

**EXISTING BATHROOM 3 & 4**  
 TO HAVE ARTIFICIAL VENTILATION.  
 AIR TO BE EXTRACTED AT A RATE OF  
 25L PER SECOND WITHOUT CREATING  
 AN AIR VELOCITY OF MORE THAN  
 0.5M/S. ARTIFICIAL LIGHT 160 LUX.

**ELECTRICAL LOADING SCHEDULE**  
 B.A x 5W = 305.580

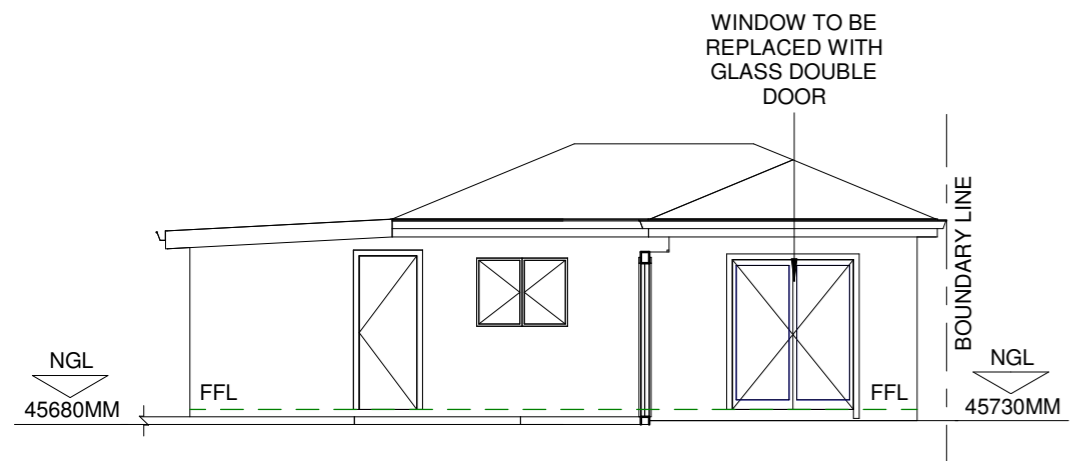
ROOM NAME	QTY	WATTS	HRS	DAYS	SUBTOTALS
OFFICE	1	11	8	365	32120
SUNBED	1	11	6	365	24090
BATHROOM	1	11	4	365	16060
DOMESTIC RM	1	11	8	365	32120
PASSAGE	1	11	6	365	24090
LAUNDRY	1	11	6	365	24090
BATHROOM	2	11	4	365	32120
<b>TOTAL / 1000</b>					<b>184.690</b>

**WINDOW SCHEDULE - EXISTING BEDROOM 1 & EN-SUITE**

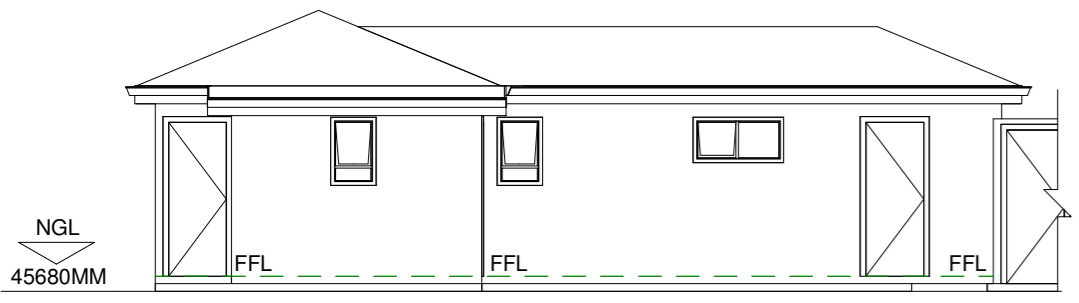
	SIZE (WxH)	GLASS	FRAME	QTY	TOTAL
W2	1.200x0.900	CLEAR	ALUMINIUM	1	0.720SQM
W2 TO BE MONOLITHIC ANNEALED GLASS, 3.0MM THICK					
W13	0.600x0.900	CLEAR	ALUMINIUM	1	0.540SQM
W13 TO BE MONOLITHIC ANNEALED GLASS, 3.0MM THICK					
FD1	1.600x2.100	CLEAR	ALUMINIUM	1	3.360SQM
FD1 TO BE TOUGHENED SAFTEY GLASSS, 6.0MM THICK					
AREA OF ROOM EXCLUDE WALLS SQM					32.860SQM
<b>PERMISSIBLE COVER:</b>					<b>TOTAL FENESTRATION = 14.06%</b>
MIN 10%=3.29					
MAX 15%=4.93					

**NOTE:**  
 \* GLASS THICKNESS TO COMPLY WITH NN2  
 \* SAFETY GLAZING IN ACCORDANCE WITH NN3

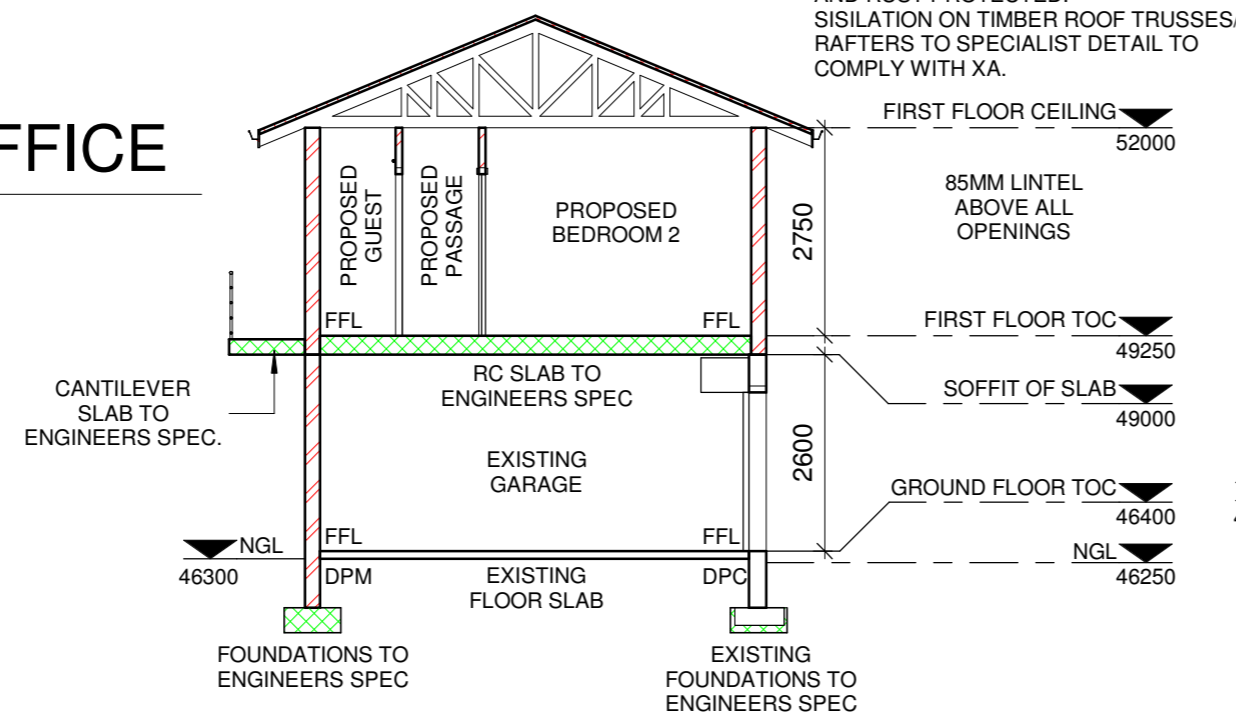
**EXISTING DOMESTIC ROOM & OFFICE**  
 1 : 100



**SOUTH ELEVATION - DOMESTIC**  
 1 : 100

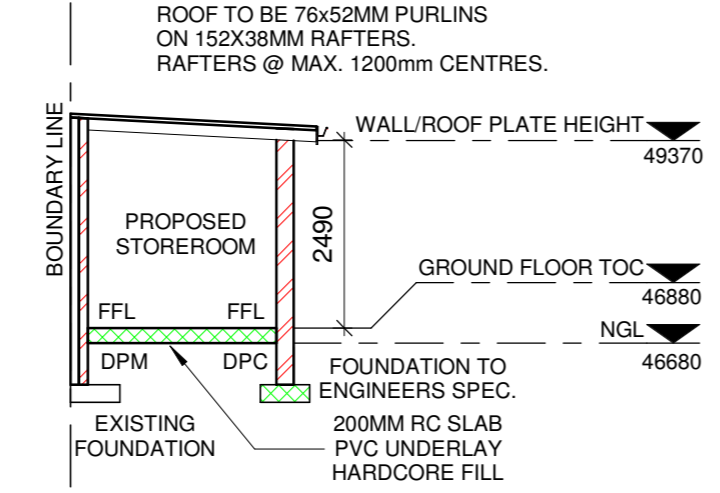


**WEST ELEVATION - DOMESTIC**  
 1 : 100



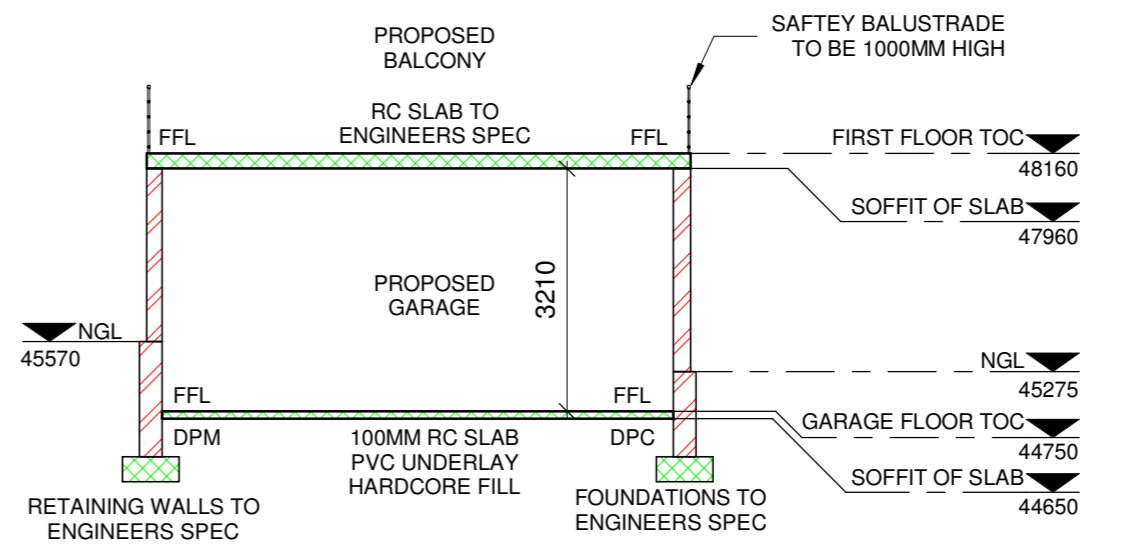
**SECTION A-A**  
 1 : 100

ROOF TO BE DESIGNED BY SPECIALIST  
 ROOF PITCH 3.0 DEG  
 ROOF OVERHANG 300MM  
 ROOF TO BE ZINCALUME.  
 ALL MATERIALS TO BE ALUMINIUM  
 AND RUST PROTECTED.  
 ROOF TO BE 76x52MM PURLINS  
 ON 152X38MM RAFTERS.  
 RAFTERS @ MAX. 1200mm CENTRES.



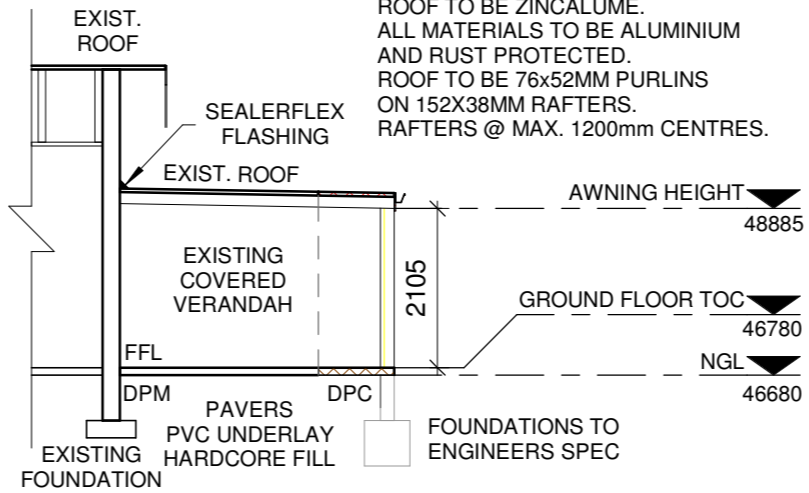
**SECTION C-C**  
 1 : 100

ROOF TO BE DESIGNED BY SPECIALIST  
 ROOF PITCH 22.5 DEG  
 ROOF OVERHANG 600MM  
 ROOF TO BE CONCRETE TILES  
 RAFTERS @ MAX. 760mm CENTRES.  
 ALL MATERIALS TO BE ALUMINIUM  
 AND RUST PROTECTED.  
 SISILATION ON TIMBER ROOF TRUSSES/  
 RAFTERS TO SPECIALIST DETAIL TO  
 COMPLY WITH XA.

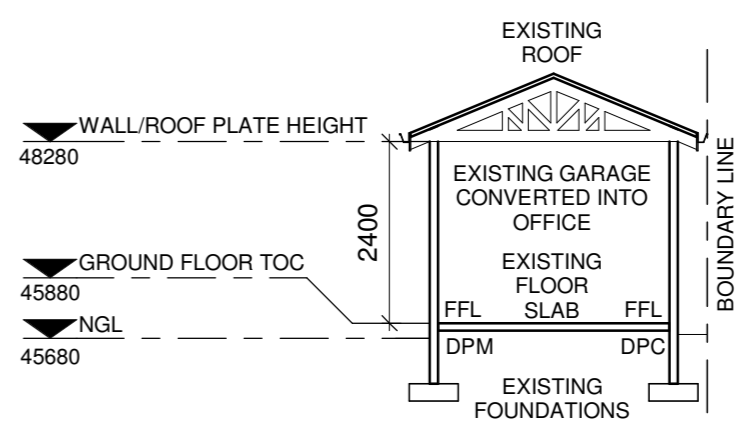


**SECTION B-B**  
 1 : 100

ROOF TO BE DESIGNED BY SPECIALIST  
 ROOF PITCH 1.0 DEG  
 ROOF OVERHANG 0MM  
 ROOF TO BE ZINCALUME.  
 ALL MATERIALS TO BE ALUMINIUM  
 AND RUST PROTECTED.  
 ROOF TO BE 76x52MM PURLINS  
 ON 152X38MM RAFTERS.  
 RAFTERS @ MAX. 1200mm CENTRES.



**SECTION D-D**  
 1 : 100



**SECTION E-E**  
 1 : 100

MUNICIPAL STAMPS

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REVISIONS

REV.	DATE	DESCRIPTION	REV. BY

PROPOSED ADDITIONS & ALTERATIONS FOR  
 MR FOSTER ON LOT 39 SUB 142.  
 36 GLENMORE CRESCENT,  
 DURBAN NORTH.

FOR COUNCIL SUBMISSION

ARCHITECT: [Signature]  
 OWNER: [Signature]

TITLE: EXISTING DOMESTIC ROOM AND PROPOSED OFFICE LAYOUT, ELEVATIONS & SECTIONS

DATE:	SIGNED BY:
2021-04-29	A2
<b>BUILDING CLASSIFICATION:</b> H3	S.M MTHIMKHULU
<b>DRG. NO.:</b> 02-39/142-DB	CELL : 063 178 8008
	REG. No .Pr.Arch 24744303