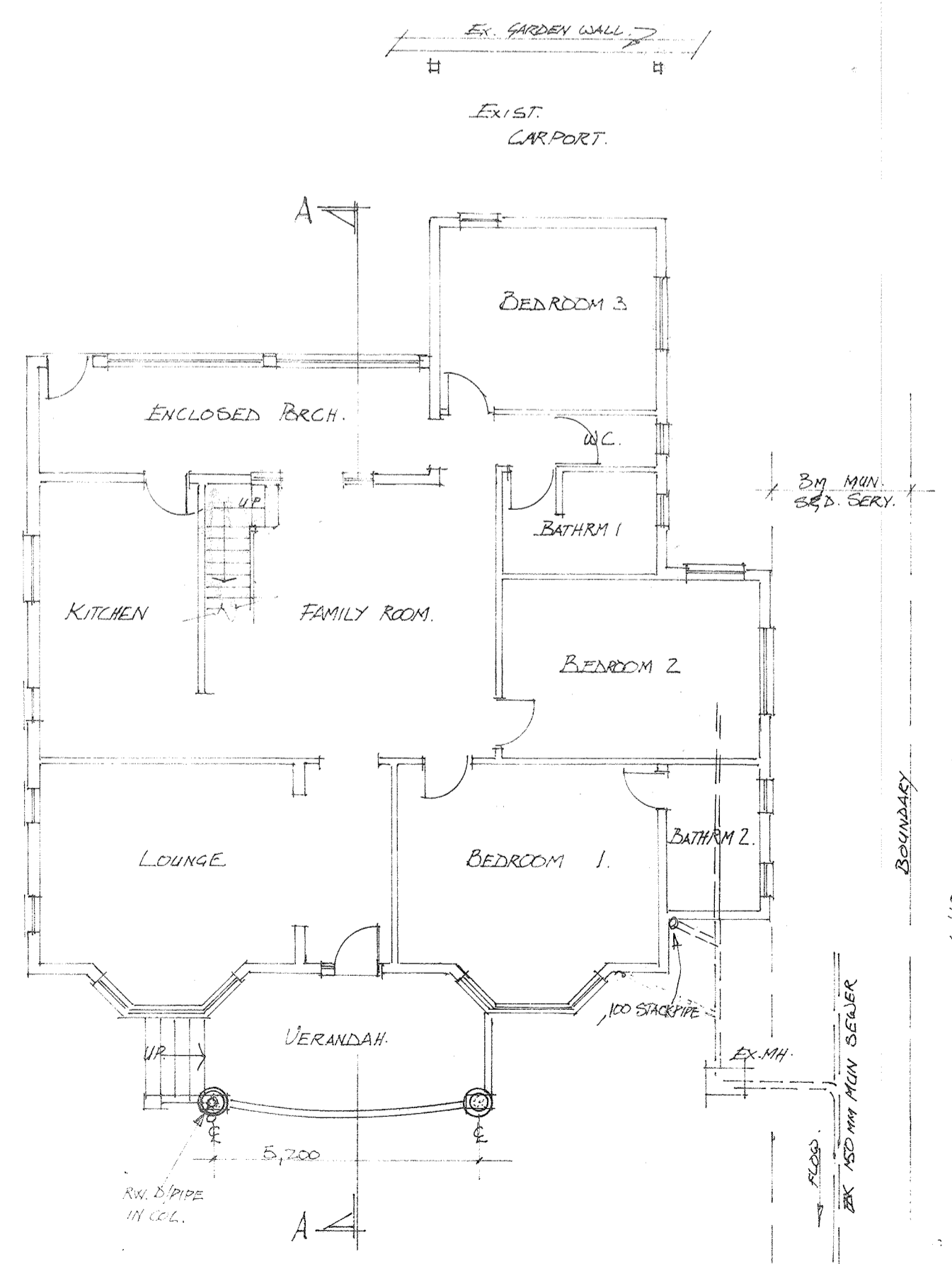


SECTION A-A

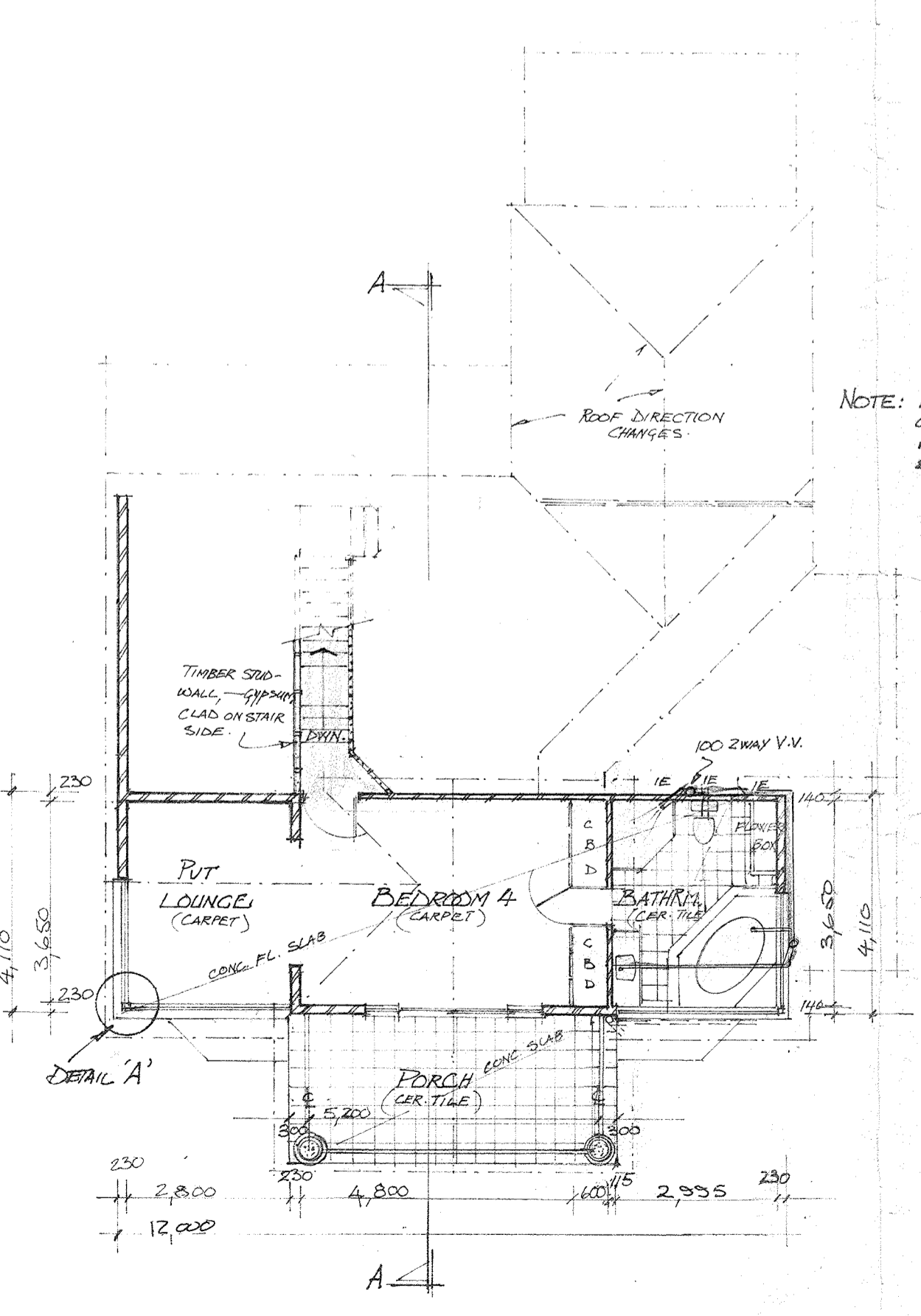
SCHEDULE OF AREAS

Table with 2 columns: Description and Area. AREA OF SITE: 1168,8 m². AREA OF EX. HOUSE & OBLIGS: 234,34 m². AREA OF NEW ADDITIONS: 65,71 m². TOTAL FL. AREA: 300,05 m².

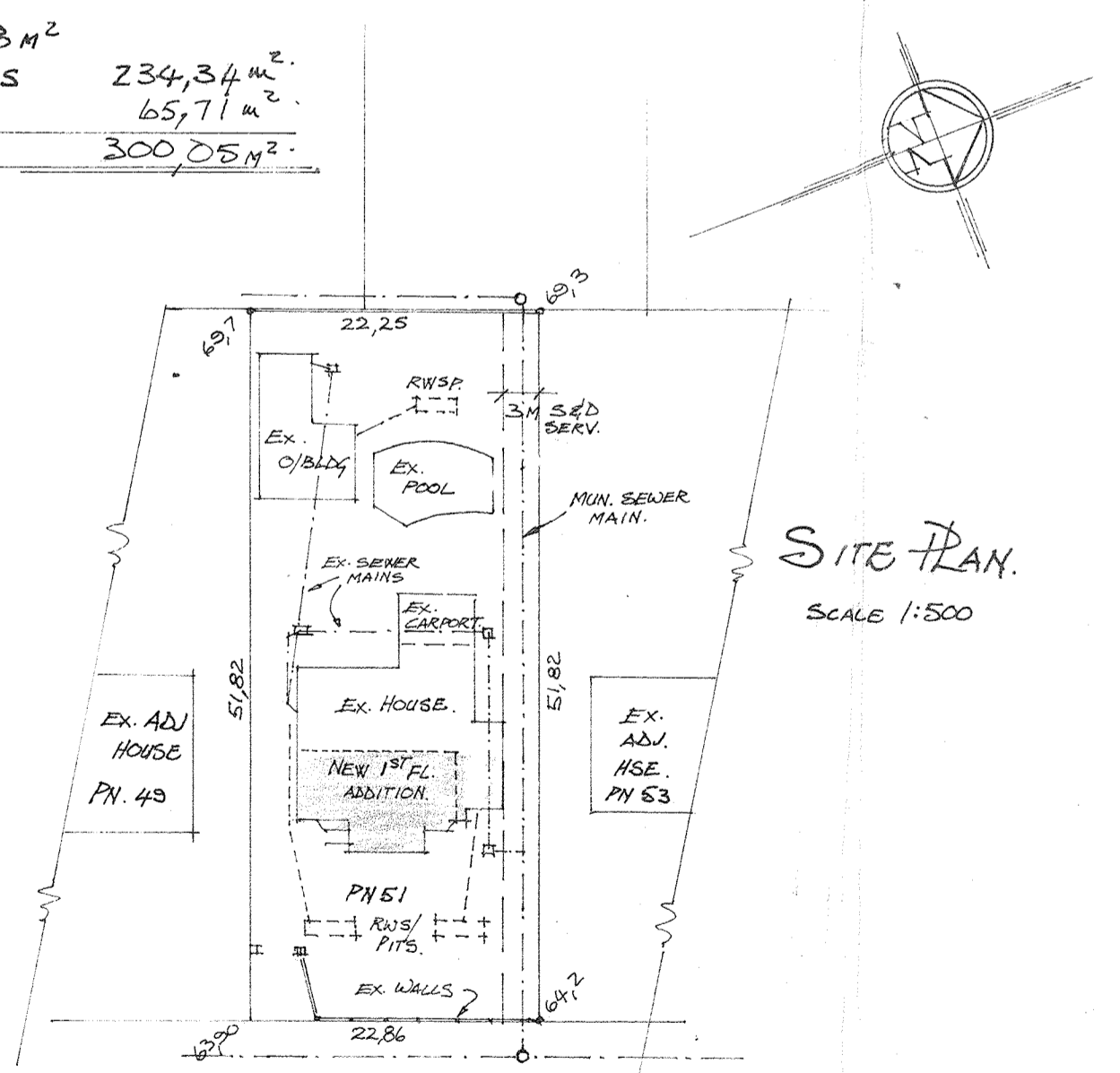
NOTE: RE-ROOFING INCLUDES REMOVAL OF TILES, BATTENS AND REPLACEMENT OF ALL INFESTED & DAMAGED TIMBER.



GROUND FLOOR PLAN (EXISTING)

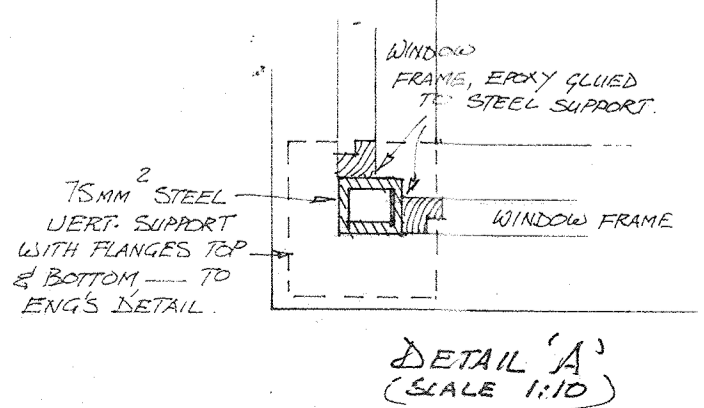


FIRST FLOOR PLAN (NEW)



SITE PLAN SCALE 1:500

100mm DEBRIS PIPE WITHIN ROOF AREA TO BE LAID TO MINIMUM 1:40 FALL AND ALL IN ACCORDANCE WITH N.B. RECS. (SEWERAGE).



DETAIL 'A' (SCALE 1:10)

RATE No 08 8830 2008 000

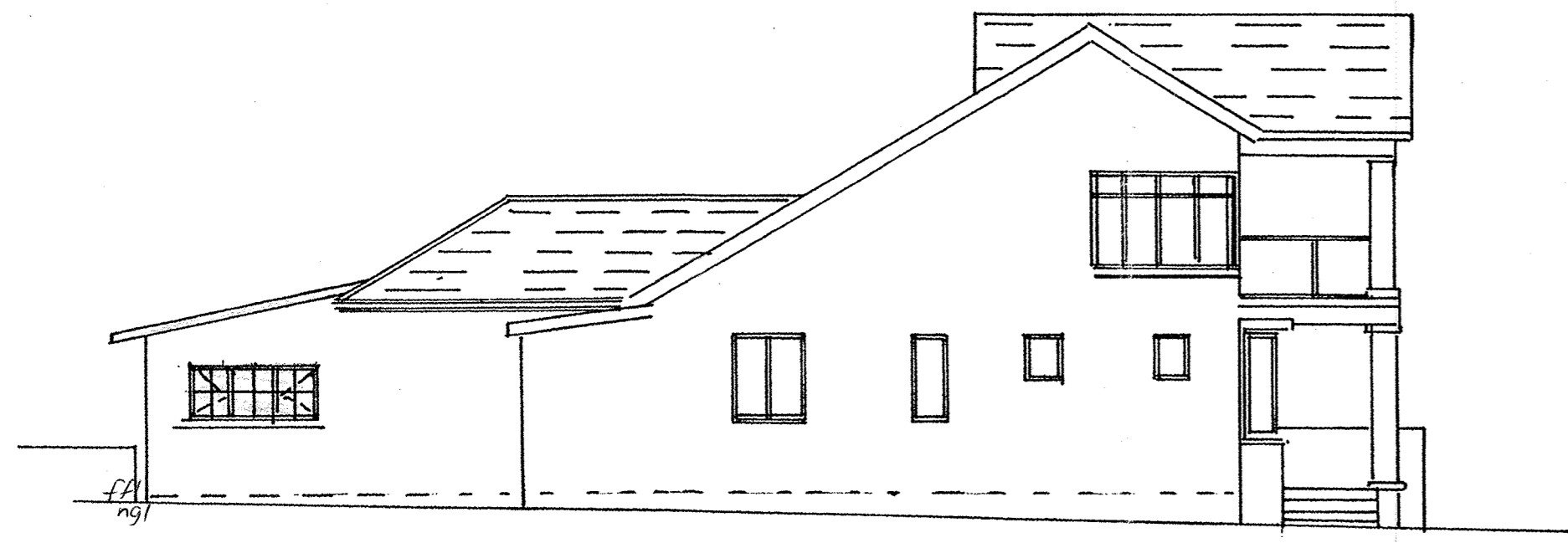
ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE AT 51 CHELSEA DRIVE ON LOT 1814 OF DURBAN NORTH FOR MR MAY & MRS S.I. RAZAK

OWNER'S SIGS. PHONE 542816

BUILDING DESIGN STUDIO

PO BOX 119 WEEENEN 3325 TEL/FAX 033-4561100 JOHN SMITH Reg. No 0065

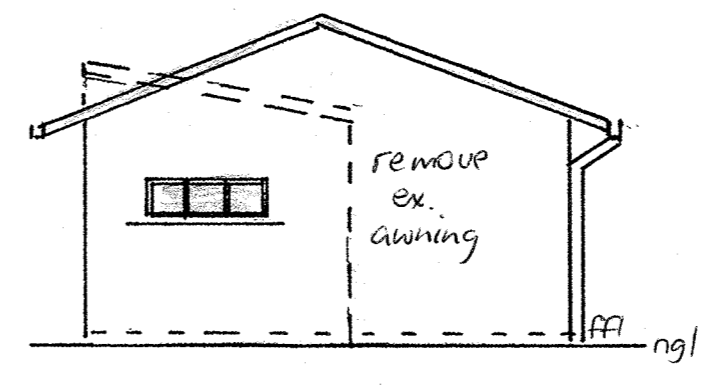
AUTHOR'S SIGNATURE



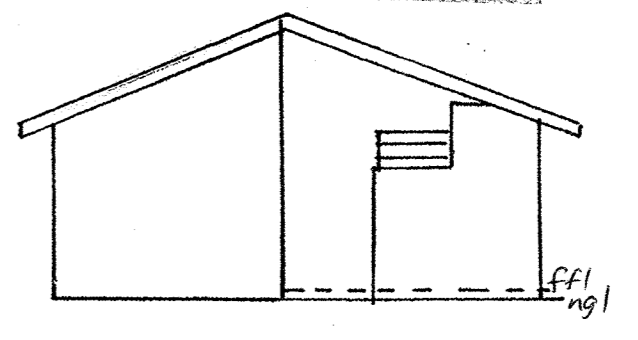
SOUTH ELEVATION 1:100



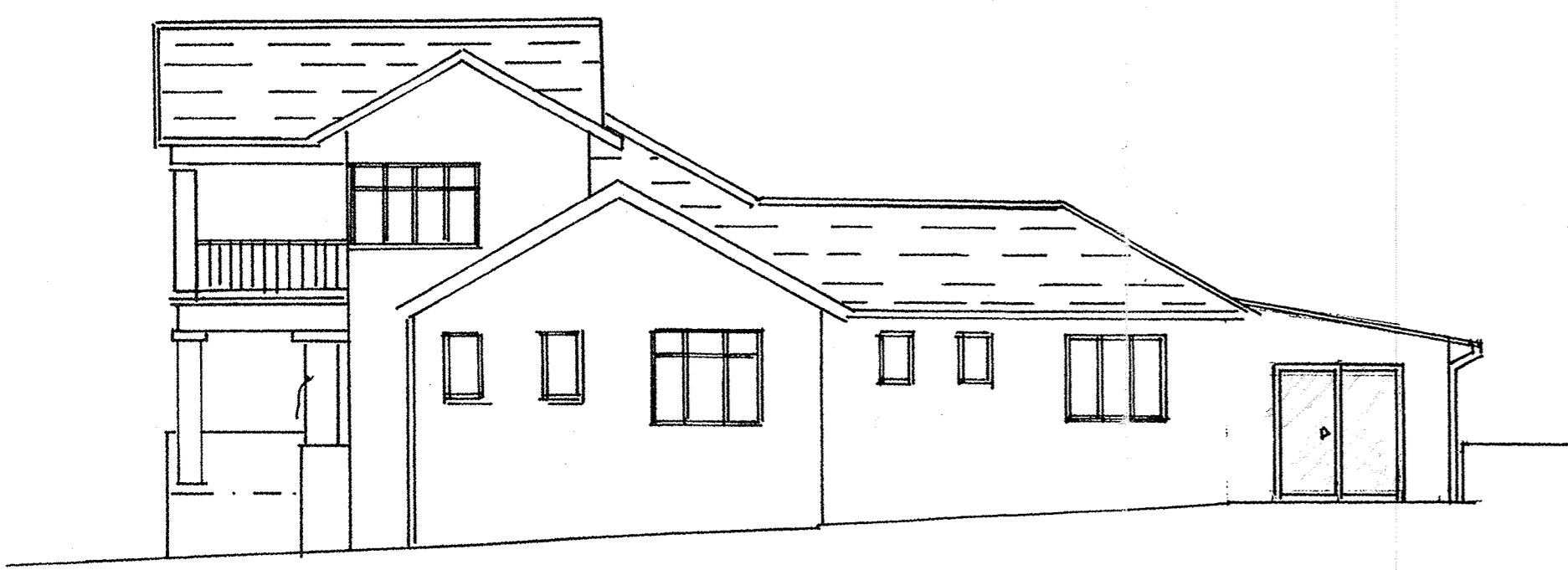
WEST ELEVATION 1:100



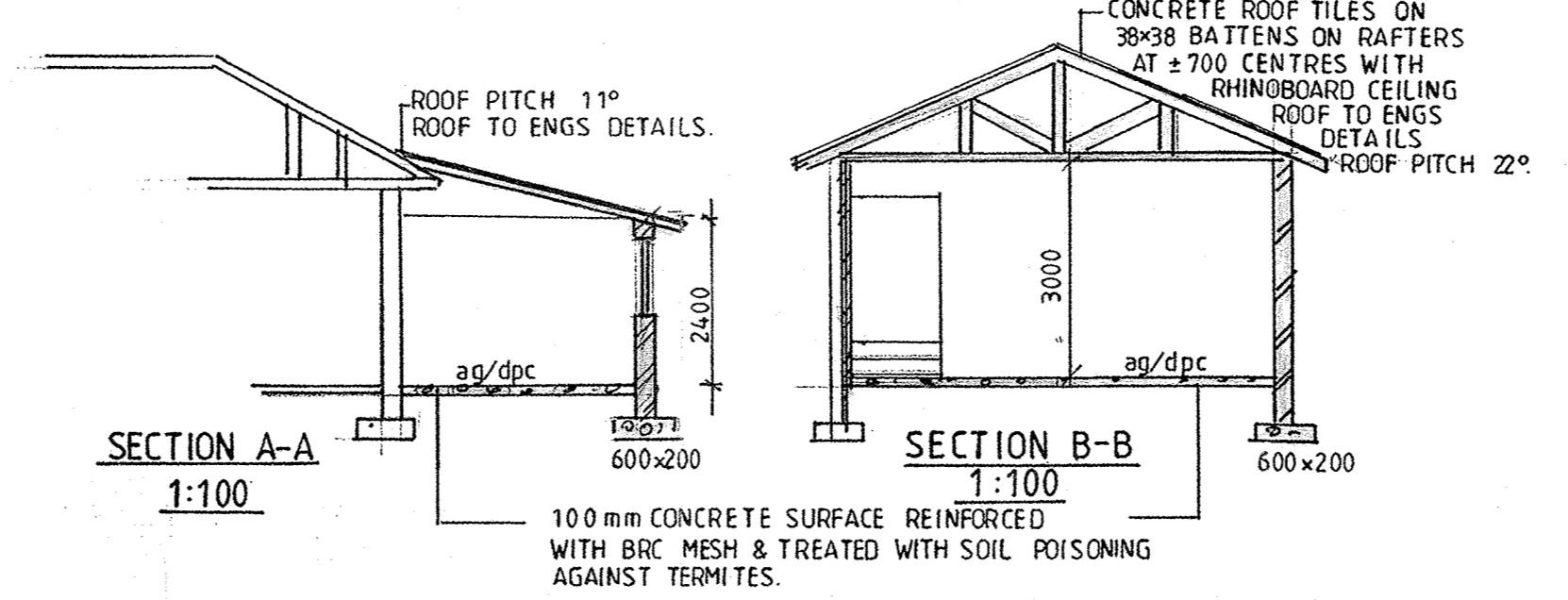
EAST ELEVATION 1:100



WEST ELEVATION 1:100



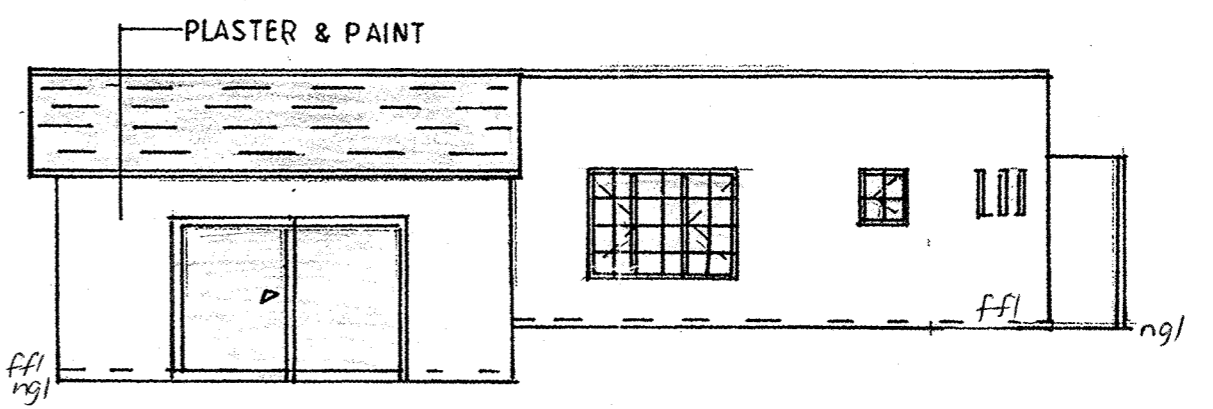
NORTH ELEVATION 1:100



SECTION A-A 1:100

SECTION B-B 1:100

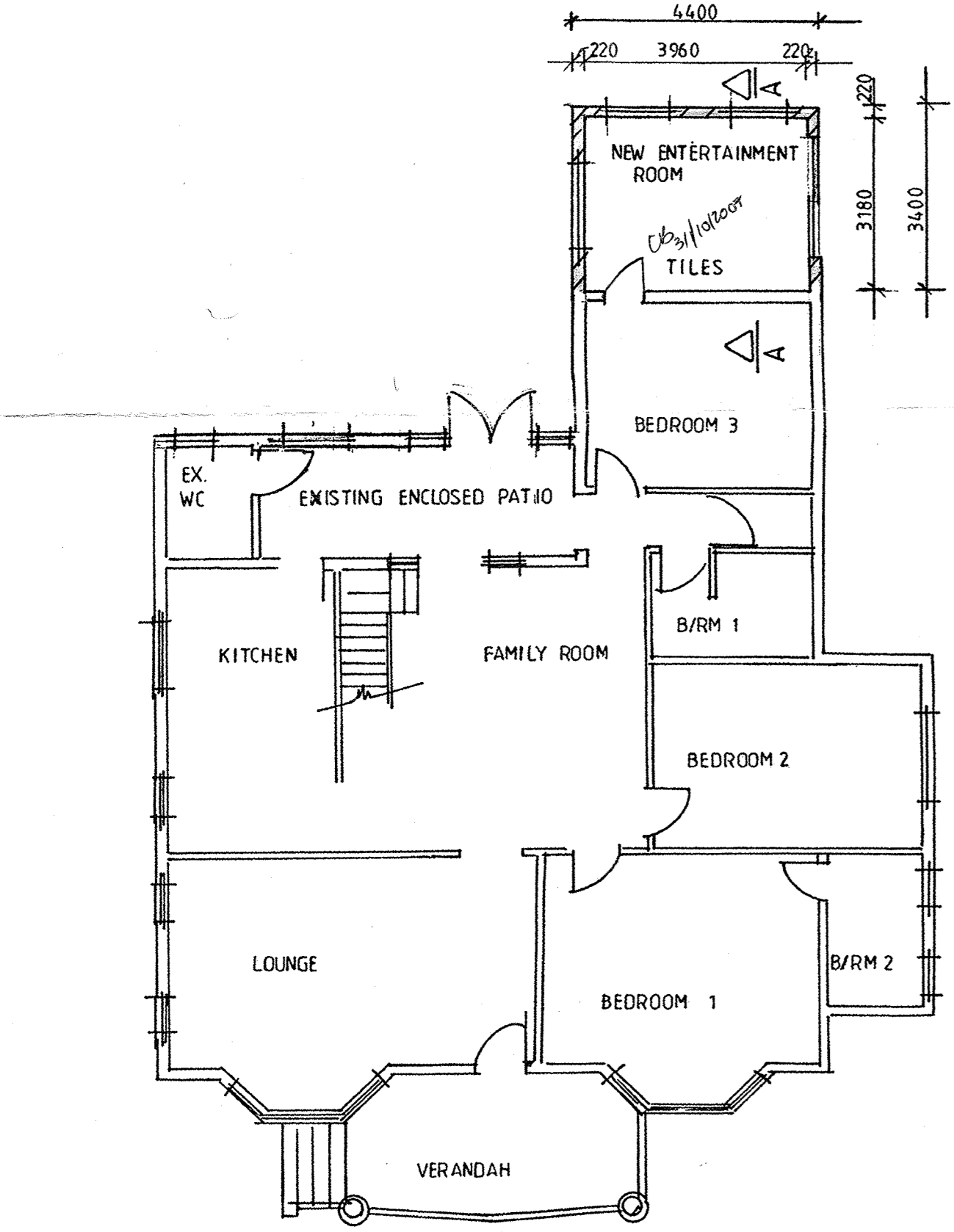
100mm CONCRETE SURFACE REINFORCED WITH BRC MESH & TREATED WITH SOIL POISONING AGAINST TERMITES.



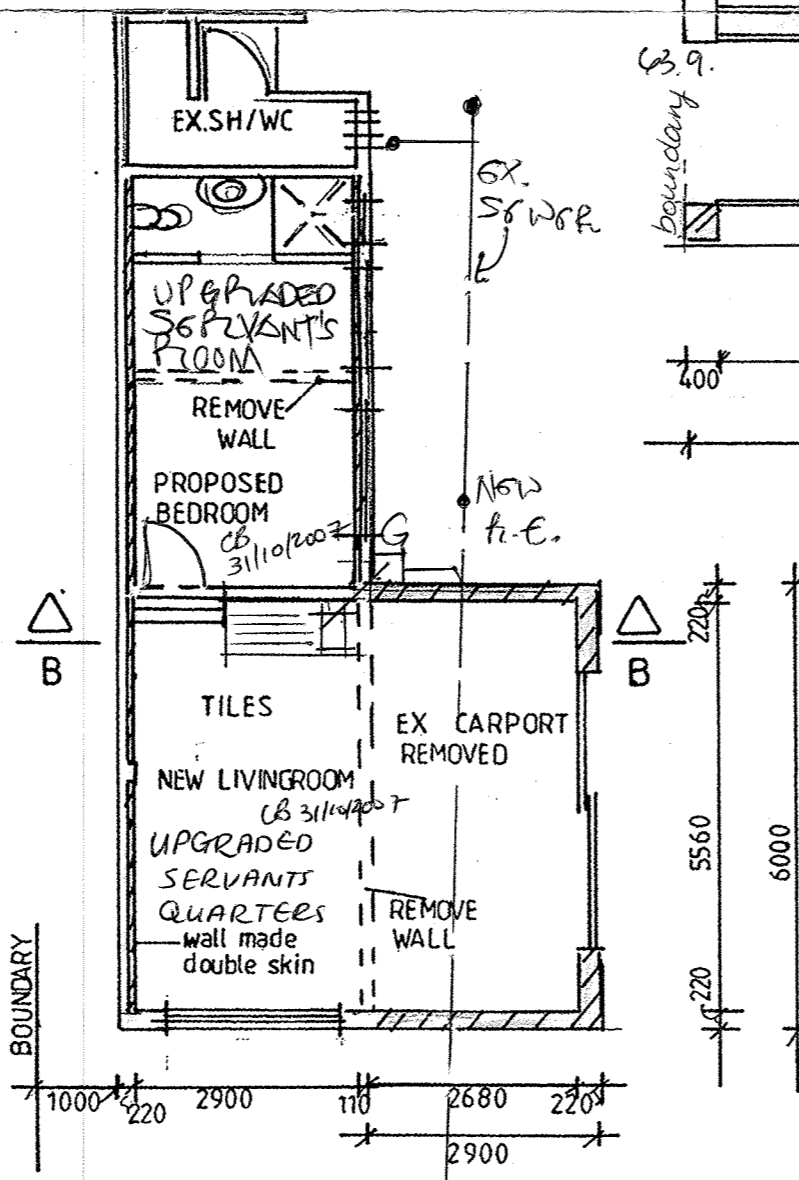
NORTH ELEVATION 1:100

ELECTRICITY SERVICES
Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electricity, the location of any electrical services and DME requirements regarding Substation, Meter rooms, and Gate ducts.

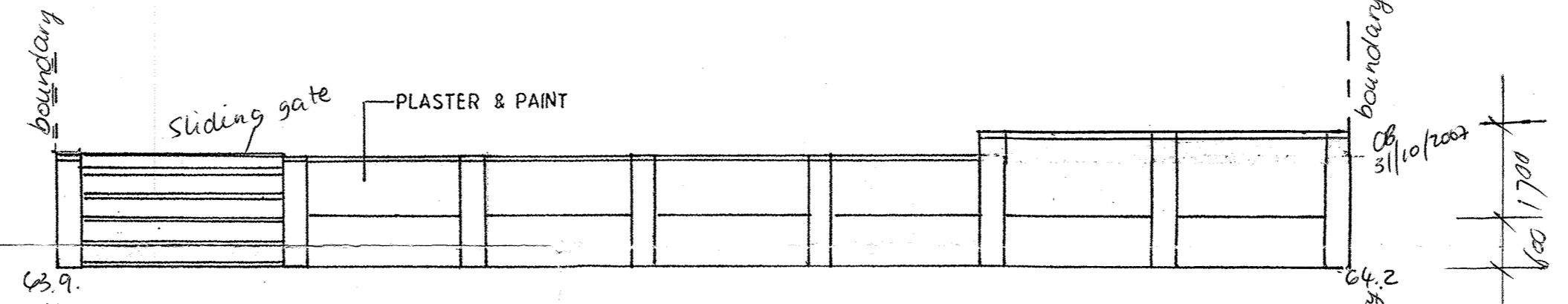
ELECTRICITY SERVICES
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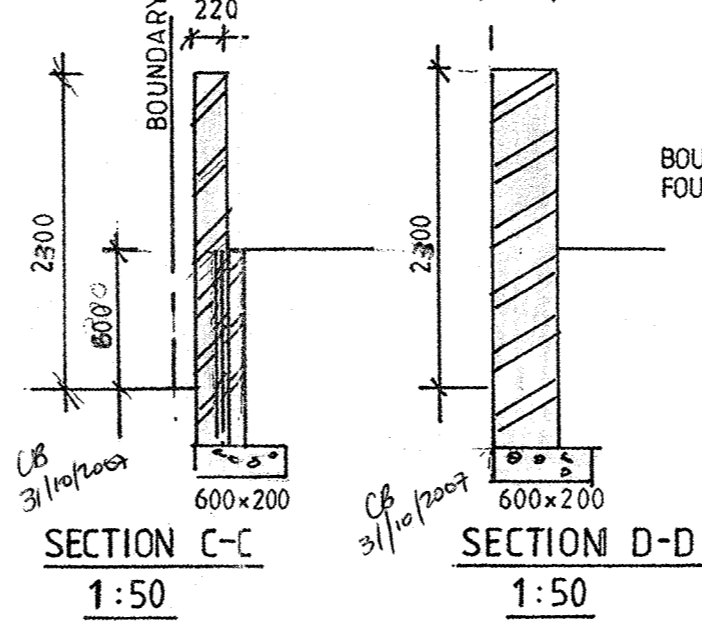
GROUND FLOOR PLAN 1:100



FLOOR PLAN 1:100

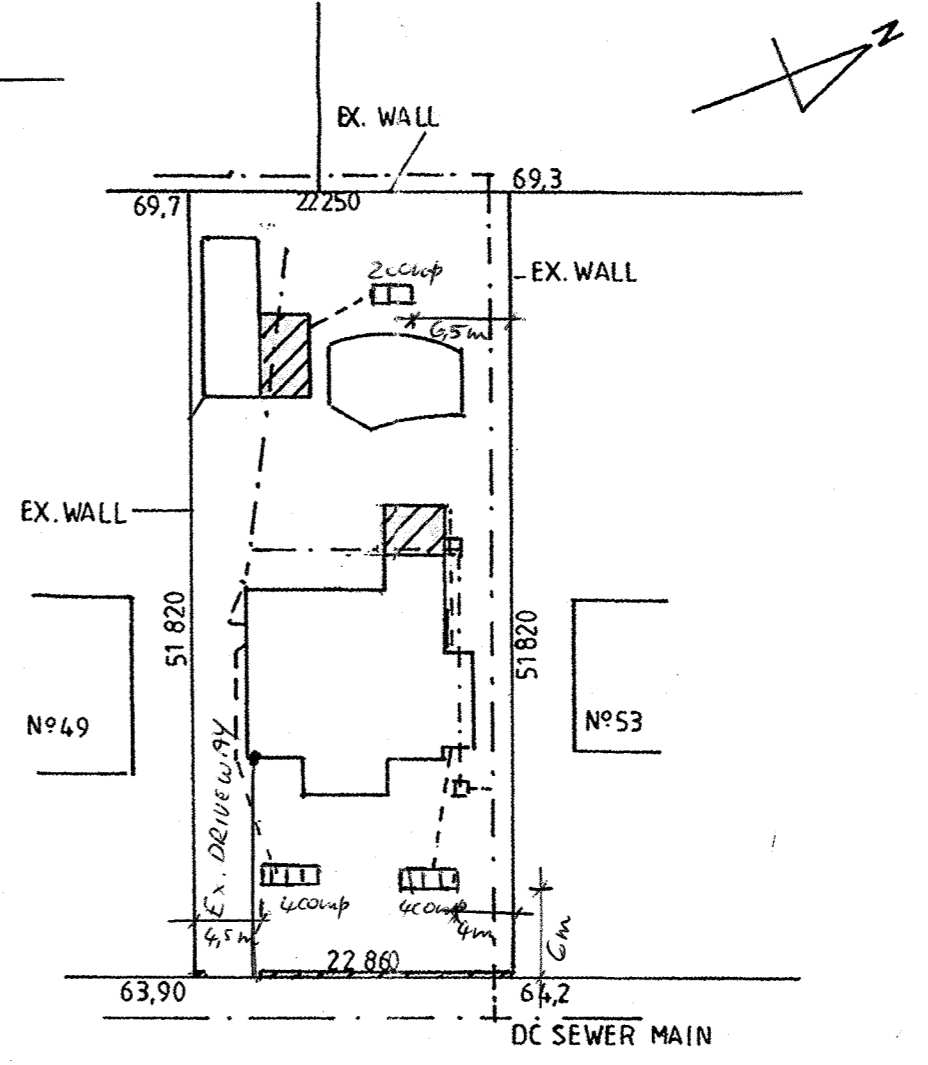


FRONT BOUNDARY WALL 1:100



SECTION C-C 1:50

SECTION D-D 1:50



SITE PLAN 1:500

General Notes
All levels and dimensions to be checked on site by contractor prior to starting.
Dimensions not to be scaled from drawing.
All work to comply with NBR.
No foundations to encroach over boundaries.
DPC under all walls, cills and floors.
Min found footing size 600 x 200.
Contractor to remove all rubble on completion.

Neighbours Consent		
Name	Address & tel. no.	Signature
Douglas L. Campbell	38 Chelsea Drive	<i>[Signature]</i>
JENNIFER DUGSTAY	40 Chelsea Drive	<i>[Signature]</i>
L MCCANN	49 Chelsea Drive	<i>[Signature]</i>
GRAHAM PATON	53 Chelsea Drive	<i>[Signature]</i>

SCHEDULE OF AREAS	
SITE AREA	1 168,8 m ²
EX. COVERAGE	221,74 m ²
EX. FAR	268,72 m ²
PROPOSED FAR	13,9 m ²
PROPOSED COVERAGE	13,9 m ²
TOTAL FAR	282,71 m ²
TOTAL COVERAGE	235,73 m ²

ADDITIONS AND ALTERATIONS AT 51 CHELSEA DRIVE ON 1814 DURBAN NORTH FOR THE PATON FAMILY TRUST.

[Signature]
SIGNATURE OF TRUSTEE

031-5639078 rate no. 88 302098

DRAWN: C. BUCKLE TEL: 031 5661414/084 5661414
P.O. BOX 2333
UMHLANGA
4021
REG N° D0025

SHEET 11 COPY 2

ETHERINGTON'S PATY CENTRAL
Plan No: 140 07 071

APPROVED in terms of The National Building Regulations and Building Standards Act No. 103 of 1977 (as amended)
2009-08-25

Signature: *[Signature]*

This plan is approved on the basis of the information shown hereon. Attention is drawn to the attached documentation.

BOUNDARY BEACONS
FAILURE TO PLACE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

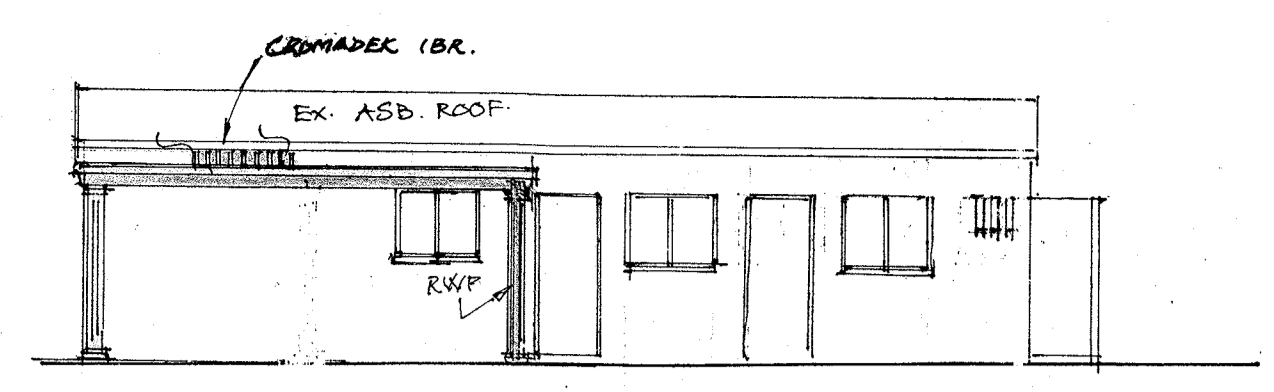
ANTIGUARD - D.P.C. - VERTICAL D.P.C.
SOIL POISONING REQUIRED

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DETAILED TO SATISFY RULE 5.5"

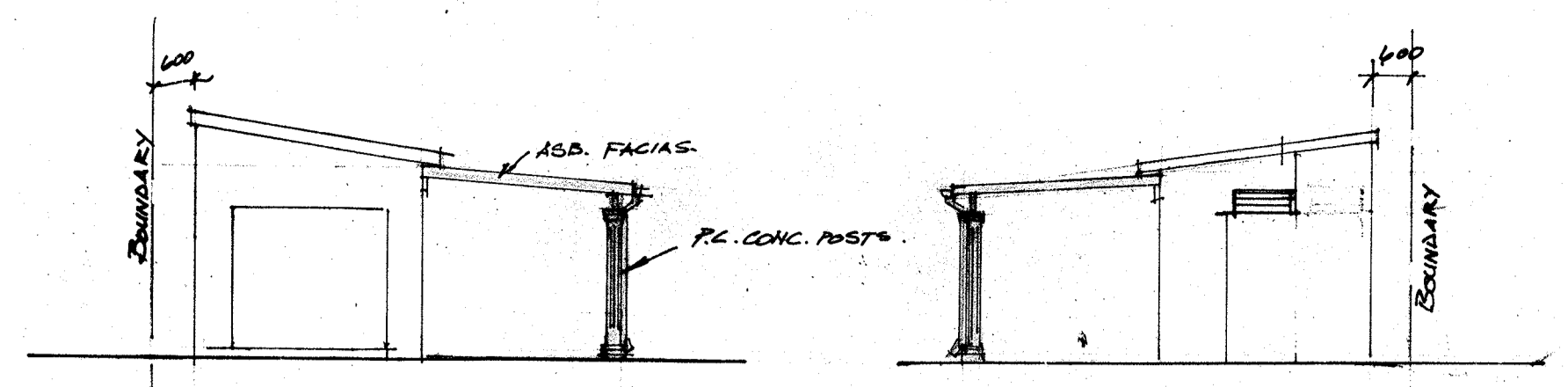
ALL GLAZING TO COMPLY WITH PART N10 AND N11 OF SANS 1040

SOAKWAYS TO BE 1m² FOR EVERY 40m² OF ROOVED AND PAVED AREA

ENGINEERS DETAILS REQUIRED

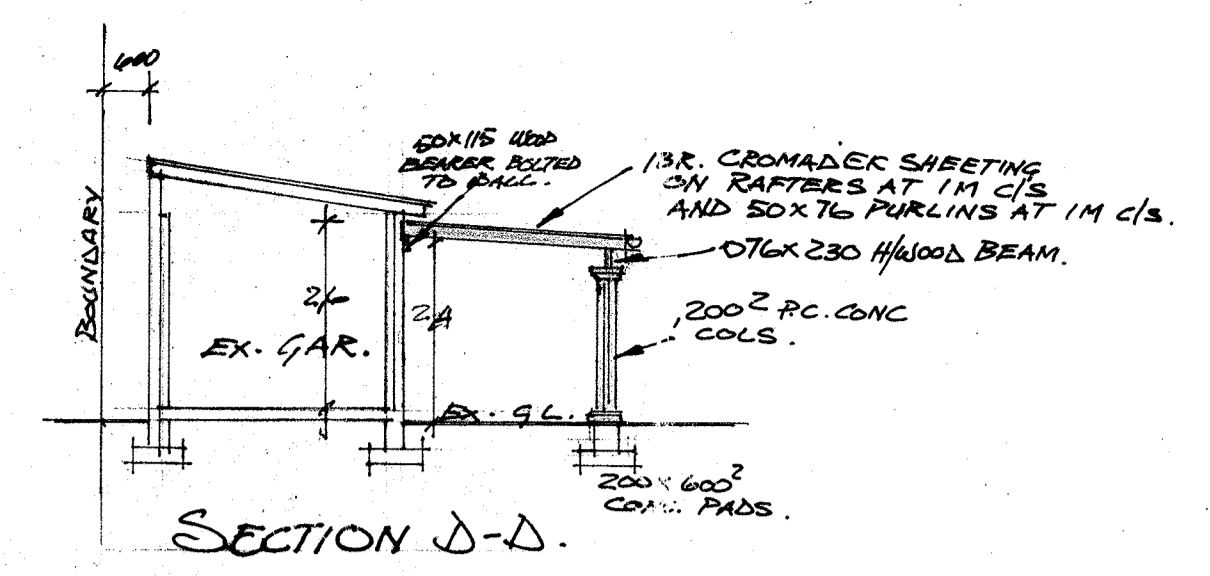


NORTH ELEVATION.

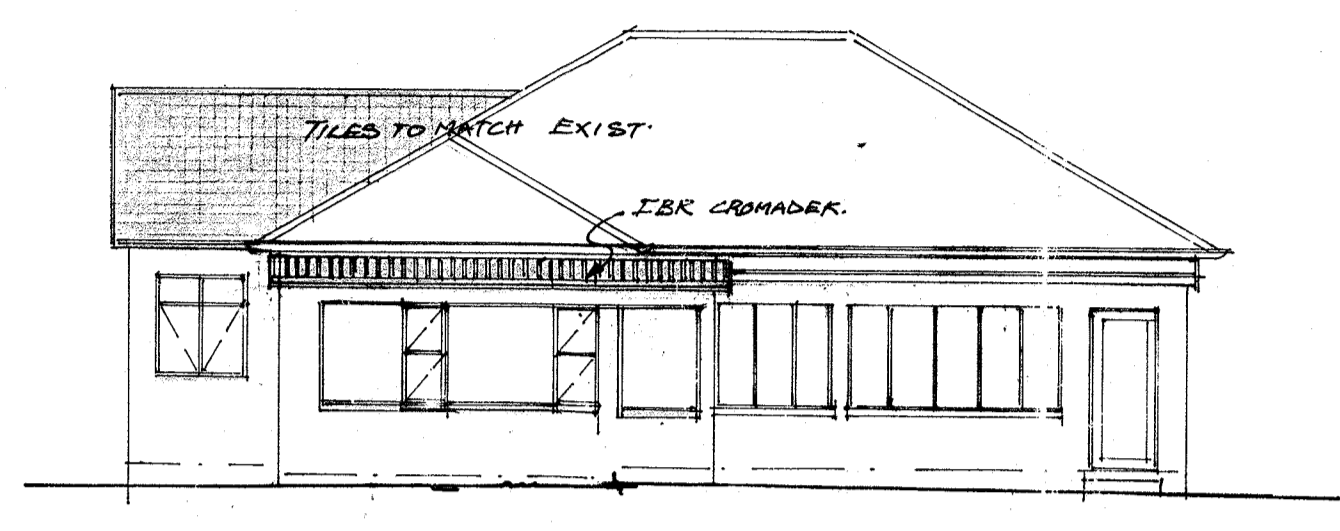


EAST ELEVATION.

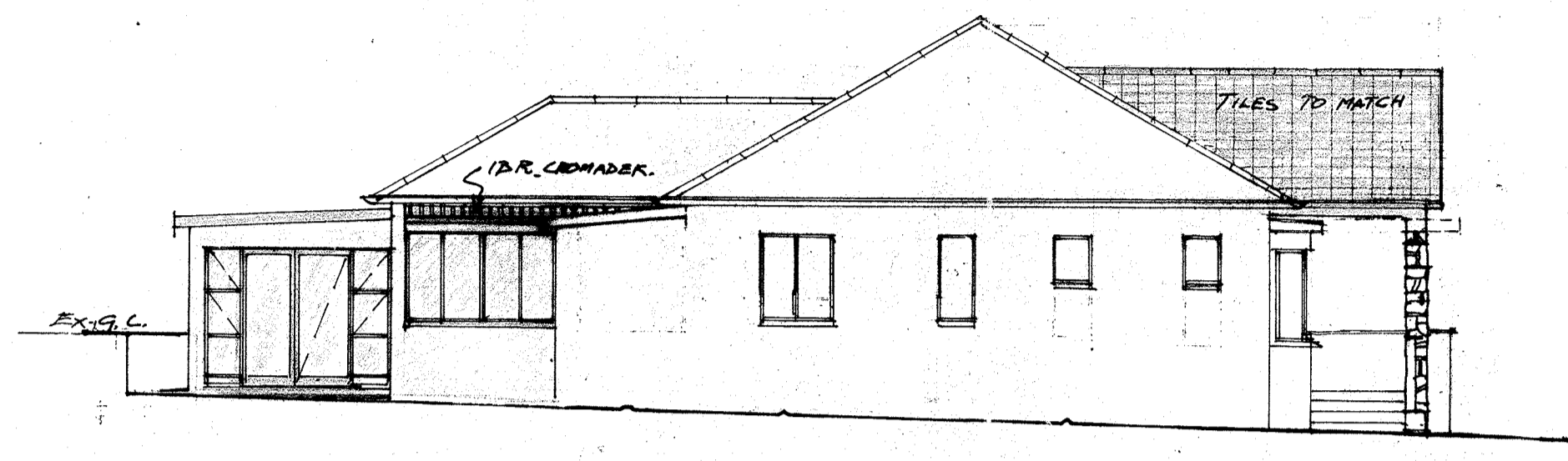
WEST ELEVATION.



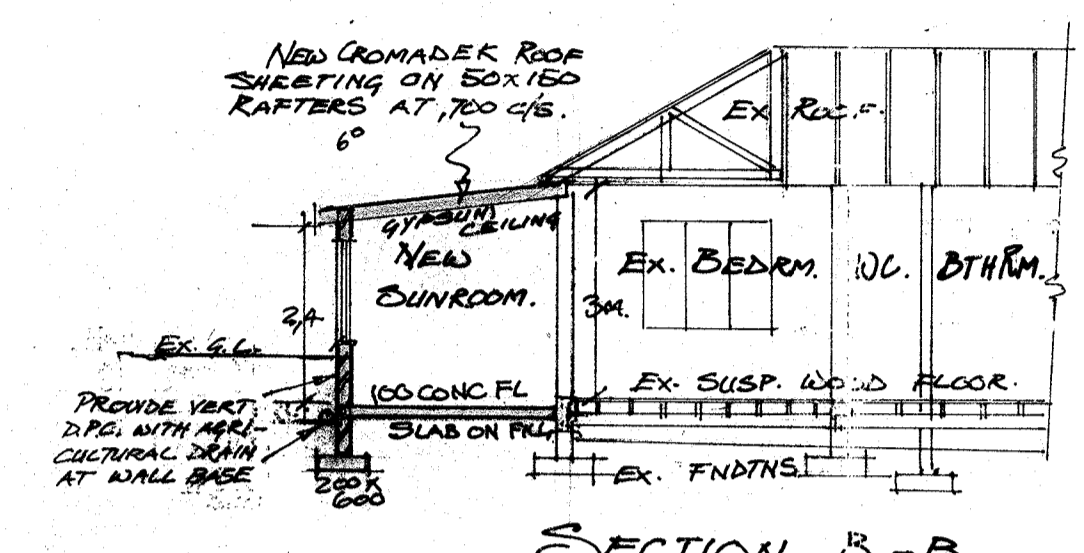
SECTION D-D.



WEST ELEVATION.

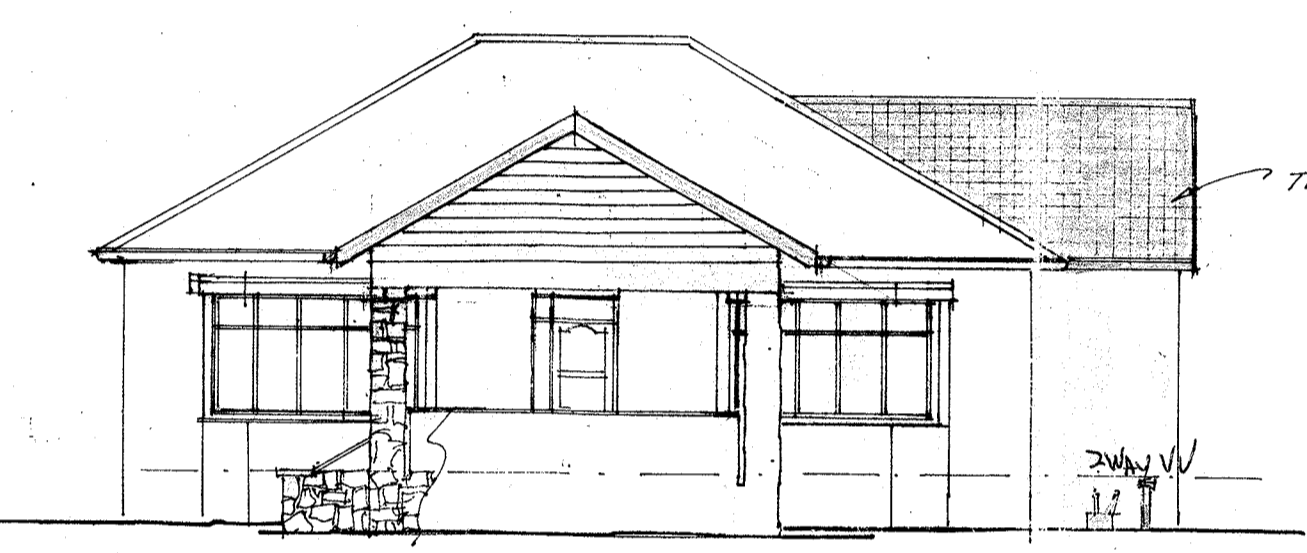


SOUTH ELEVATION.

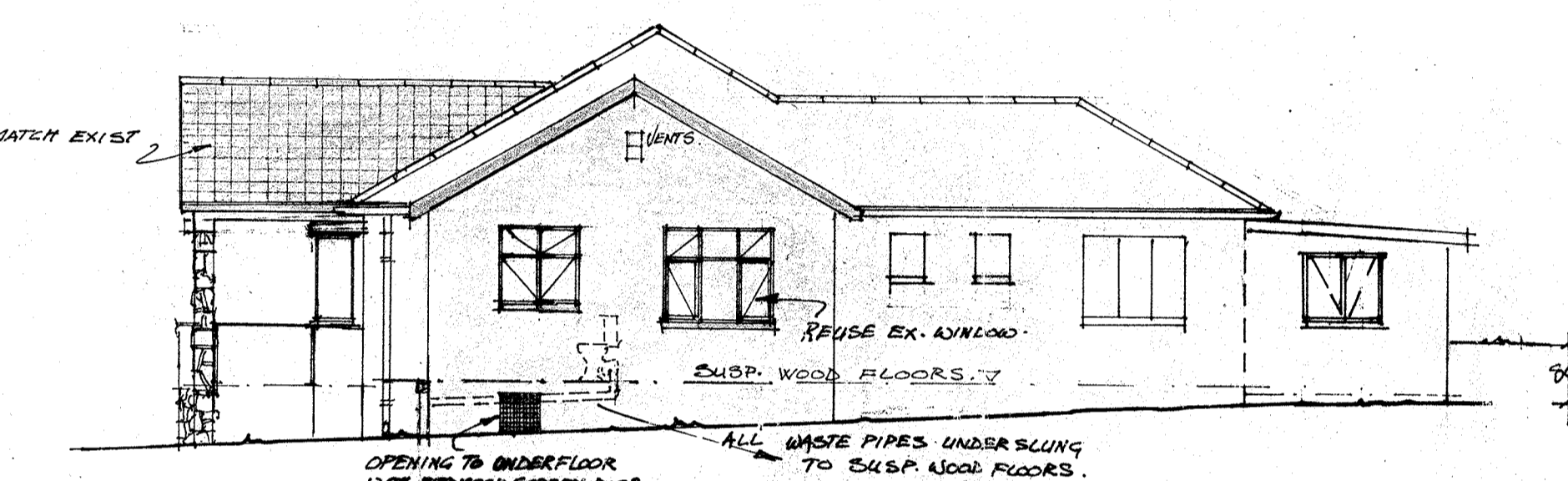


SECTION B-B.

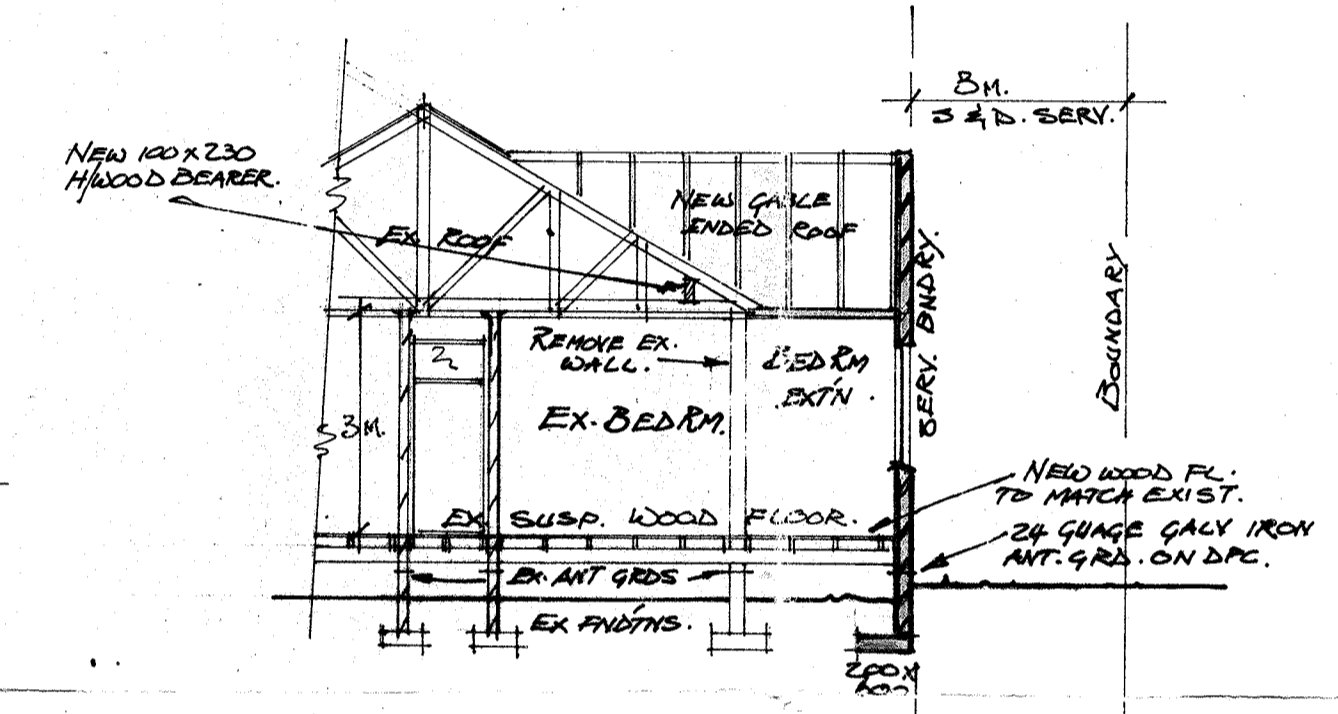
NOTE: NEW FLOOR SLAB, NOT TO BE TIGHTENED INTO EXIST. WALL TO AVOID ANT INGRESS.



EAST ELEVATION.



NORTH ELEVATION.



SECTION A-A.

"It should be noted that this plan has been approved on the basis of information thereon."

ANTIGUARD D.P.C. VERTICAL D.P.C. SOIL POISONING REQUIRED

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE BB.4"

ENGINEERS DETAILS REQUIRED

THE AUTHOR OF THE PLAN IS RESPONSIBLE FOR SHOWING ON THE APPLICATION DRAWINGS THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0.230 METERS BELOW FRONTAGE LEVEL.

BOUNDARY BEACONS FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE.

FRONTAGE LEVELS ARE: (1) TO CONFORM TO THE BACK OF THE CONSTRUCTED SIDEWALK OR (2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA: $F.L. = 0.150m + D$ (WHERE F.L. FRONTAGE LEVEL, E.L. LEVEL OF EDGE OF HARDENED ROAD AND D DISTANCE IN METERS BETWEEN EDGE OF ROAD HARDENING AND ROAD RESERVE BOUNDARY). A CONCRETE BEAM AT THE CORRECT FRONTAGE LEVEL IS TO BE PROVIDED AT EACH ENTRANCE/EXIT AT THE SAME GRADE AS THE KERB OR ROAD.

ELECTRICITY SERVICES
Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Electricity Department.
1) The location of any electrical services and servitudes in the vicinity of the proposed works.
2) Departmental requirements regarding Substation, Meterrooms and Cable ducts.

Rates 08 8830 2098 008

ADDITIONS & ALTERATIONS TO EXIST HOUSE & BLDG AT 51 CHELSEA DRIVE, ON 1814 OF DURBAN NORTH.
FOR MR. M.H. & MRS. S.I. RAZAK
OWNERS 2195: [Signatures]

PHONE: 564 2816

BUILDING DESIGN STUDIO

Box 119
Weenen, 3325 KZN
Tel/Fax 033-4961100

John Smith - Reg. No. 0069
Author's Signature: [Signature] 25/3/20

STRUCTURAL NOTES.

ROOF: TILES ON DRESS BATTENS TO MATCH EXISTING ON ROOF TRUSSES BY SPECIALIST MANUFACTURER. PRINCIPALS AT MAX. 750 C/S. (GANGNAIL 17°)

FLOORS: 100MM CONC. FLOORS ON FILL TO BE REINFORCED WITH 'REF 100' WELDED MESH. SUSPENDED WOOD FLOORS TO BE 0.025 MATCHING OREGON ON EX. 150 JOISTS AT MAX. 950 C/P. ANT PROTECTION: ALL COMMON WALLS BETWEEN SUSP. WOOD FLOORS AND CONC. FL. SLABS ON FILL TO BE THICE COATED WITH BITUMEN PAINT FROM FOUNDATION FOOTING TO FL. SLAB HEIGHT INTERNALLY BEFORE PLACING OF FL. SLAB. WALLS: PROVIDE BRICKWORK FOR 2 COURSES IN SOLID MORTAR JOINTS AT BOTH WINDOW SILL & WALL PLATE LEVELS.

OWNER/CONTRACTOR TO ESTABLISH ALL BEACON POSITIONS ON SITE, AND REPORT ANY MEASUREMENT DISCREPANCIES TO AUTHOR, PRIOR TO COMMENCEMENT OF BUILDING WORKS. ALL PLUMBING TO COMPLY WITH N.B.R. ALL SHOP MEASUREMENTS TO BE TAKEN ON SITE.

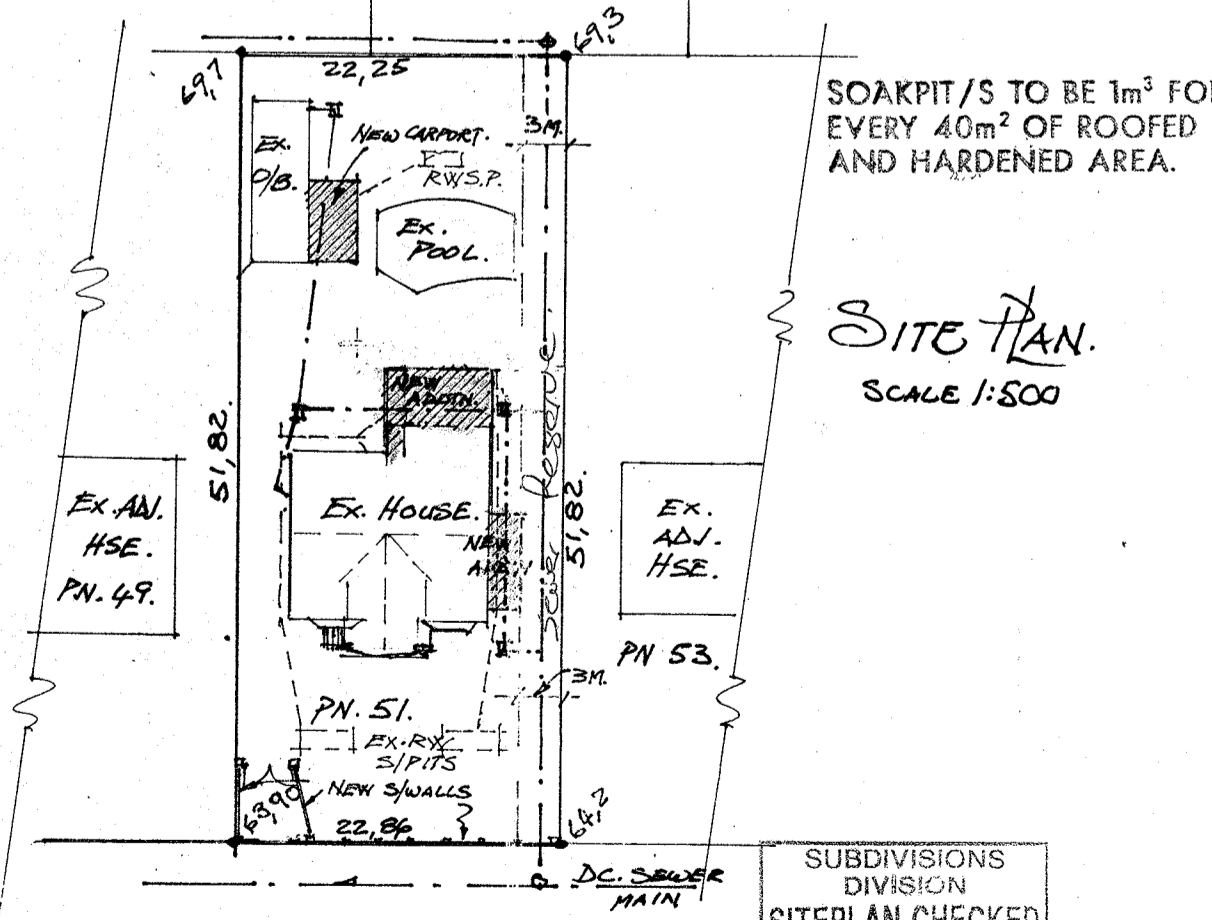
SCHEDULE OF AREAS

AREA OF SITE 1168.8 m²
AREA OF EX. HOUSE & OUTBLDGS 204,67 m²
AREA OF NEW ADDITIONS 53,96 m²
TOTAL 258,63 m²

ENGINEER'S DETAILS OF RETAINING WALL REQUIRED

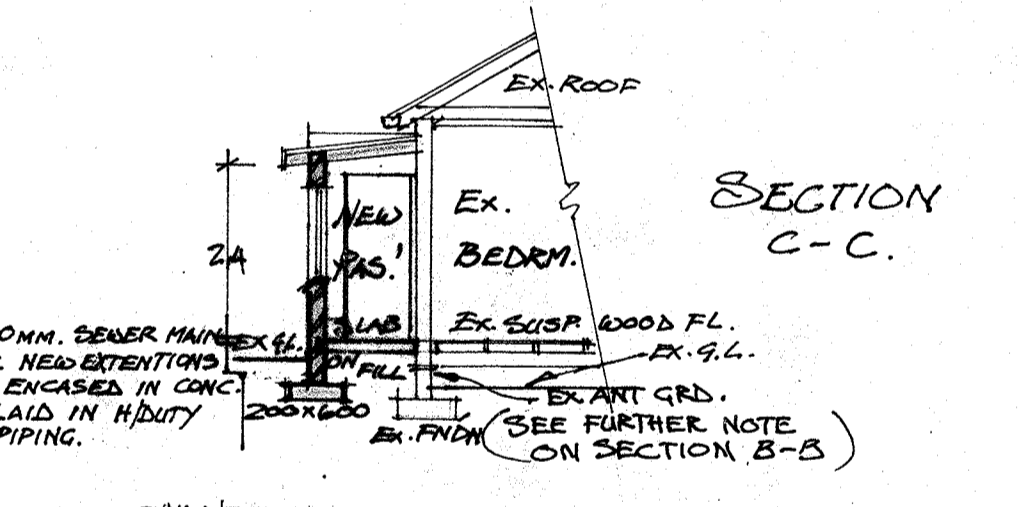
SOAKPIT/S TO BE 1m³ FOR EVERY 40m² OF ROOFED AND HARDENED AREA.

SITE PLAN.
SCALE 1:500



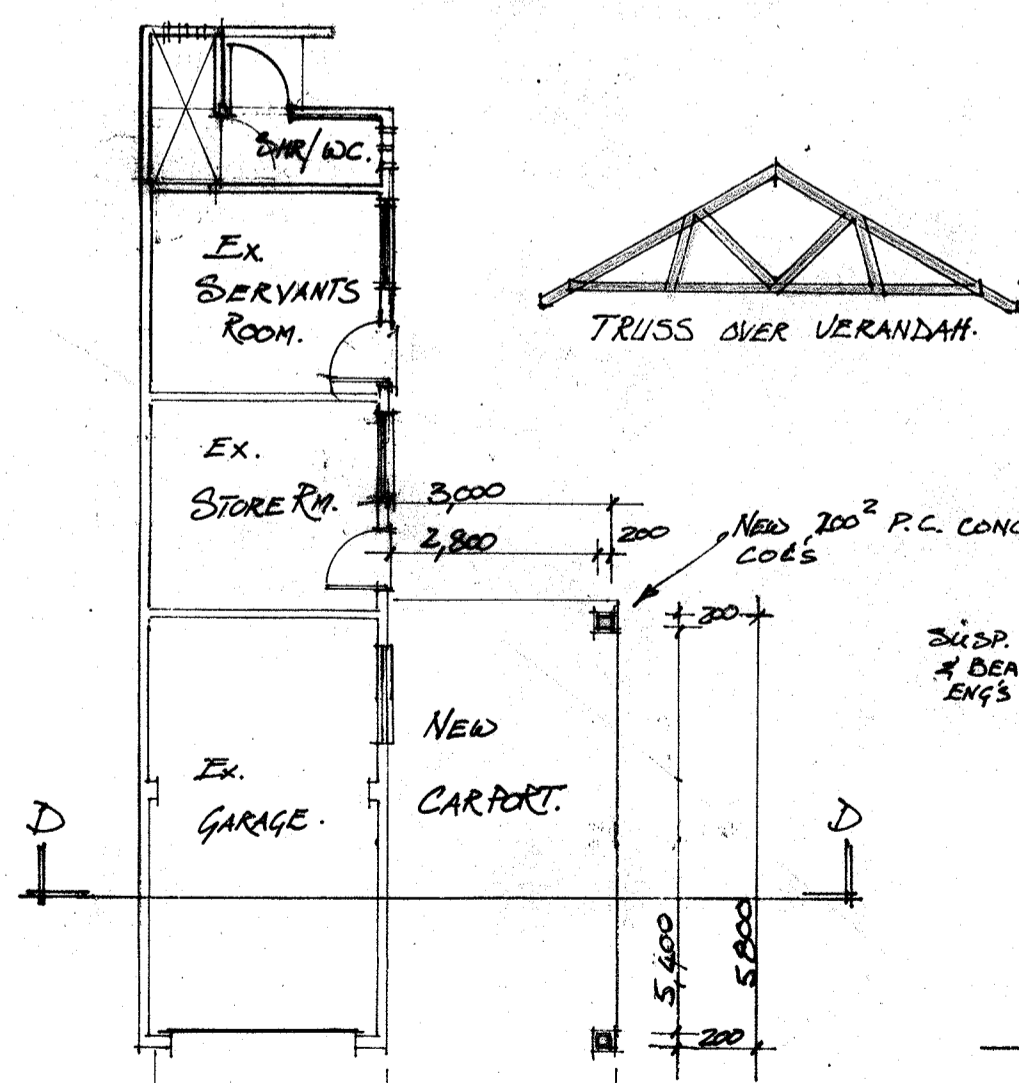
CHELSEA DRIVE.

SUBDIVISIONS DIVISION
SITEPLAN CHECKED
11 MAY 2000
Signature: [Signature]

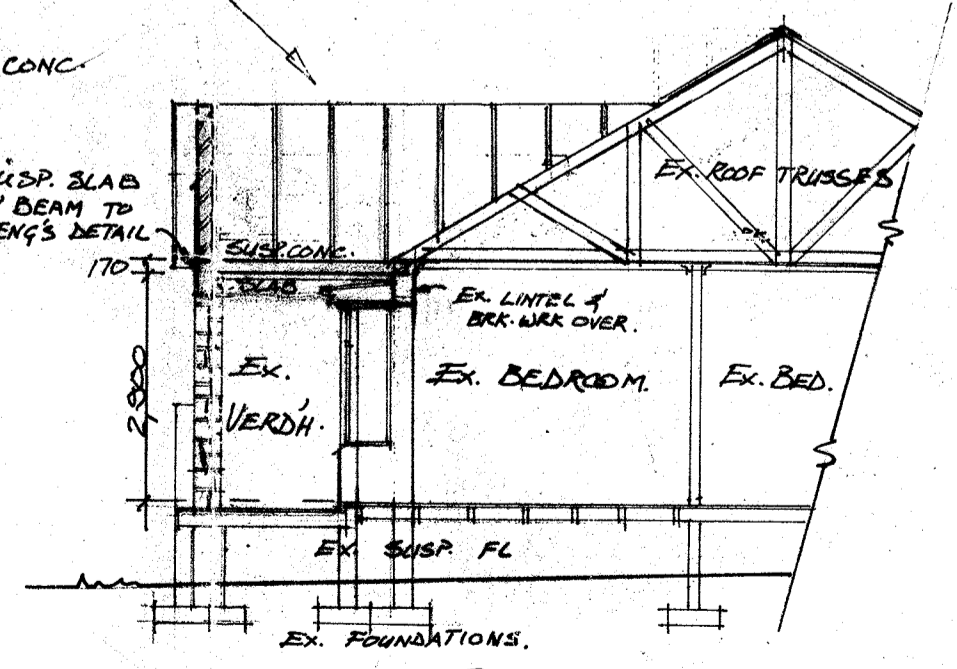


SECTION C-C.

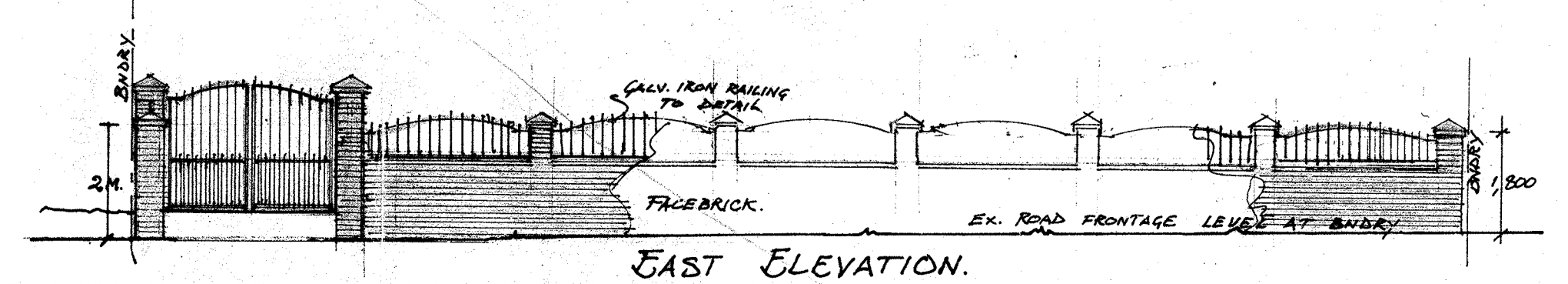
NOTE: EX. 100MM. BENCH MIN. EX. FL. UNDER NEW EXTENSIONS TO BE ENCASED IN CONC. OR RELIED IN HEAVY P.C. PIPING.



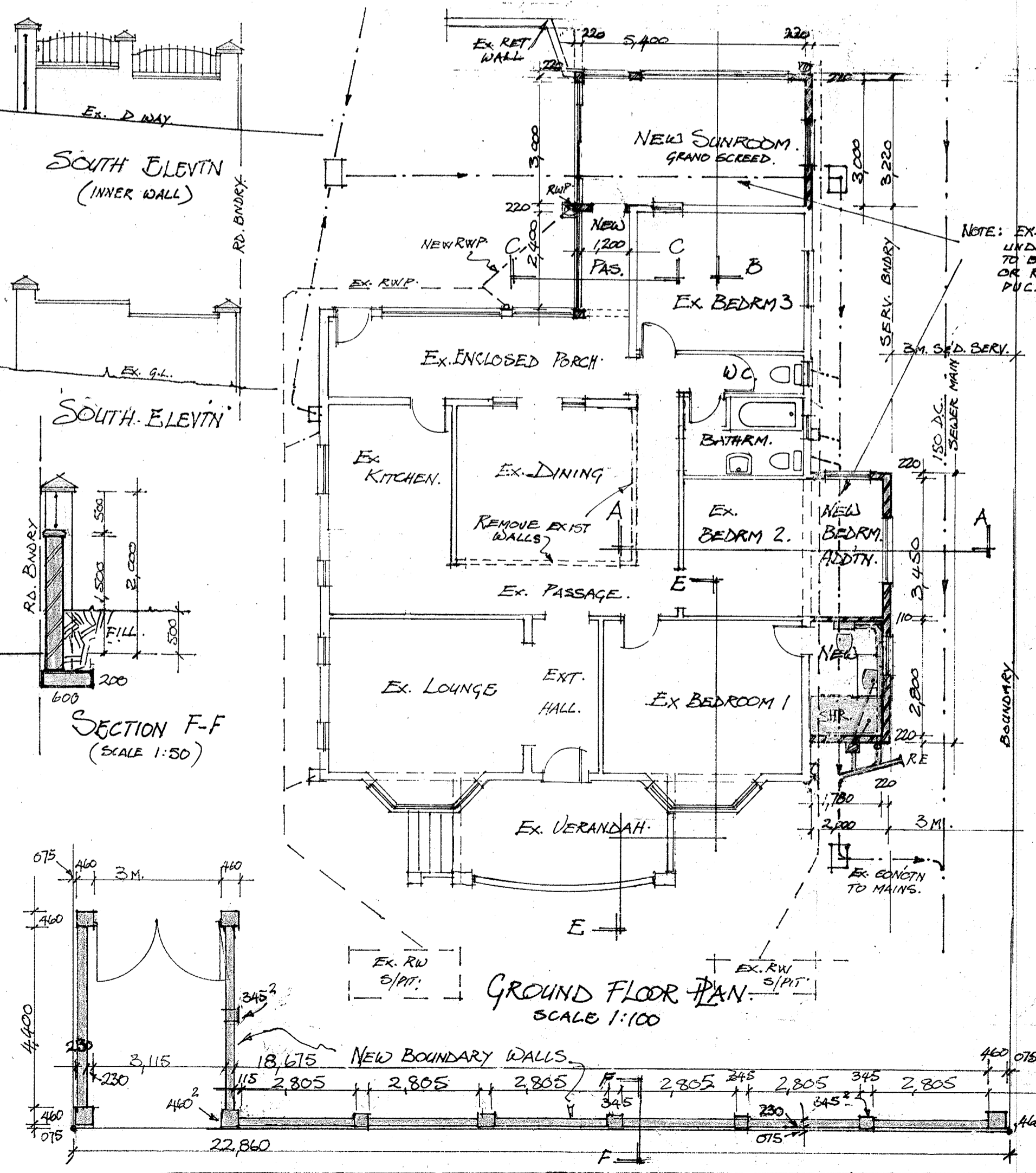
GROUND FLOOR PLAN.
SCALE 1:100



SECTION E-E.

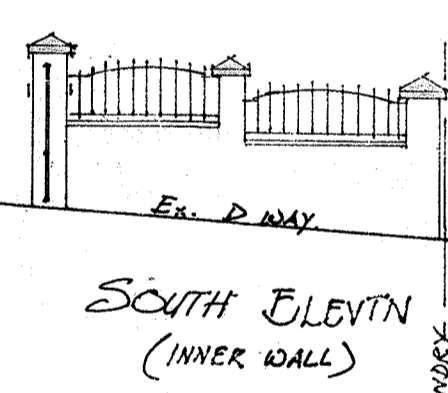


EAST ELEVATION.

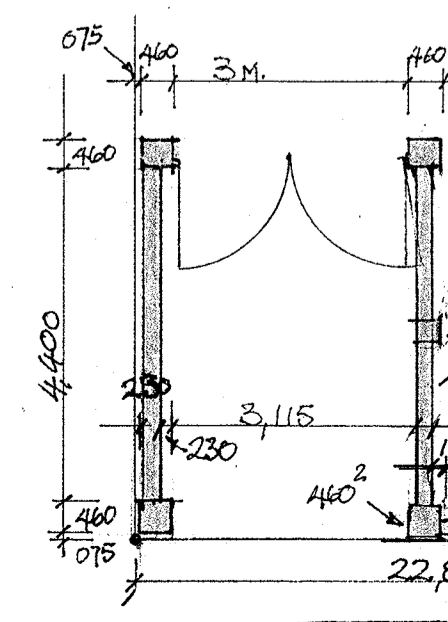
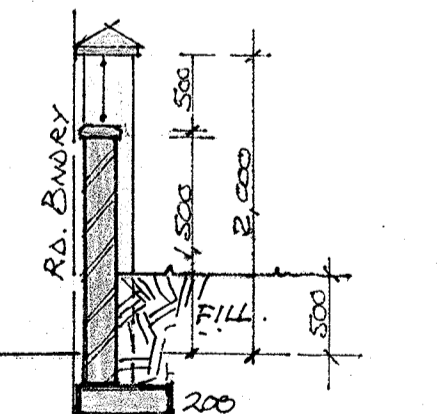


GROUND FLOOR PLAN.
SCALE 1:100

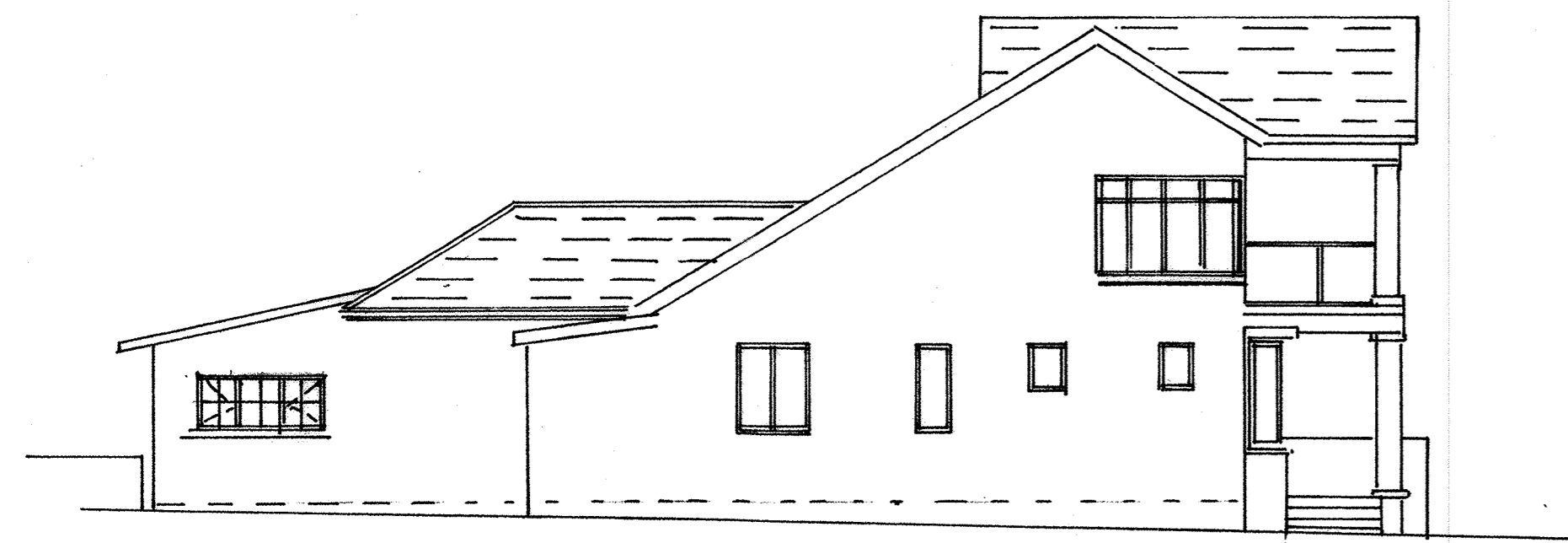
SECTION F-F
(SCALE 1:50)



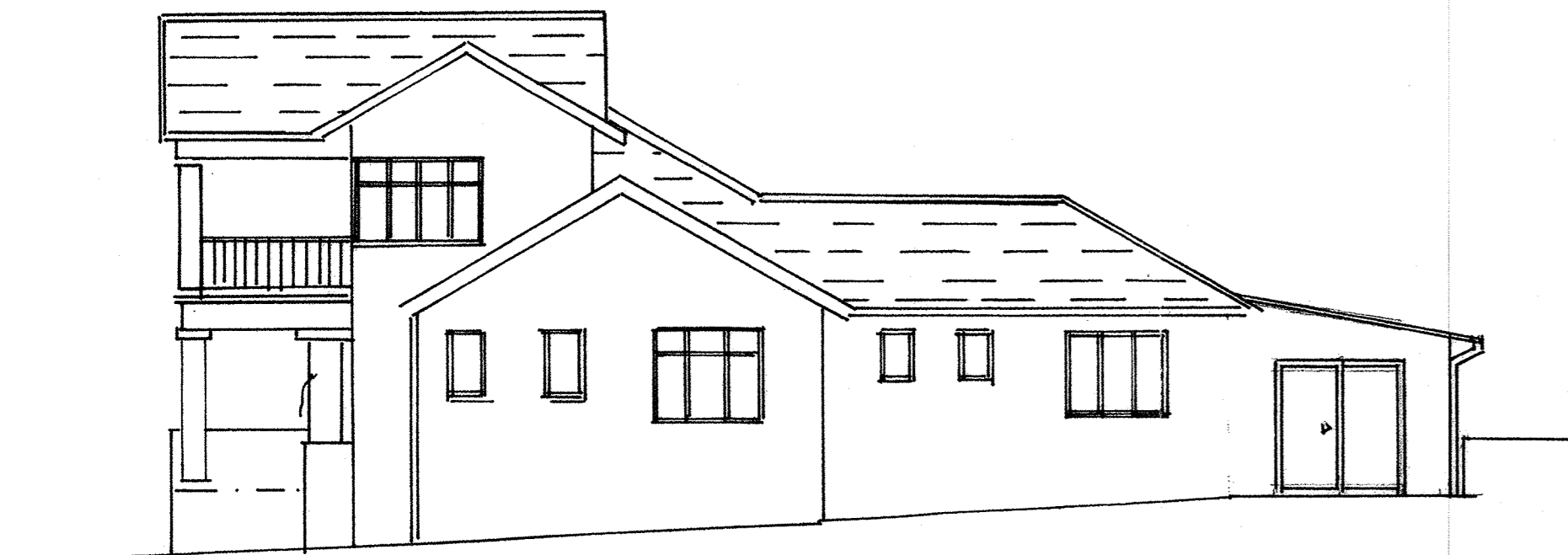
SOUTH ELEVATION
(INNER WALL)



SECTION F-F
(SCALE 1:50)



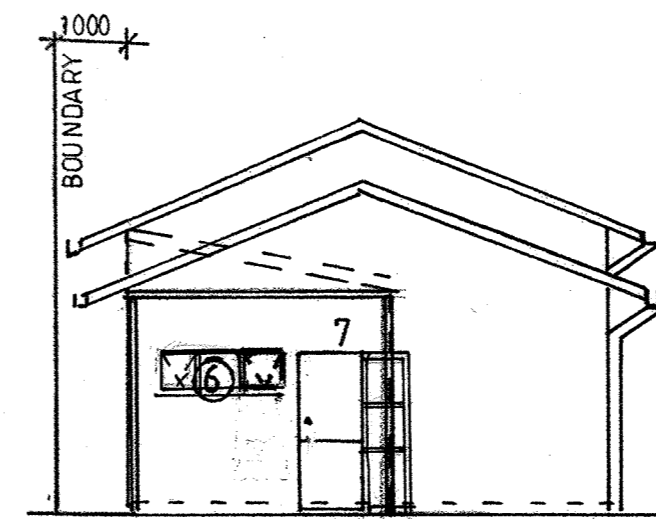
SOUTH ELEVATION 1:100



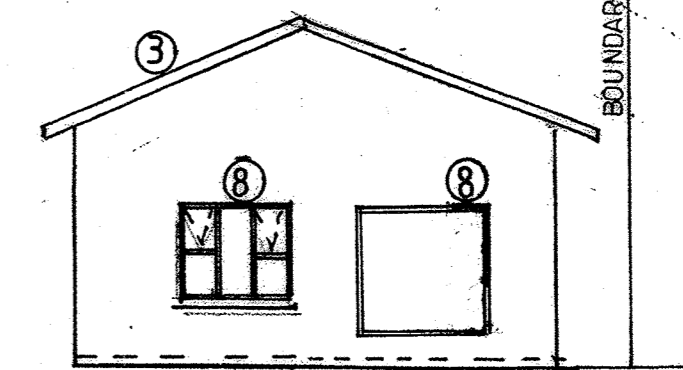
NORTH ELEVATION 1:100



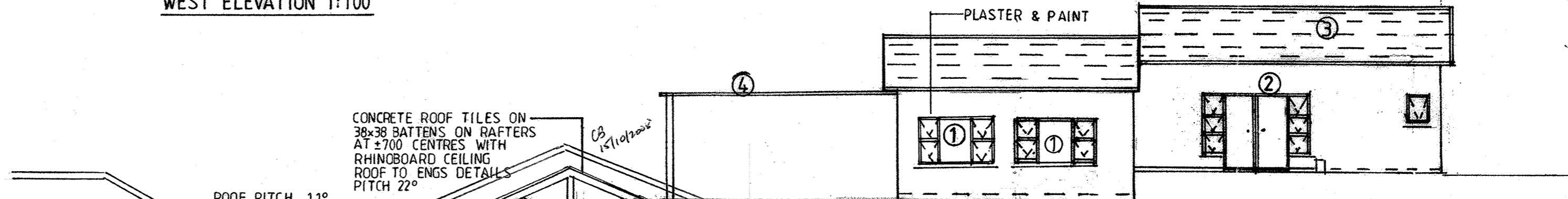
WEST ELEVATION 1:100



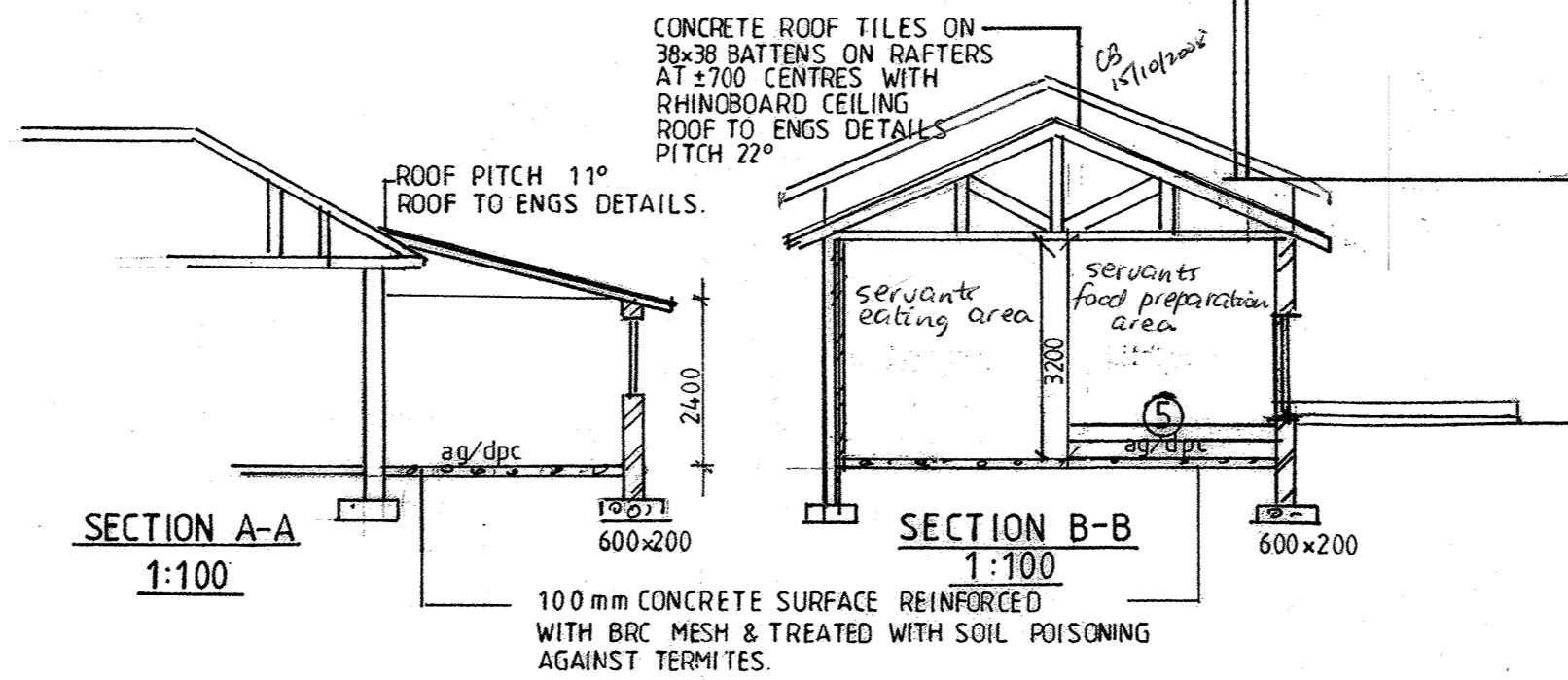
EAST ELEVATION 1:100



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

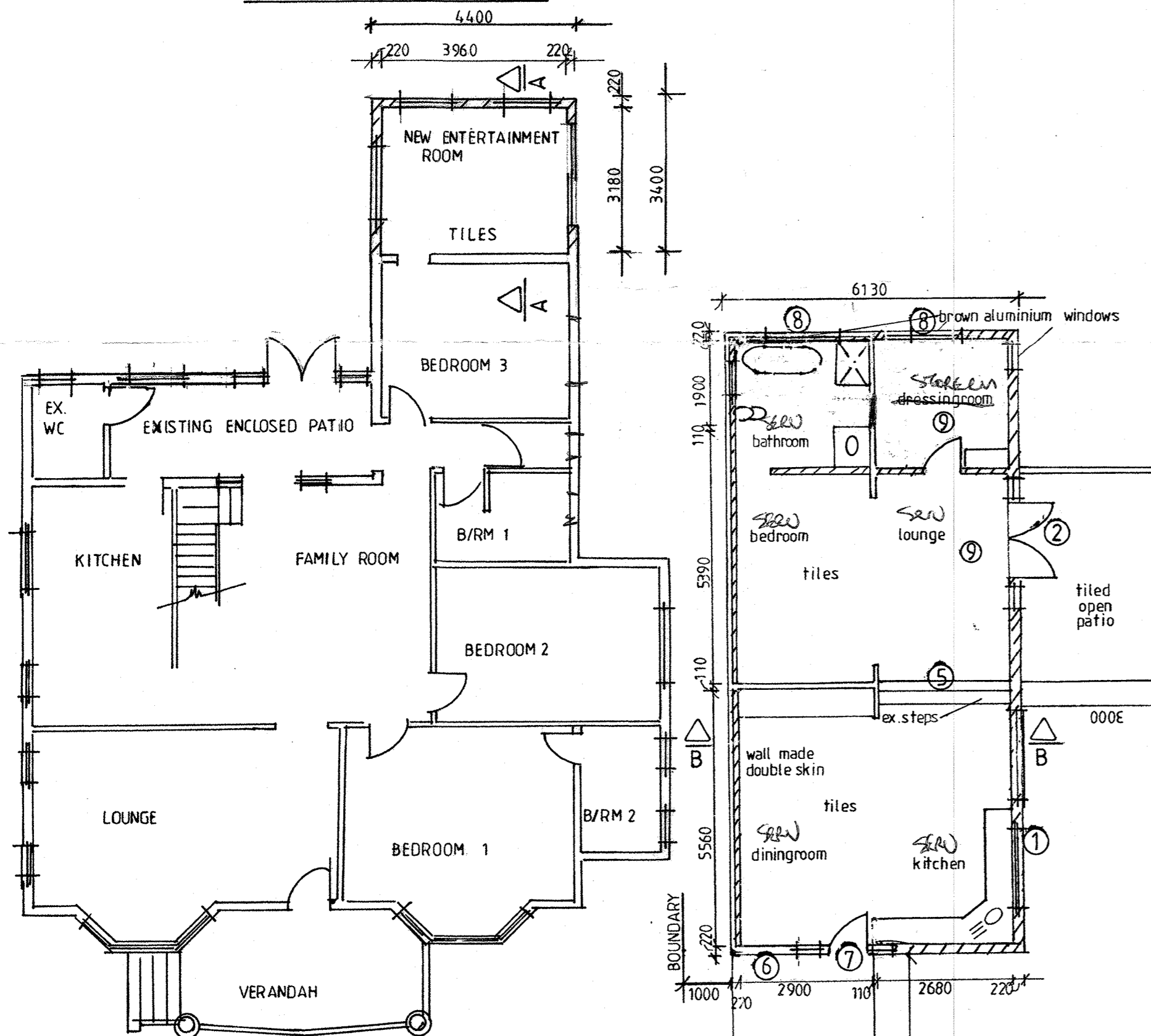


SECTION A-A 1:100

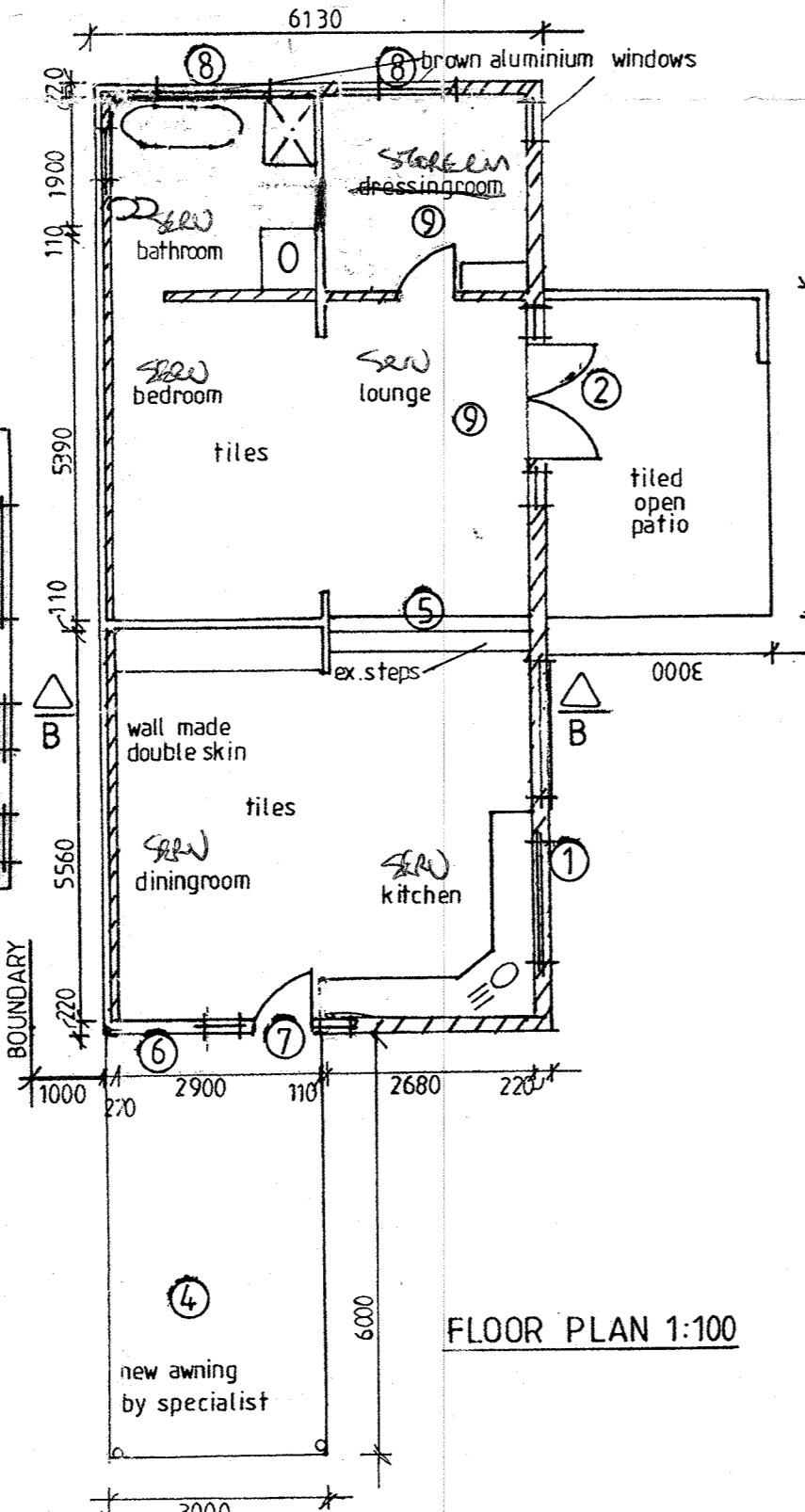
SECTION B-B 1:100

List of Deviations

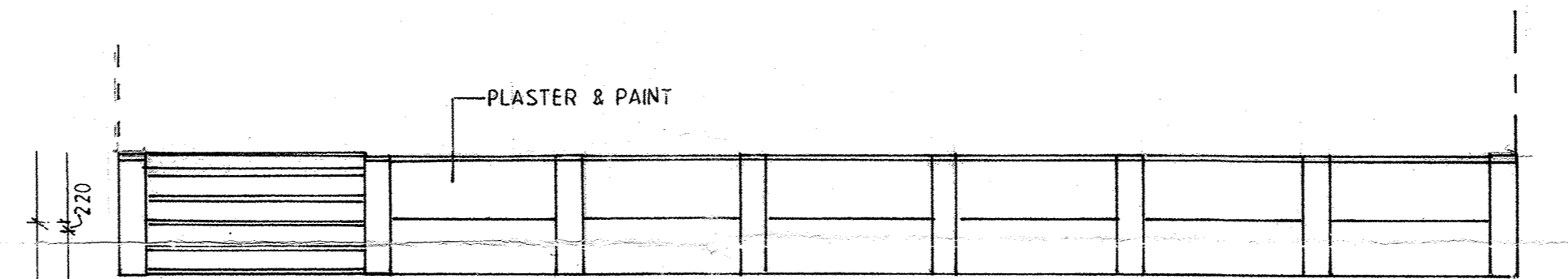
- ① Sliding door to be removed and replaced by 2 windows to new kitchen.
- ② New French doors put in new lounge.
- ③ New roof.
- ④ New chromodeck awning.
- ⑤ Ex. Steps to remain.
- ⑥ Window removed and replaced by new window.
- ⑦ New stable door and window.
- ⑧ New windows.
- ⑨ New dressing room and lounge



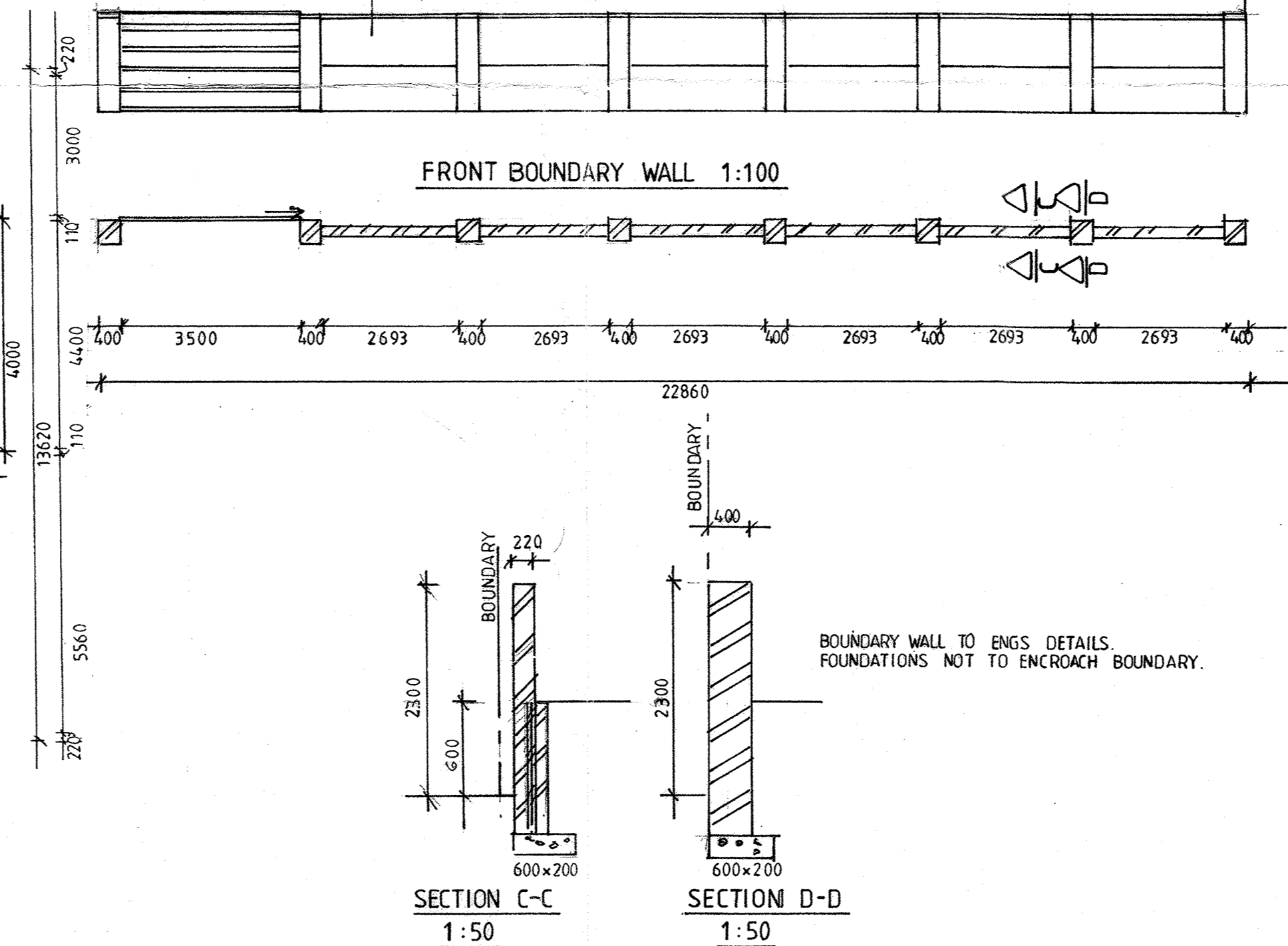
GROUND FLOOR PLAN 1:100



FLOOR PLAN 1:100

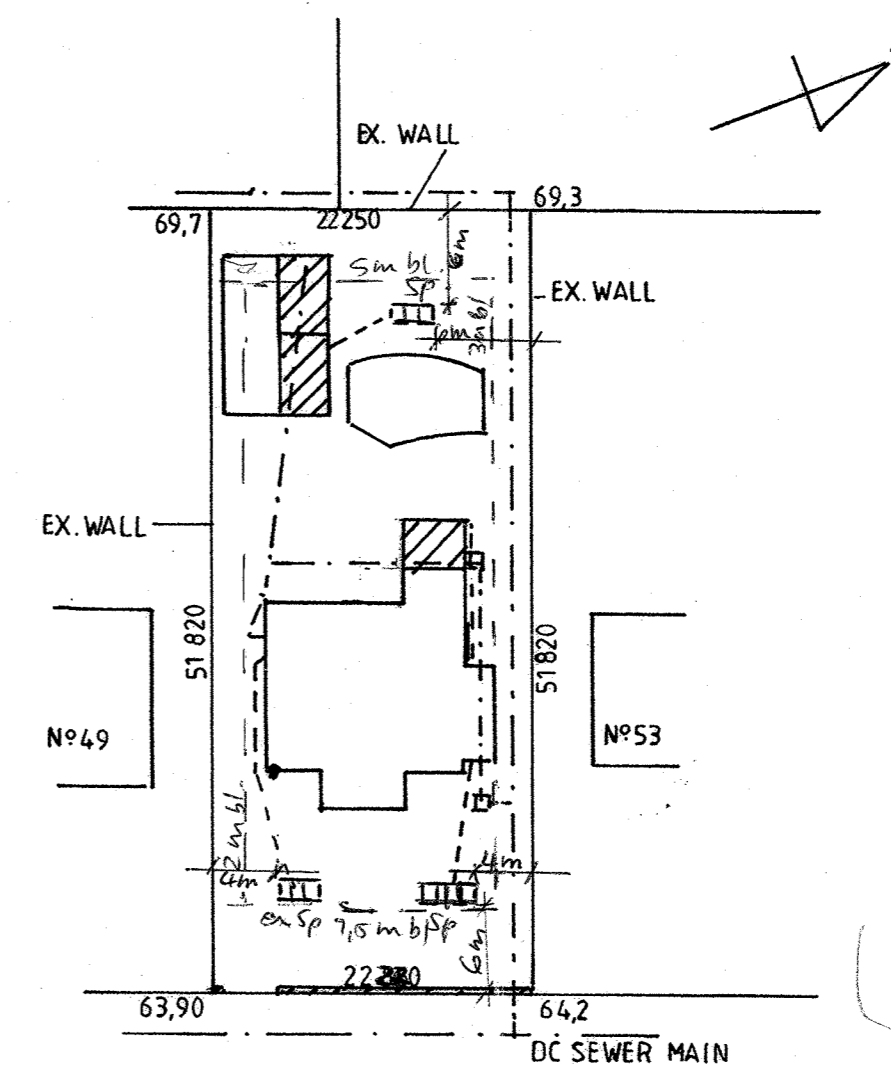


FRONT BOUNDARY WALL 1:100



SECTION C-C 1:50

SECTION D-D 1:50



CHELSEA DRIVE

SITE PLAN 1:500

note
* conversion of dwelling to office under separate application

Alterations and additions to approved plan 140/07/07

DEVIATION TO PLAN 140/07/07 AT 51 CHELSEA DRIVE ON 1814 DURBAN NORTH FOR THE PATON FAMILY TRUST.

SIGNATURE OF TRUSTEE

Owner: 031 563 9078
083229 3345

DRAWN: C. BUCKLE TEL: 031 5661414/084 5661414
P.O. BOX 2333
UMHLANGA
4021
REG N° D0025

SHEET // COPY

ETHEKWINI MUNICIPALITY
CENTRAL

Plan No: 339 08 08

APPROVED in terms of The National Building Regulations and Building Standards Act

2009-01-28

This plan is submitted to the Municipality in accordance with the provisions of the Act and is drawn to the same scale as the documentation.

BOUNDARY BEACONS
FAILURE TO EXPOSE THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

ANTIQUARD - D.P.C. - VERTICAL D.P.C.
SOIL POISONING REQUIRED

ENGINEER'S DETAILS REQUIRED

FRONT STRUCTURE TO BE TO TECHNICAL RULES OR TO RATIONAL DESIGN, COMPLYING WITH DEEMED TO SATISFY RULE BB.4

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SANS 6403.

SOAKPITS TO BE 1m³ FOR EVERY 40m² OF ROOFED AND HARDED AREA

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

FRONTAGE LEVELS TO BE:
(1) TO CONFORM TO THE BANK OF THE CONSTRUCTED SUBSTIAL, OR
(2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA: $F = 10 + 0.25D$

(where F = frontage level, E = level of edge of hardened road and D = distance in metres between edge of road hardening and road reserve boundary)

A CONCRETE BEAM AT THE CORRECT FRONTAGE LEVEL IS TO BE PROVIDED AT EACH ENTRANCE/EXIT AT THE SAME GRADE AS THE KERB OR ROAD.

C. THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0.230 METRES BELOW FRONTAGE LEVEL.

General Notes
All levels and dimensions to be checked on site by contractor prior to starting.
Dimensions not to be scaled from drawing.
All work to comply with NBR.
No foundations to encroach over boundaries.
DPC under all walls, cills and floors.
Min found footing size 600 x 200.
Contractor to remove all rubble on completion.

NEIGHBOURS CONSENT

NAME	ADDRESS & TEL N°	SIGNATURE
PARK, SON-IM	138 NORTHWAY 031 563 3911	<i>[Signature]</i>
COX, KERRY	136 Northway 031 563 5431	<i>[Signature]</i>

SCHEDULE OF AREAS

SITE AREA	1168,8 m ²
EX. COVERAGE	221,74 m ²
EX. FAR	268,72 m ²
PROPOSED FAR	36,64 m ² + 22,5 m ² (deviation)
PROPOSED COVERAGE	54,64 m ² + 22,5 m ²
TOTAL FAR	282,71 m ² + 22,5 m ² = 305,21 m ²
TOTAL COVERAGE	235,73 m ² + 22,5 m ² = 276,23 m ²