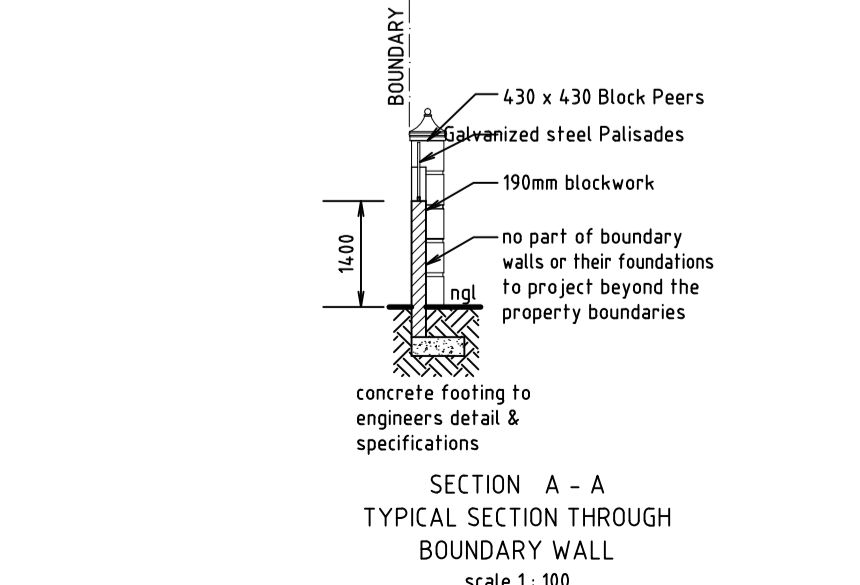
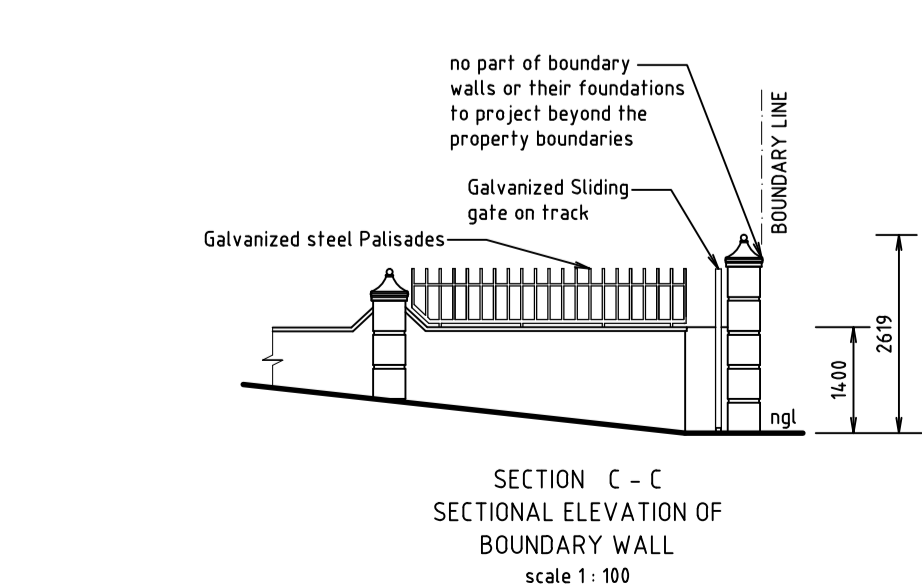
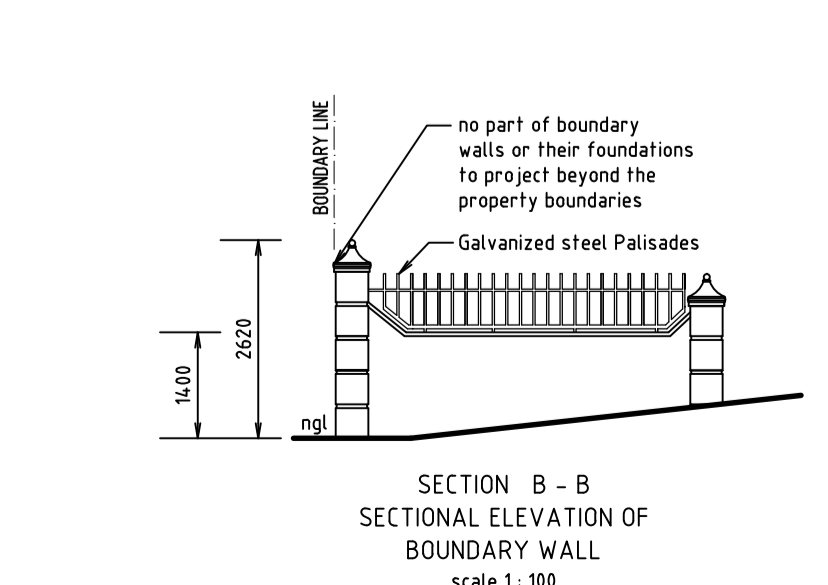
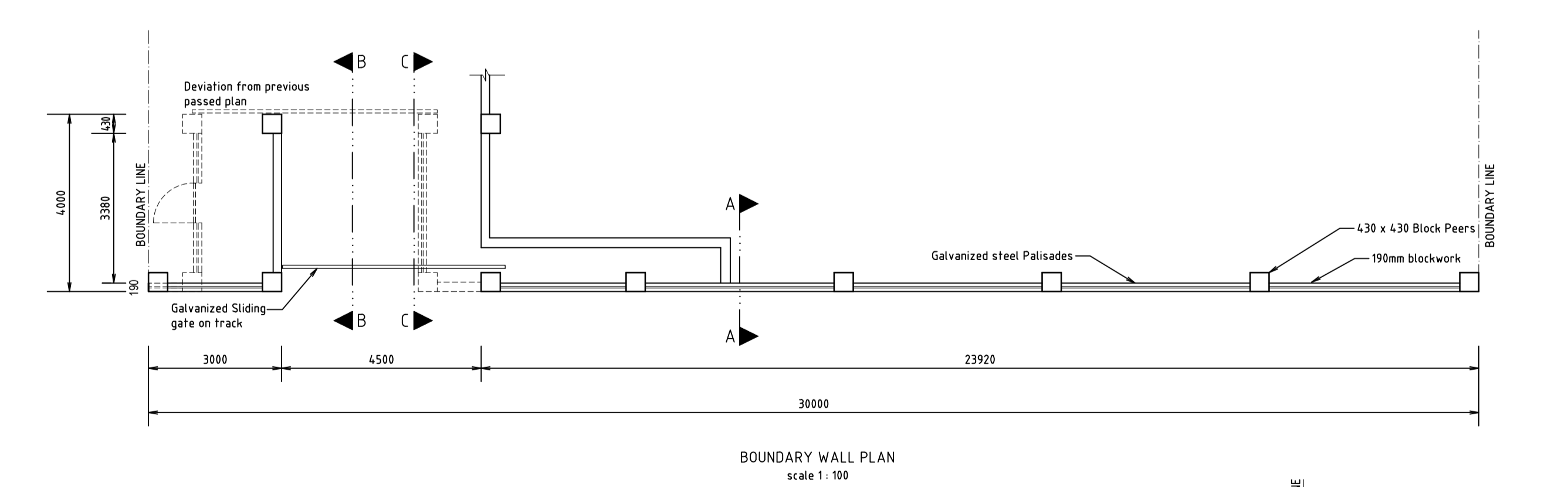
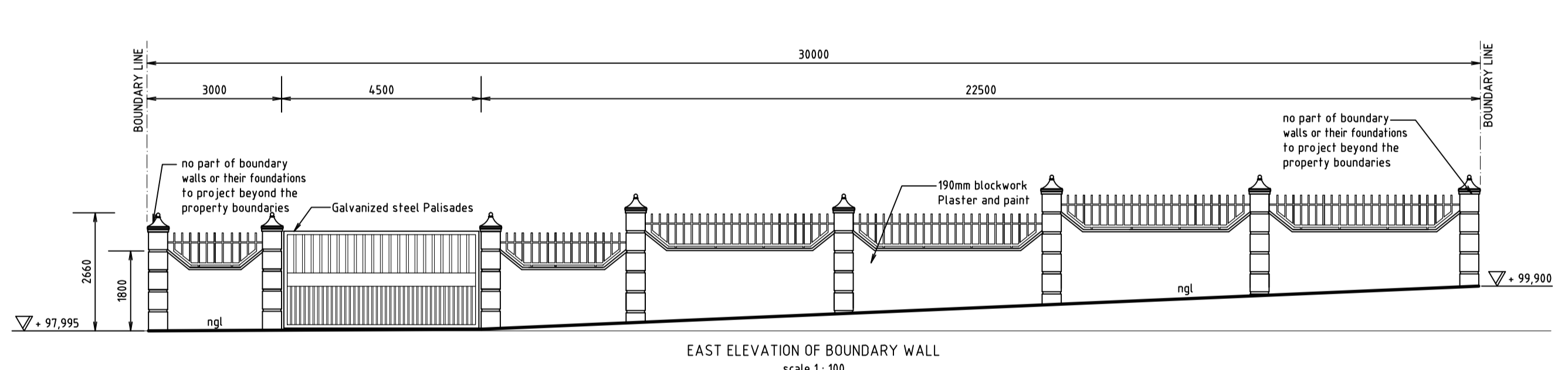
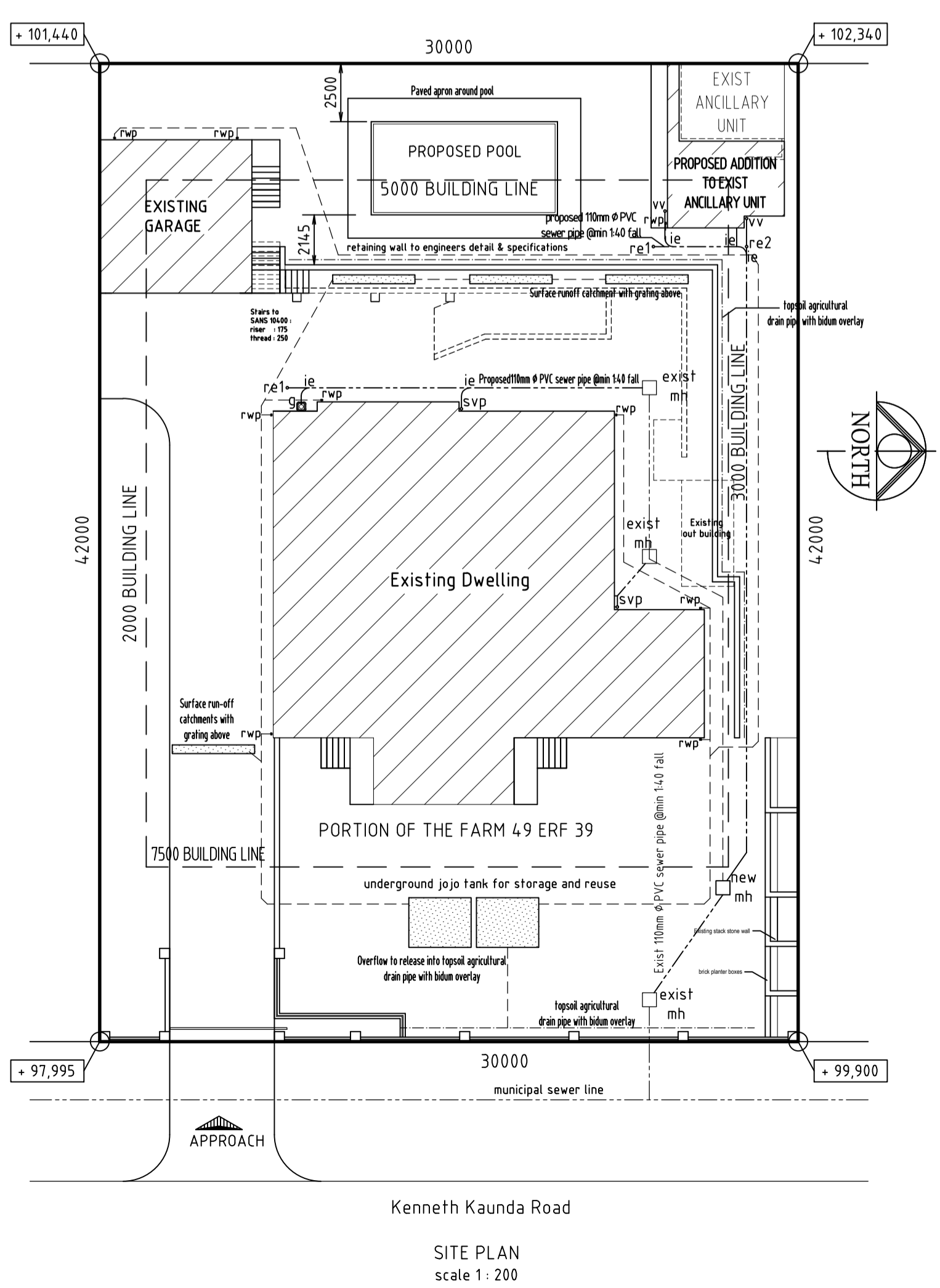


- CONSTRUCTION NOTES :**
- A. FOUNDATIONS :**
    - To SABS 0400-1990 PART H.
    - 20mpa Concrete Foundations.
    - 230mm walls 250mm x 700mm.
    - 115mm walls 200mm x 600mm.
    - All foundations to be founded on solid ground.
    - Foundations in clay or shale subject to engineers approval.
  - B. WALLS :**
    - 220mm Cement bricks external walls.
    - 110mm Cement bricks internal walls.
    - Plaster & paint finish.
    - Brickforce every 4th course.
    - Two rows of wall tiles above sink & whb. Shower to be tiled to 1.8m.
  - C. FLOORS :**
    - 100mm thick concrete on well rammed earth fill, reinforced with weldmesh. Soil to be ant poisoned. Ceramic tile finish, 250 micron plastic sheet under floor.
    - First floor slab to engineers detail and specifications.
  - D. ROOF :**
    - Concrete roof tiles on 38 x 38 battens on trusses by roof specialist at 700ctrs. Plastic sheet under tiles. Wall plate 38 x 114, roof anchorage to be galvanised iron straps.
    - Exposed roof timber to be painted with carbolinum. Eave tiles to have storm clips.
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  - F. WINDOWS & GLAZING :**
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  - H. FASCIA & BARGE :**
    - NUTEC fibre cement.
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    - 76Ø P.V.C down pipes.
  - J. CILLS :**
    - Quarry cill tiles.
  - K. VENTILATION :**
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  - L. D.P.C. :**
    - Plastic or 3 ply malthoid under wall and under window cills.
  - M. DRAINAGE :**
    - All bends and junctions in drains to be provided with inspection eyes.
    - All sewer pipes to be 100mmØ p.v.c. All waste pipes to be 50mmØ p.v.c.
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    - All levels are approximate.



**EAG ARCHITECTS**

Contact : 079 427 4337 / 083 785 5871  
Fax : 031 208 5459  
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ARCHITECTURAL, CONCEPTUAL AND INTERIOR DESIGN

**ZONE SPECIAL RESIDENTIAL**

**SCHEDULE OF AREAS --**

PORTION ERF OF THE FARM 49 ERF 39	1260.00 sqm
EXIST DWELLING	460.80 sqm
EXISTING BALCONIES	56.93 sqm
EXISTING GARAGE	42.85 sqm
EXISTING OUTBUILDING	15.71 sqm
TOTAL EXISTING BUILDING AREA	576.29 sqm
PROPOSED OUTBUILDING ADDITIONS	13.80 sqm
PROPOSED ADDITIONAL COVERAGE	56.93 sqm
COVER	26.83 %
F.A.R.	38.85 %

CLIENT :  
Mr A.R. ABBU

CLIENT SIGNATURE :

JOB TITLE :  
PROPOSED ALTERATIONS & FIRST FLOOR ADDITION TO EXISTING DWELLING ON 49 ERF 39 OF THE FARM DURBAN NORTH, NO 51 KENNETH KAUNDA ROAD ATHLONE

DESIGNED BY: B.E.Saul  
REGISTRATION No: T0436

P.O. BOX 352  
MANDINI, 4490  
Cell : 083 785 5871

DRAWN BY :  
EA

DRAWING DESCRIPTION :  
SITE PLAN, FLOOR PLANS

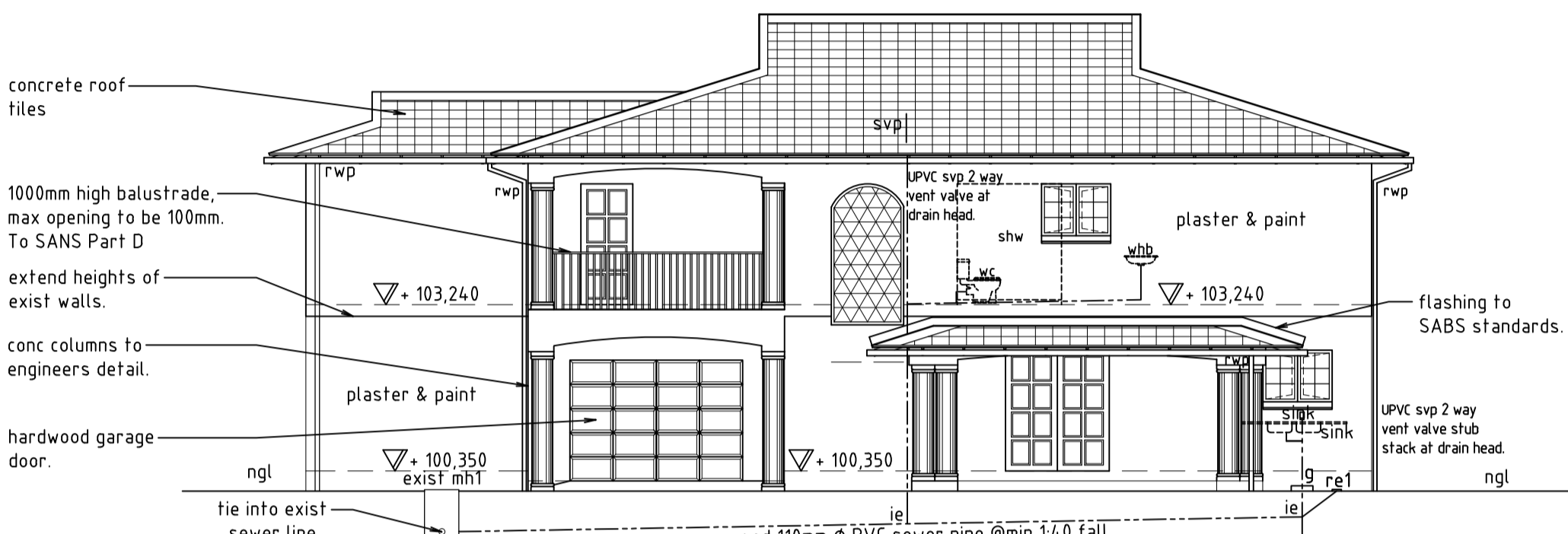
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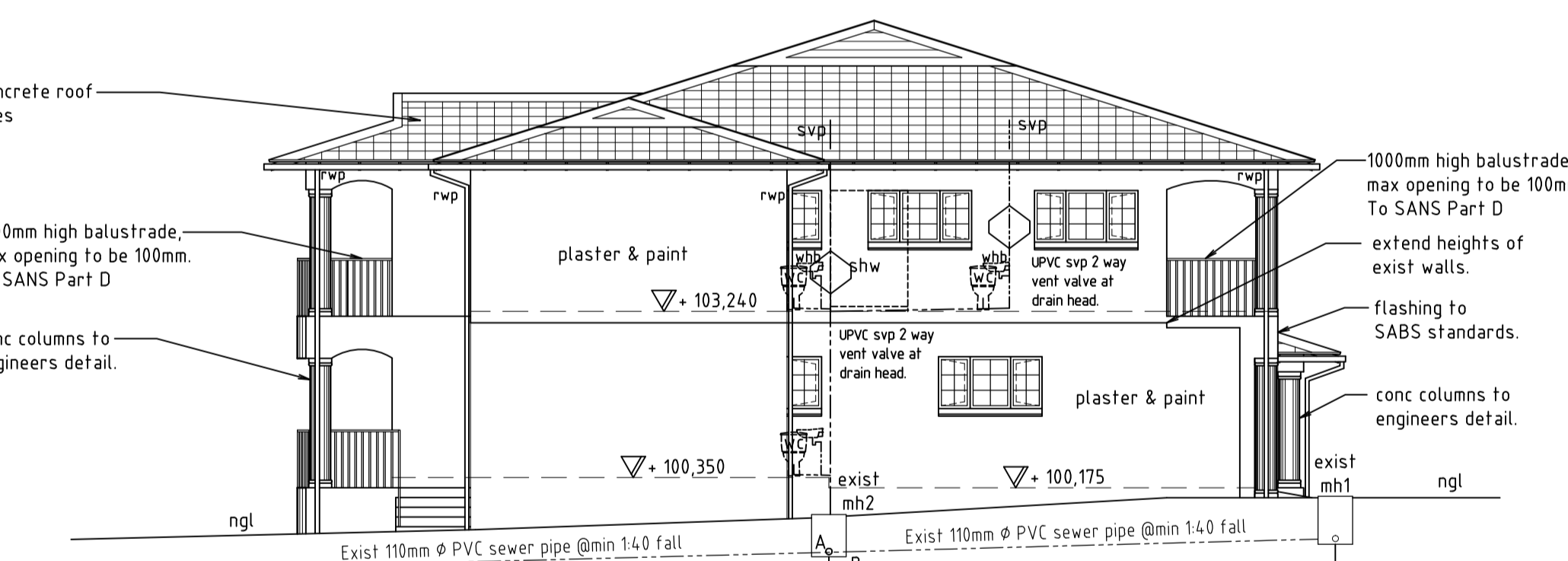
DRAWING No :  
00/2016SD



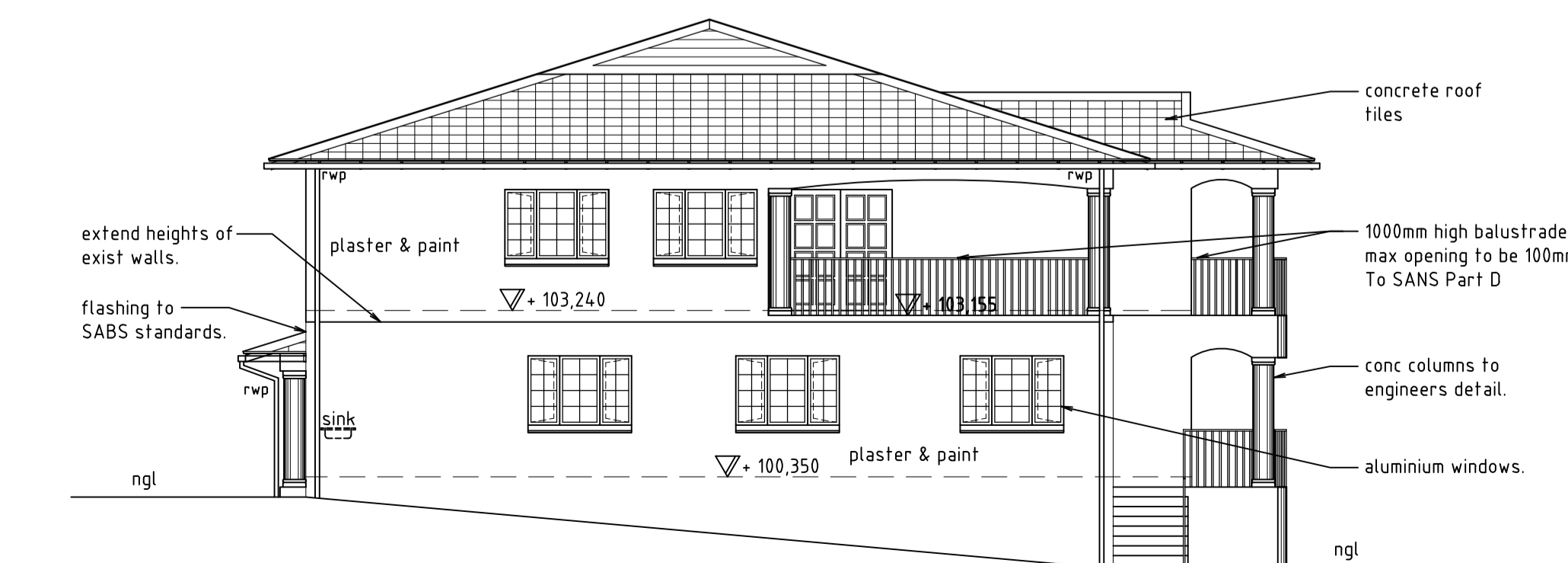
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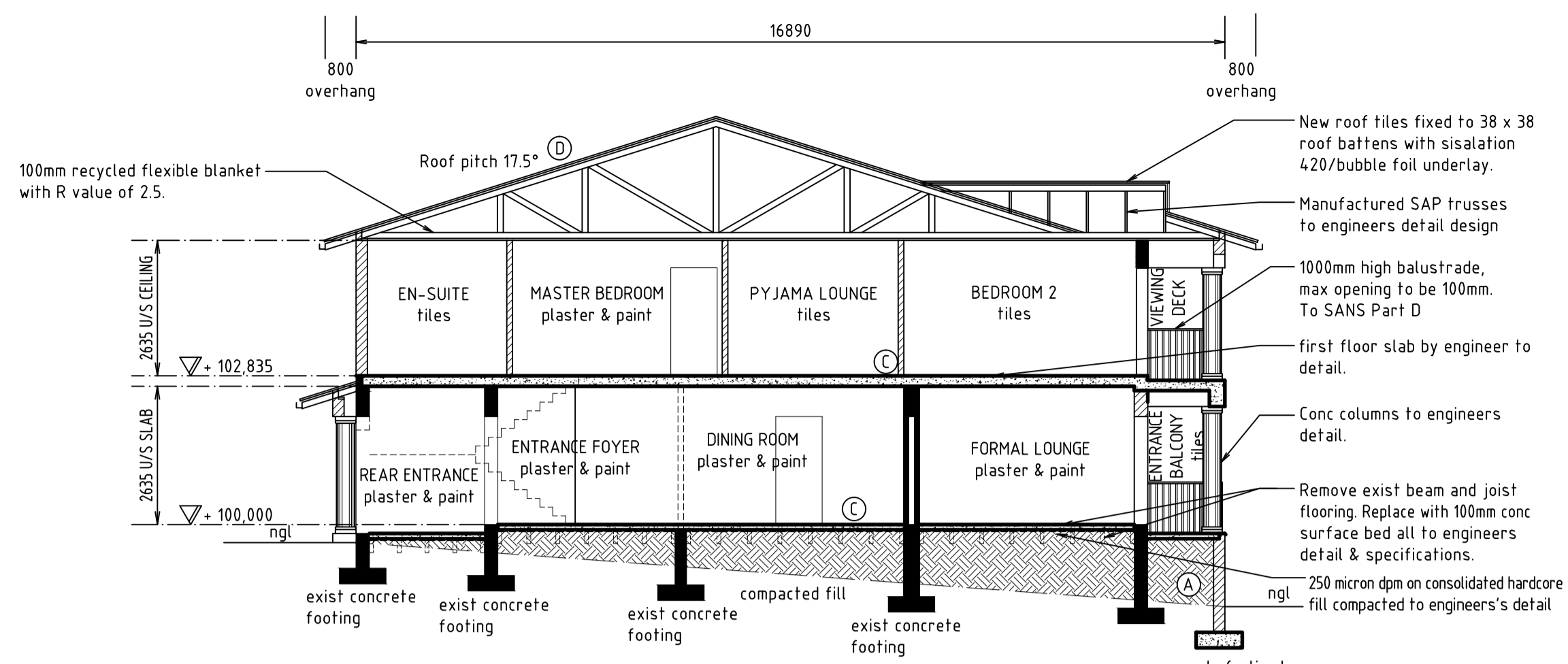
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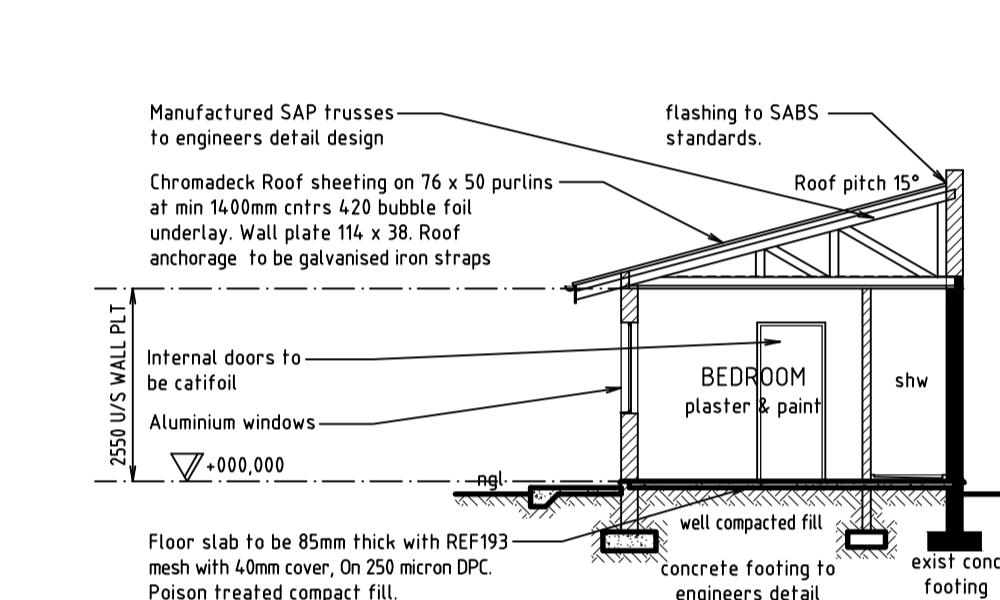
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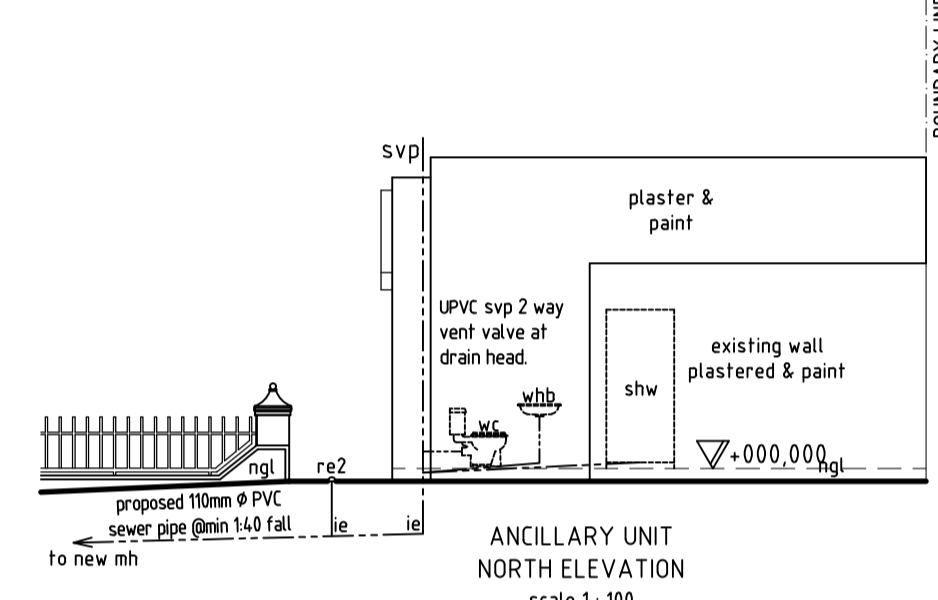
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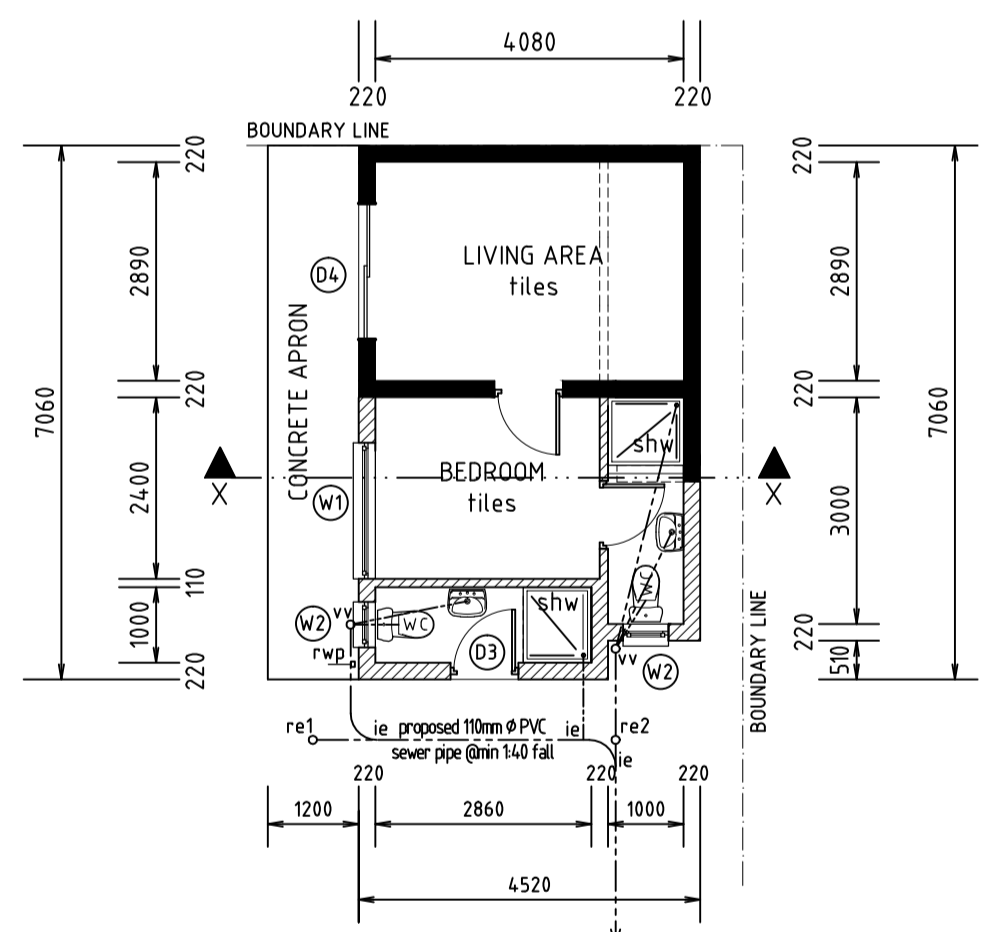
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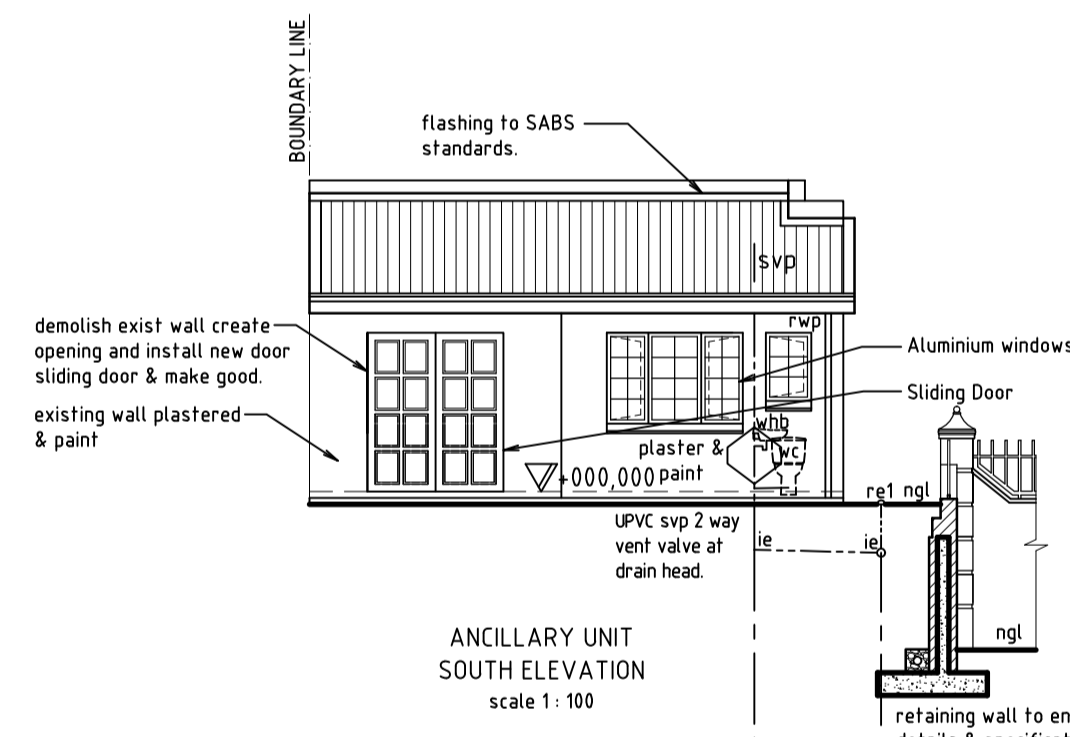
SECTION X - X  
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ANCILLARY UNIT  
NORTH ELEVATION  
scale 1: 100

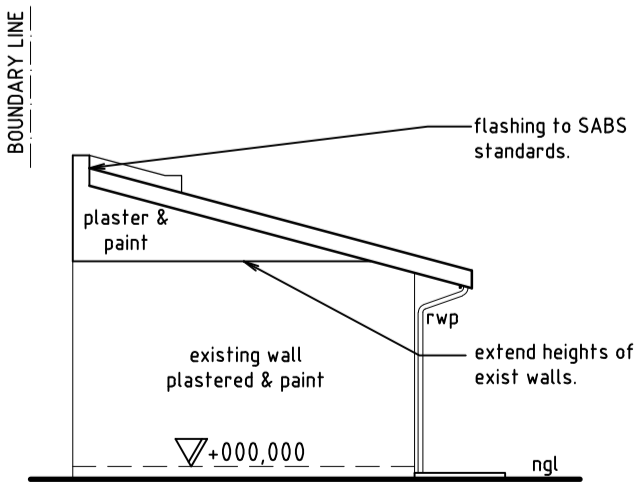


EXISTING SERVANTS QUARTERS  
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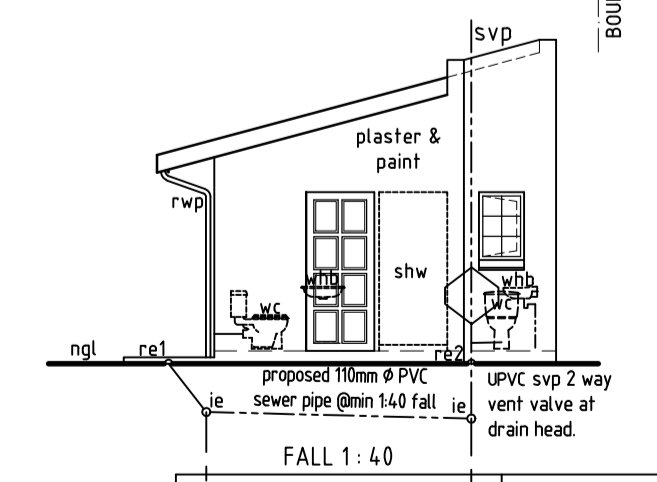


ANCILLARY UNIT  
SOUTH ELEVATION  
scale 1: 100

FALL 1: 40		COVER LVL
+ 000000	+ 100000	COVER LVL
+ 000000	+ 99610	INVERT LVL
000	390	DEPTH
	1675	DISTANCE



ANCILLARY UNIT  
WEST ELEVATION  
scale 1: 100



ANCILLARY UNIT  
EAST ELEVATION  
scale 1: 100

FALL 1: 40		COVER LVL
+ 000000	+ 100000	COVER LVL
+ 000000	+ 99610	INVERT LVL
000	390	DEPTH
	3505	DISTANCE

CONSTRUCTION NOTES :

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ARCHITECTURAL, CONCEPTUAL AND INTERIOR DESIGN

ZONE SPECIAL RESIDENTIAL

CLIENT :  
Mr A.R. ABBU

CLIENT SIGNATURE :

JOB TITLE :  
PROPOSED ALTERATIONS & FIRST FLOOR ADDITION  
TO EXISTING DWELLING ON 49 ERF 39 OF THE  
FARM DURBAN NORTH, NO 51 KENNETH KAUNDA  
ROAD ATHLONE

DESIGNED BY: B.E. Saul  
REGISTRATION No: T0436

P.O. BOX 352  
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Cell : 083 785 5871

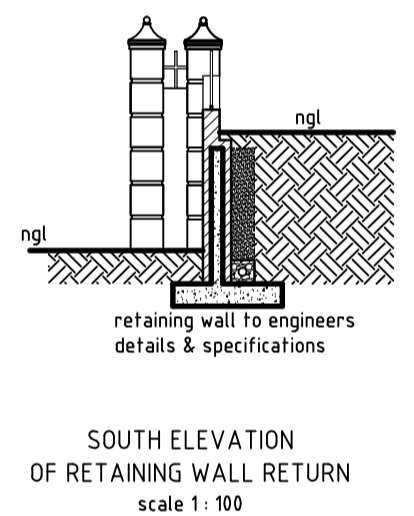
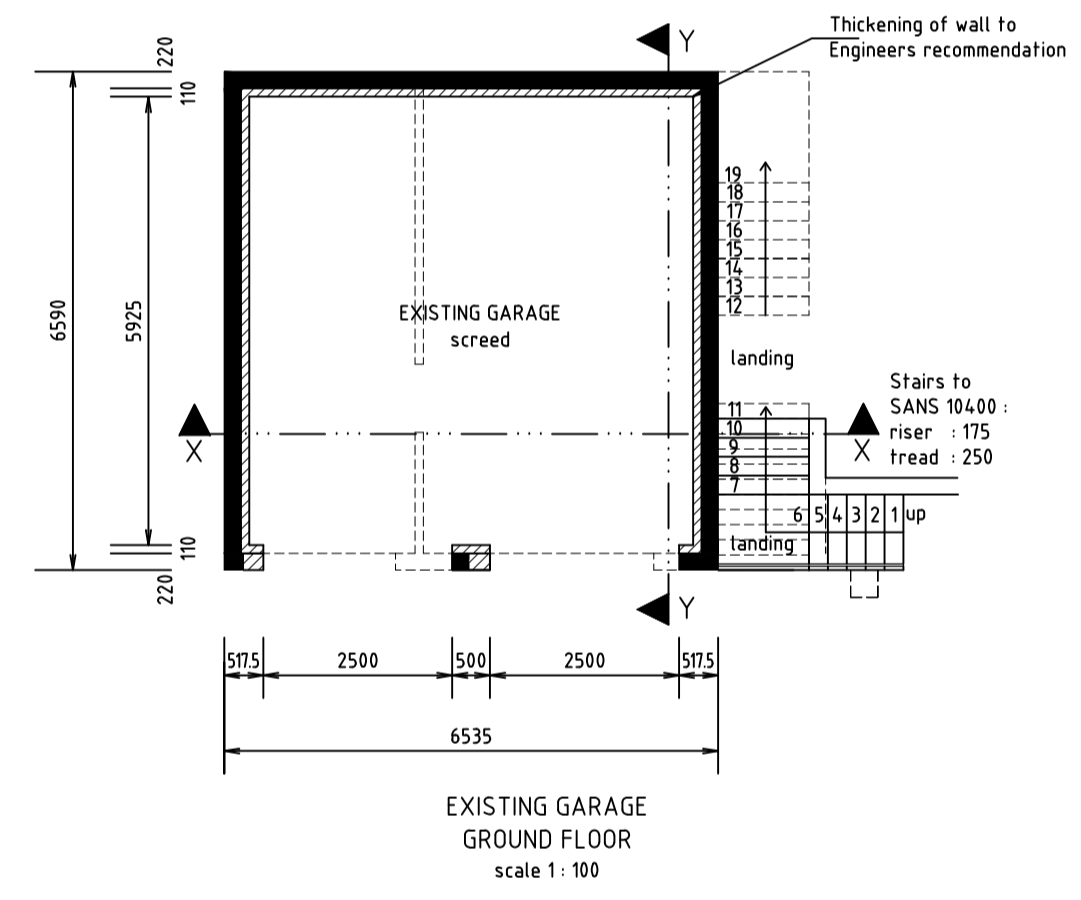
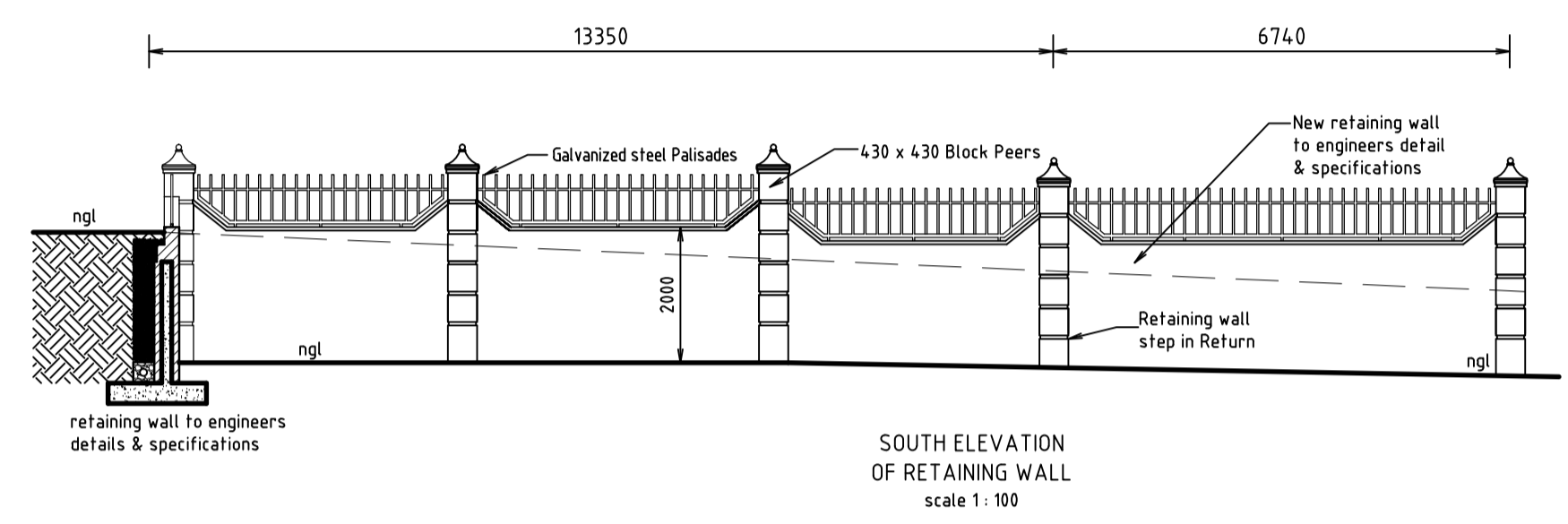
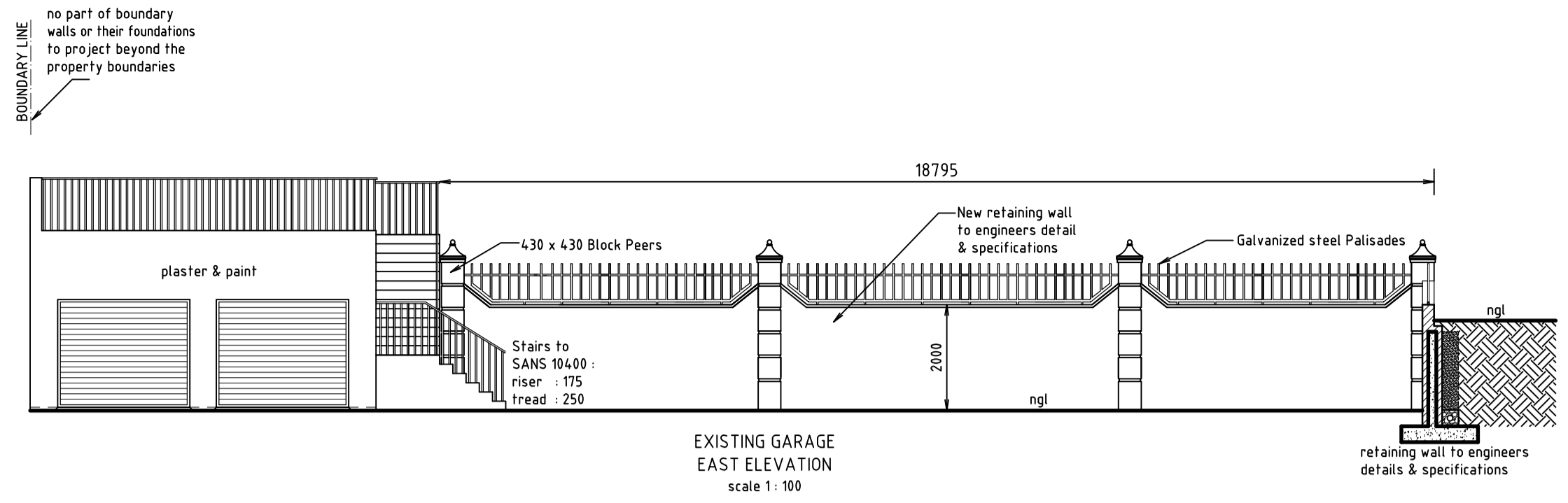
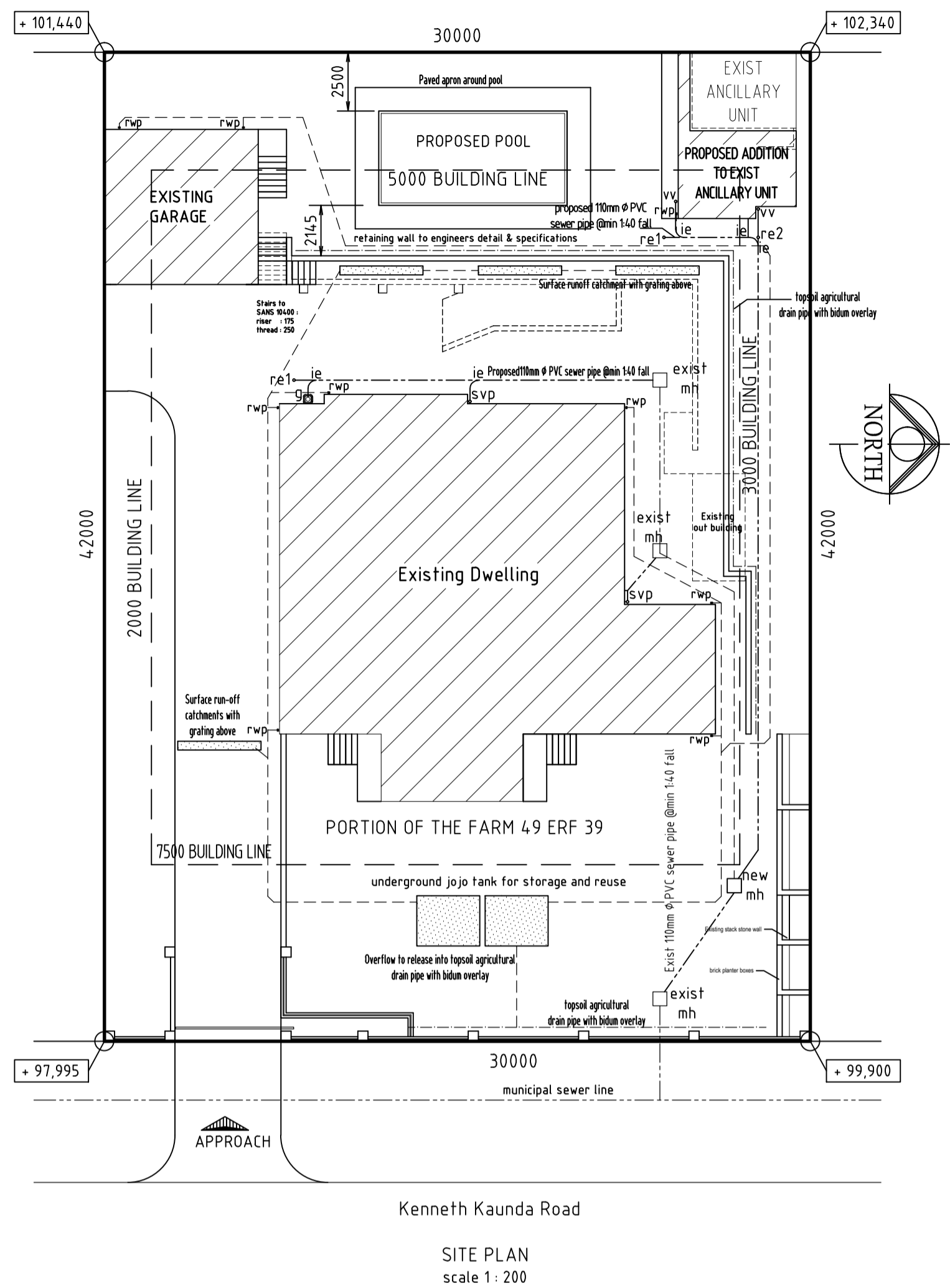
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EA

DRAWING DESCRIPTION :  
SECTION & ELEVATIONS

DATE :  
23:06:2016

SCALE :  
1:100, 1:200

DRAWING No :  
00/2016SD



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TABLE OF COVERAGE	
PORTION ERF OF THE FARM 49 ERF 39	1180.00 sqm
PERMITTED COVERAGE 40%	472.00 sqm
COVERAGE BREAKDOWN incl OVERHANGS	
EXISTING MAIN DWELLING	288.11 sqm
EXISTING GARAGE	42.85 sqm
PROPOSED ANCILLARY UNIT	36.91 sqm
TOTAL COVERAGE	367.87 sqm
TOTAL NEW PROPOSED COVERAGE	367.87 sqm 31.17 %

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ARCHITECTURAL, CONCEPTUAL AND INTERIOR DESIGN

**ZONE SPECIAL RESIDENTIAL**

CLIENT :  
Mr A.R. ABBU

CLIENT SIGNATURE :

JOB TITLE :  
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DESIGNED BY: B.E. Saul  
 REGISTRATION No: T0436

P.O. BOX 352  
 MANDENI, 4490  
 Cell : 083 785 5871

DRAWN BY :  
EA

DRAWING DESCRIPTION :  
SECTION & ELEVATIONS

DATE :  
23.06.2016

SCALE :  
1:100, 1:200

DRAWING No :  
00/2016SD

WINDOW No.	W1	W2	W3	D3	D5	D4
<b>General Notes:</b>	<ol style="list-style-type: none"> <li>Dimensions to be checked on site.</li> <li>Overall sizes are nominal brickwork openings.</li> <li>Manufacturer's shop drawings to be approved by the architects before manufacture commences.</li> <li>All window frames in meranti to be varnished with 3 coats of polyurethane.</li> <li>All window frames to be delivered to site with protective tape in place.</li> <li>All glazing to bathroom windows to have obscure glass.</li> <li>All glazing to conform to SABS regulations</li> </ol>					
<b>No. REQUIRED:</b>	1 OFF	2 OFF	1 OFF	1 OFF	2 OFF	1 OFF
<b>DESCRIPTION:</b>	1800mm x 1200mm ALUMINUM CUSTOM MADE COTTAGE PANE WINDOW WITH SIDE HUNG OPENING OUT PANELS. (ALL TO SPECIALISTS DETAIL)	600mm x 900mm ALUMINUM CUSTOM MADE COTTAGE PANE WINDOW WITH SIDE HUNG OPENING OUT PANELS. (ALL TO SPECIALISTS DETAIL)	1260mm x 4900mm ALUMINUM CUSTOM MADE FIXED PANE WINDOW. (ALL TO SPECIALISTS DETAIL)	STANDARD 900mm x 2100mm STORE BOUGHT HARDWOOD SWING OPENING DOOR BY MANUFACTURER	STANDARD 900mm x 2100mm STORE BOUGHT SEMI-SOLID SWING OPENING DOOR BY MANUFACTURER	STANDARD 1800mm x 2100mm STORE BOUGHT ALUMINUM SLIDING DOOR BY MANUFACTURER
<b>FRAME:</b>	ALUMINUM COTTAGE PANE TO MATCH WINDOW	ALUMINUM COTTAGE PANE TO MATCH WINDOW	ALUMINUM HEX PANE TO MATCH WINDOW	STANDARD 900mm x 2100mm STORE BOUGHT HARDWOOD SWING OPENING DOOR BY MANUFACTURER	STANDARD 900mm x 2100mm STORE BOUGHT SEMI-SOLID SWING OPENING DOOR BY MANUFACTURER	STANDARD 1800mm x 2100mm STORE BOUGHT ALUMINUM SLIDING DOOR BY MANUFACTURER
<b>FINISH:</b>	NATURAL ANOISED	NATURAL ANOISED	NATURAL ANOISED	SAND AND STOP 3 COATS POLYURETHANE VARNISH	SAND AND STOP 3 COATS POLYURETHANE VARNISH	POWDER COATED FINISH. COLOUR TO OWNER SPECIFICATIONS
<b>GLAZING:</b>	6mm Laminated annealed safety glass	6mm Laminated annealed safety glass	6mm Laminated annealed safety glass	None	None	6mm Laminated annealed safety glass