

# NOTICE OF THE BASIC ASSESSMENT AND HERITAGE IMPACT ASSESSMENT PROCESSES

## BASIC ASSESSMENT

Notice is hereby given in terms of Chapter 6 of the Environmental Impact Assessment (EIA) Regulations, 2014, as amended, that an application for a **Basic Assessment (BA) Process** will be lodged with the Gauteng Department of Agriculture and Rural Development (GDARD), as per the National Environmental Management Act (NEMA), 1998 (Act No. 107 of 1998, as amended).

## HERITAGE IMPACT ASSESSMENT

Notice is hereby given that the proposed development could potentially trigger a **Phase 1/Phase 2 Heritage Impact Assessment (HIA)** in terms of Section 38 of the National Heritage Resources Act (NHRA), 1999 (Act No. 25 of 1999). Take note that the Provincial Heritage Resources Authority of Gauteng (PHRA-G) and Southern African Heritage Resource Agency (SAHRA) will be notified of the proposed development.

**Project Name:** Doornkloof Residential

**Proponent:** Josene Investments (Pty) Ltd

**Project & Property Descriptions:** The proposed residential development is planned to be situated on Portion 712 of the Farm Doornkloof 391 JR, City of Tshwane Metropolitan Municipality.

**Location:** The study area is approximately 28ha in extent and located on the corner of Jan Smuts Avenue and 10<sup>th</sup> Street in Irene, to the immediate south of the Jan Smuts House Museum. The Olifantspruit is located to the west of the study area and the Sesmylspruit towards the north. These two perennial streams confluences with the Hennops River.

## NEMA Activities which may be triggered:

GNR 983 (Listing Notice 1) – Activity 12, 19, 27 & 28.

GNR 985 (Listing Notice 3) – Activity 4, 12 & 14.

**(Listed Activities triggered will be confirmed during the Application process)**

## Date of Notice:

23 March – 26 April 2021

The activities associated with the aforementioned development triggers activities listed in Listing Notice 1 and 3 of the EIA Regulations, 2014 as amended, and is therefore subject to a **BA process**. The proposed development could potentially trigger a **Phase 1/Phase 2 Heritage Impact Assessment (HIA)** in terms of Section 38 of the National Heritage Resources Act (NHRA), 1999 (Act No. 25 of 1999). Take note that the Provincial Heritage Resources Authority of Gauteng (PHRA-G) & SAHRA will be notified of the proposed development. Representations with respect to this application may be made by phone, fax or e-mail within **30 days** of the date of the notice. Please note that in order to continue to receive information regarding this project, you must register as an I&AP with the contact person listed below.

## Queries regarding this matter should be referred to:

**Bokamoso Landscape Architects and Environmental Consultants CC**

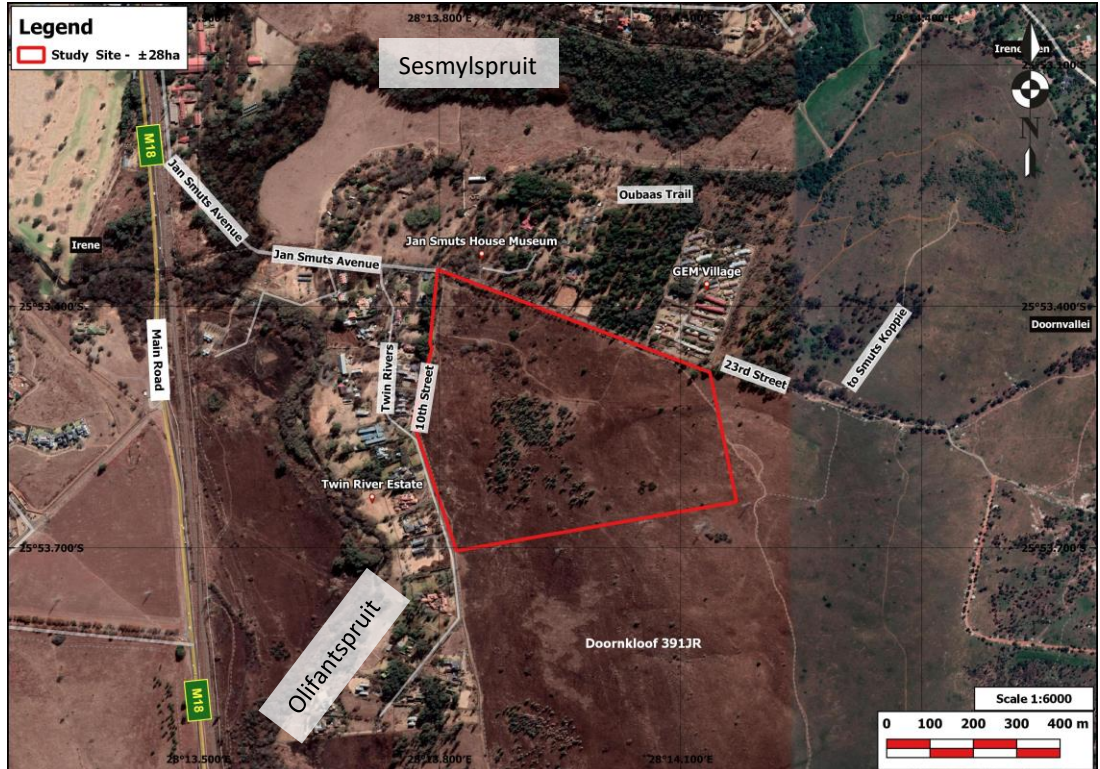
Public Participation registration and Enquiries: **Alicia Butt**

Project Enquiries: **Mary-Lee van Zyl**

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