

ANNEXURE 'A'

TOWNSHIP NAME AND NUMBER RESERVATION

MSUKALIGWA MUNICIPALITY

PO Box 48
Ermelo
Mpumalanga Province
South Africa
2350



Civic Centre
C/o Kerk & Taute Street
Ermelo
Mpumalanga Province
South Africa
2350

Customer Care Center: 08611 MSUKA [67852]
Msukaligwa Municipality Fax: +27 17 801-3851

Internet: www.msukaligwa.gov.za
E-Mail: msuka@msukaligwa.gov.za

TECHNICAL SERVICES

Enquiries: T Motloung
Contact Details: (017) 801 3605

02 April 2014

J PAUL VAN WYK
PO Box 11522
HATFIELD
0028

Madam,

APPLICATION FOR TOWNSHIP ESTABLISHMENT ON ERF 89/268 – ERMELO EXTENSION 47

The Msukaligwa Local Municipality in terms of Section 69(6)(a) of the Town Planning and Townships Ordinance 15 of 1986, hereby grants consent to J Paul Van Wyk Urban Economists and Planners to give notice of the application on behalf of the Municipality in the local media (Highveld Tribune) and Mpumalanga Provincial Gazette as well as erecting site notices on the property. The applicant can erect any number of site notices at strategic positions clearly visible to the public in relation to the site.

Important authorities to forward the application to:

- Eskom
- Telkom
- SANRAL
- DEDET

We trust that you find the above in order.

Yours Faithfully,

MR T. MOTLOUNG
TECHNICAL SERVICES: TOWN PLANNING

ANNEXURE 'B'

**ERMELO DISTRIKSLANDBOU-UNIE AND COMPANY
RESOLUTIONS AND SPECIAL POWER OF ATTORNEY**

SPECIAL POWER OF ATTORNEY

I/We, the undersigned,

PIETER BEYERS
(ID 770323 5270 081)

duly authorized, on behalf of

Stylestar Investments (Pty) Ltd
(Reg No 2008/3442/07)

to hereby nominate, constitute and appoint

J Paul van Wyk Urban Economists & Planners cc

represented by

J Paul van Wyk Pr Pln (A089/1985) and / or Ulrike Ohland-Schumacher

[or nominee]

to apply to the Msukaligwa Local Municipality for township establishment on Remainder of Portion 89 of the farm Nooitgedacht 268-IT in terms of Section 96(1) of the Townplanning and Townships Ordinance, 1986 (Ord 15 of 1986);


and generally for affecting the purposes aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and effectually, for all intents and purposes, as I/we might or could do if personally present and acting herein - hereby ratifying, allowing and confirming and promising and agreeing to ratify, allow and confirm all and whatsoever my/our said Attorney(s) and Agent(s) shall lawfully do, or cause to be done, by virtue of these presents.

Signed at Pretoria this 11 day of December 2013, in the presence of the undersigned witnesses.

AS WITNESSES:

1. 

2. 



PIETER BEYERS

COMPANY RESOLUTION

EXCERPT FROM THE MINUTES OF A MEETING OF DIRECTORS OF
STYLESTAR INVESTMENTS (PTY) LTD (REG NO 2008/3442/07) HELD
AT TSHWANE ON 11 DECEMBER 2013.

IT WAS RESOLVED TO :-

1. apply to the Msukaligwa Local Municipality (MLM) for township establishment on Remainder of Portion 89 of the farm Nooitgedacht 268-IT in Ermelo;
2. appoint messrs J Paul van Wyk Urban Economists & Planners cc, herein represented by J Paul van Wyk Pr Pln (A089/1985) and / or Ulrike Ohland-Schumacher, to undertake the application on behalf of the Company; and;
3. authorize Pieter Beyers (ID 770323 5270 081) to sign all documentation required to facilitate the above, including a Special Power of Attorney.

CERTIFIED AS TRUE AND JUST :



DIRECTOR

11 December 2013
DATE

DELEGATION OF AUTHORITY

We the undersigned, JOHANNES WILLEM NICOLAS HENNING and JOHANNES JACOBUS RAUTENBACH duly authorised by virtue of a Resolution of the ERMELO DISTRIKSLANDBOU-UNIE passed at Ermelo on 25 November 2013 hereby authorise PIETER BEYERS Identity Number 770323 5270 08 1, a duly authorised Representative of STYLESTAR INVESTMENTS PROPRIETARY LIMITED or any other duly authorised representative of STYLESTAR INVESTMENTS PROPRIETARY LIMITED to appoint:

1. J Paul van Wyk Pr Pln (A089/1985) and / or Ulrike Ohland-Schumacher of J Paul van Wyk Urban Economists & Planners CC to apply for Township Establishment in terms of the relevant provisions of the Town-Planning and Township Ordinance 15 of 1986; and
2. Dr Gwen Theron of Imbrilinx CC, Registration Number: 2010/089810/23 trading as LEAP to apply for environmental authorisation in terms of the National Environmental Management Act 109 of 1998; and
3. Any other consultant to the professional team in respect of the Township Development.

And generally to do all such things, and sign all such documents, as may be necessary or expedient in order to give effect to this Delegation of Authority, hereby ratifying and confirming and undertaking to ratify and confirm all things done or to be done by the aforesaid person in terms hereof;


in respect of the following property namely:

REMAINING EXTENT OF PORTION 89 OF THE FARM NOOITGEDACHT 268
REGISTRATION DIVISION IT, PROVINCE OF MPUMALANGA

IN EXTENT: 10,9677 (TEN COMMA NINE SIX SEVEN SEVEN) Hectares

THUS DONE AND SIGNED AT ERMELO ON 25 NOVEMBER 2013


JOHANNES WILLEM NICOLAS HENNING


JOHANNES JACOBUS RAUTENBACH

RESOLUTION OF THE MEMBERS OF THE ERMELO DISTRIKSLANDBOU-UNIE (the "EDLU")
HELD AT ERMELO ON THE 25th DAY OF November 2013.

RESOLVED THAT:

1. The EDLU enters into a Lease Agreement in respect of the following property:
REMAINING EXTENT OF PORTION 89 OF THE FARM NOOITGEDACHT 268
REGISTRATION DIVISION IT, PROVINCE OF MPUMALANGA
IN EXTENT: 10,9677 (TEN COMMA NINE SIX SEVEN SEVEN) Hectares

with STYLESTAR INVESTMENTS PROPRIETARY LIMITED

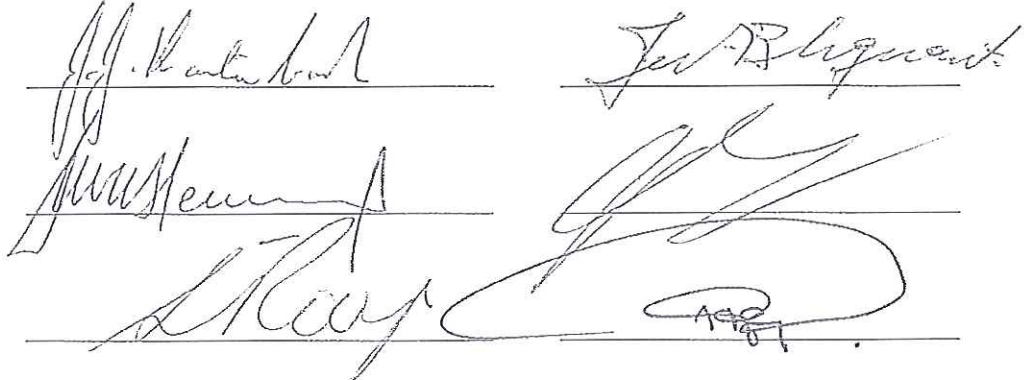
Registration Number: 2008/003442/07

in terms whereof the property is let for a period of 60 (sixty) years from the effective date (after the fulfilment of the suspensive conditions) as stipulated in the Lease Agreement at a monthly rental from the construction date of 5% (five percent) of the nett income received from the sub-leasees or R125 000 (One Hundred and Twenty Five Thousand Rand), whichever amount is higher.

2. JOHANNES WILLEM NICOLAS HENNING en JOHANNES JACOBUS RAUTENBACH are hereby authorised to sign to sign all relevant documents on behalf of the EDLU relating to the following:

- 2.1 Finalising and registration of the Notarial Lease Agreement;
- 2.2 Township development on the property, which includes but is not limited to the environmental impact assessment in terms of the relevant legislation (including special powers of attorney in favour of the representatives Stylestar Investments Proprietary Limited or members of the professional team in respect of the township development)

ALL MEMBERS TO SIGN



**EXTRACT FROM THE MINUTES OF A MEETING OF THE MEMBER OF
J PAUL VAN WYK URBAN ECONOMISTS AND PLANNERS CC
(Registration No 2004/013713/23)**

PASSED AT PRETORIA ON THE 20TH DAY OF NOVEMBER 2013.

RESOLVED THAT:

J PAUL VAN WYK URBAN ECONOMISTS AND PLANNERS CC shall render consulting professional planning services to instructing clients from its business premises in Pretoria, with regard, but not limited to:

- (i) Applications for the amendment of statutory land use or town planning schemes;
- (ii) Applications for the subdivision and/or consolidation of land portions (including erven in proclaimed townships, registered farm portions or agricultural holdings);
- (iii) Applications for the establishment of new development areas or new township extensions in terms of ruling legislation;
- (iv) Applications for the removal and/or suspension of conditions of title and/or servitudes which may be deemed to be restrictive alternatively obsolete with regard to property development initiatives to be undertaken by instructing clients;
- (v) Applications for the suspension of the provisions of any legislation which may be deemed to be dilatory in the context of executing the property development proposals of instructing clients;
- (vi) Applications for the closure of public roads and/or public places and applications to procure such closed public roads and/or public places so as to form part of the properties under control of instructing clients;
- (vii) Applications for the extension of township boundaries;
- (viii) Applications for the cancellation of the whole or part of any general plan of any registered township or development area so as to give effect to property development initiatives of instructing clients;

- (ix) Applications for departures from or relaxations of any provisions emanating from a statutory town planning scheme or land use management scheme which restrict the development potential of land under control of an instructing client;
- (x) Preparing for and appearing at any form of hearing before a town planning committee of a municipal authority (or similar tribunal), any appeal body at provincial level authorised to decide matters pertaining to land use, property development or the provision of engineering services or any similar body authorised to consider and decide on matters relevant to applications for land development and/or amendments relevant to statutory development restrictions.

FURTHER RESOLVED THAT:

JOHANNES PAULUS VAN WYK AND/OR ANY OTHER EMPLOYEE OF THE FIRM J PAUL VAN WYK URBAN ECONOMISTS AND PLANNERS CC be authorised to act for **J PAUL VAN WYK URBAN ECONOMISTS AND PLANNERS CC** in attending to any or all of the above mentioned matters on behalf of instructing clients in circumstances where **J PAUL VAN WYK URBAN ECONOMISTS AND PLANNERS CC** is appointed to attend to any or all of the above-mentioned matters on behalf of such instructing clients and to do whatever shall be requisite to give effect to this resolution.

Certified a true extract of the minutes.



.....
SIGNATORY: CHAIRPERSON

..... 20 November 2013

DATE

ANNEXURE 'C'

TITLE DEED AND CONVEYANCER'S REPORT

WinDeed Report
Enquiry by Property

Print Date: 2013/11/06 05:21:32 PM

IT 268 NOOITGEDACHT, 89 (REMAINING EXTENT)

Search Criteria

Type:	Farm
Deeds Office:	Mpumalanga
Farm Name:	NOOITGEDACHT
Registration Division:	IT
Farm Number:	268
Portion:	89
Search Date:	2013/11/06 16:03:44
Reference:	ermelo property
Requester:	

Information

Property type:	Farm
Portion:	89 (REMAINING EXTENT)
Farm Number:	268
Farm name:	NOOITGEDACHT
Situated at:	
Reg Div:	IT
Province:	MPUMALANGA
Local authority:	MSUKALIGWA LOCAL MUNICIPALITY
Prev. description:	PTN 13-LG1064/963
Diagram deed:	T6075/953
Extent:	117007.2669H
Street Address:	Not Available
GIS Code:	T0IT00000000026800089
Deeds Office:	Mpumalanga
Information Source:	Deeds Office
BFS Number:	Not Yet Searched
Map View:	NOOITGEDACHT_268_89 (REMAINING EXTENT)
Multiple Owners:	No

Owners

Owner 1 of 1	
Person type:	UNKNOWN
Name:	ERMELO DISTRIKSLANDBOU-UNIE
ID number:	
Title deed:	T6075/1953
Registration date:	19530321
Purchase price:	
Share:	
Purchase date:	
Microfilm Reference:	2005 1252 3134
Multiple properties:	No
Multiple owners:	No

Endorsements

Endorsement 1 of 5	
Document:	VA311/1986-T6075/53
Description:	LOST COPY
Institution:	
Amount:	Unknown
Microfilm Reference:	Awaiting Mfilm
Endorsement 2 of 5	
Document:	VA7402/2005
Description:	LOST COPY
Institution:	ERMELO DISTRIKSLANDBOU-UNIE
Amount:	Unknown
Microfilm Reference:	2005 1252 3128
Endorsement 3 of 5	
Document:	CL-ERMELO TC PARTLY
Description:	
Institution:	
Amount:	Unknown
Microfilm Reference:	Awaiting Mfilm

Endorsement 4 of 5

Document: INFO FROM PRETORIA DEEDS REGIS
Description:
Institution:
Amount: Unknown
Microfilm Reference: Awaiting Mfilm

Endorsement 5 of 5

Document: IT,268,89
Description:
Institution:
Amount: Unknown
Microfilm Reference: 1987 0720 0356

History

History 1 of 1

Document: K1922/1986L
Description: CONTRACT SERVIDUTES/MINERALS/LEASES/PC
Owner:
Amount/Price: Unknown
Microfilm Reference: 2005 1252 3144

Enquiries

Company Name: Error loading Enquiries
Enquiry Date:
Contact Person:
Contact Email:
Contact Phone:

This report contains information gathered from our suppliers and we do not make any representations about the accuracy of the data displayed nor do we accept responsibility for inaccurate data. WinDeed will not be liable for any damage caused by reliance on this report. This report is subject to the terms and conditions of the WinDeed End User Licence Agreement (EULA).

VAN DER MERWE - FERREIRA - VAN WYK
166
460 8704

KAART
DIAGRAM
Vir Aanklagings
For Charges

FREE OF CHURCH
VRY VAN UITSCHEIDING

UIT
REKING
FIER
TOEK
TANKEER BY
REKINGEN S.

VERBOD
MUTUUM 30-11-53
Vir die bedrag van R. 2000.00
vir 'n rekening van R. 2000.00
a. 2000.00

1-3
2
10
BETAL
2005-03-10

BRINK & COETE,
PROCURERS, ETC.,
Pretoria, NORTHERN
TRANSVAAL.

Akte van Transport No. 6075/1953.
1953

SY DIT HIERMEE KENNEDIK:

DAT JOHANNES MICHAEL VAN HELSDINGEN BRINK
voor my, die Assistent Registrateur van Aktes, te Pretoria, verskyn het,
waartoe hy, die Komparant, behoorlik genagtig is uit krag van 'n Prokurasie,
gedateer die 11de dag van Februarie 1953, geteken te Krato, en

en aan hom verleen deur WILLEM HENDRIK BRULCKER en OERT JACOBUS
VLOK, in hulle hoedanighede as Burgemeester en Stadsklerk
respektiewelik van DIE DORPSRAAD VAN KRATO, en behoorlik
genagtig deur Besluit van genoemde Dorpsraad geneem op 'n
vergadering gehou te Krato, op 20 Januarie 1953.

VIA VERGEESE ERFGEMEENTE RAK
1953 FORTIFER ERFGEMEENTE S.L.

En het die genoemde Komparant verklaar dat die genoemde

AFWYK UITGEEK - DATUM 1953-03-08
COPY ISSUED - DATE
AANWYK Nr. UR 311/86
APPLICATION No.

-DORPSRAAD

DORPRAAD VAN ERWELD

die hierna vermelde eiendomme waarlik en wettiglik verruil het
aan

DIE OOSTELIKE TRANSVAALSE LANDBOU UNIE,
vir 'n sekere gedeelte 88 ('n gedeelte van gedeelte BHELEWUS
DORP) van die plaas VAN OUDTSHOORNSTROOM No 16, geleë in die
distrik Erweld, groot 75 morges, soos deur genoemde Unie ge-
hou onder Akte van Transport No 25451/1951, gedateer 16 Okto-
ber 1951; onderworpe aan die hierna vermelde bepalinge; en

dat hy, die genoemde Kommissaris, in sy hoedanigheid voormeld, hiermee in
volle en vry eiendomme, seker en transporteer aan en ten gunste van

DIE OOSTELIKE TRANSVAALSE LANDBOU UNIE,

die behorende belang waarin gehou word deur persone wat lede
is van die Blanke Groep soos omskryf in die Wet op Groeps-
gebiede No 41 van 1950,

die se Opvolgers in Titel of Regverkrygendes,

'n sekere gedeelte 89 ('n gedeelte van daardie gedeelte
van gedeelte bekend as ERWELD DORPGRONDE) van die plaas
HOEDIGEDAGHT No 10, geleë in die distrik Erweld;

Toegeken aan die RAAD VAN DIE MUNISIPALITEIT VAN
ERWELD (nou verdrag deur die DORPRAAD VAN ERWELD), deur
Kroonprotonbrief No 51/1907, gedateer 27 Februarie 1907;

Groot VIF EN TWINTIG (25) morges, soos meer ten volle
sof blyk uit die hiaraan gehegte Kaart No A.4837/52, deur
Landmeter Carl F. Schneider in Julie 1952 vervaardig;

Spesiaal onderworpe aan die volgende bepalinge:

- (a) Die voorbehoud ten gunste van die DORPRAAD VAN
ERWELD van alle regte ten opsigte van Minerale en
Edelgesteentes, insluitende alle regte wat in die
eiendomme gevestig is mag word om te d.w. in die opbrengte
wat aan die Staat mag toekom as gevolg van die ver-
vreemding van die onderaardse regte van die hiermee

-getransporteerde

getransporteerde eiendoms, insluitende huurgedoeltes
en profyts wat aan die eienaar mag toekom onder
enige kontrak toegestaan ten opsigte van die
genoemde eiendoms.

(b) Die eiendoms of enige gedeeltes daarvan sal nie
getransporteer i. verhuur word of op enige ander
wyse van die hand gegee word of verveem word aan
enige Asiat, kleurling of naturel, en geen Asiat,
kleurling of naturel anders dan die die bedienende
van die eienaar of bewoner wie bona fide op die
eiendoms in diens is, sal toegelaat word om op die
genoemde eiendoms te woon of te bly nie; die nakoming
waarvan deur genoemde Dorpsraad afdwinging kan word.

En verder onderhewig aan sulke kondisies soos in
genoemde Akte vermeld staan of waarna verwys word.

Weshalwe die Kommissar, afstand doen van al die reg en aanspraak wat
die genoemde **DORPSRAAD VAN KRIELO**

tevore op die voornoemde eiendoms gehad het, en gevolglik ook erken dat
dit geheel en al uit die besit daarvan is en nie
meer daartoe geregtig is nie; en dat uit krag hiervan, die genoemde

OORSTELIKE TRANSVAALSKE LANDBOU WET

die se Opvolgers in Titel of regverkrygende,

nou daartoe geregtig is en voortaan geregtig sal wees, ooreenkomstig plaaslike
gebruik; die Goewerment, noptans, sy reg behoudende.

12/15/86
4 11/7611

En ten slotte het die Komparant verklaar dat die go-
noemde eiendoms gewaardeer is teen TWEE DUISEND VYF HONDERD
FOND (22500), waarop Hereragte betaal is.

IN GETUENIS WAARVAN het ek, die Assistent Registrateur van
Akte, tesame met die Komparant g.g., hierdie Akte ondertreken en met my
ampseel bekragtig.

ALDUS GEDOEN EN VERRIG op die Kantoor van die Registrateur
van Aktes, te Pretoria, Transvaal, op hierdie ^{11de} dag van
die maand ^{Maart} in die jaar van Ons Here.
Een Duysend Nege Honderd Drie en Vyrtig.

In my teenwoordigheid

[Handwritten signature]
Assistent Registrateur van Aktes.

(1). Geregistreer op die Landsregister van *Bladsy 10* op
te Pretoria gehou, Boek *Bladsy 10* op
die bogemelde datum.

(2). Geregistreer op die Landsregister van *Bladsy* op
te Pretoria gehou, Boek *Bladsy* op
die bogemelde datum.

(3). Geregistreer op die Landsregister van *Bladsy* op
te Pretoria gehou, Boek *Bladsy* op
die bogemelde datum.

Ops No 2651

Handwritten note: 'Handwritten original paper' and other illegible text.

① Dieel *Handwritten note*

② *Handwritten note*

③ *Handwritten note*

AMT CLUIER
FOR PROVINCIAL REGISTRAR
KANTOR PROVINSIALE REGISTRAR
PRETORIA 1976

R. C. ANNEKLAAR

Handwritten signature and notes

Amherst, D.

5.

Recd. post-11, 7008

ENDORSEMENT FOR ECONOMIC ACTION
 ENDORSEMENT IN TERMS OF SECTION 8
 ALL NO. 51287.

The distribution of this endorsement is subject to the provisions of the Act of August 15, 1952, and the regulations thereunder. The distribution of this endorsement is subject to the provisions of the Act of August 15, 1952, and the regulations thereunder.

11, 7008

12/10/1973

7 SAMPLED
7 CANCELLED
 11-10-1973

THIS CHECK IS VALID FOR THE PAYEE'S ACCOUNT ONLY. IT IS NOT VALID FOR THE PAYEE'S ACCOUNT ONLY. IT IS NOT VALID FOR THE PAYEE'S ACCOUNT ONLY.

Recd. 101.1 from post 591 post 7105-40

TRANSPORTER AND LICENSEE IN FERMELD

NO. 35309 1973 Postant
 11, 7008

12/10/1973

THE INFORMATION PLEASE YOU NO.
 THE INFORMATION PLEASE YOU NO. 3668

REGISTRATION DIVISION

STATE OF NEW YORK

REGISTRAR

12/10/1973

Information Only

Kontant: 11, 7000 ka.

K 1922/86 L

Kragtse Notariële Akte van Overname
wordt hervermeldt vandaan tesame met alle
re beterrings daarop, verhuur aan die Houder
itouverreiging vir 'n tydperk van 25 (vyfentwintig)
jaar, welke periode in aanvang neem op
1 November 1983, met aanvang die datum
van ondertekening van die ooreenkoms.
Soos meer volledig islyk uit gemelde
Notariële Ooreenkoms, dd. 6/9/84.

Janelo
Att. Registrateur van Akte,
Aant. Registrator of Deeds.
16.7.86

Information Only

VERANDERING VAN NAAM
CHANGE OF NAME

Kragtse art. 63 (1), Wet 47 van 1937, is toegepas
in terms of sec 53 (1), Act 47 of 1937, the surname
of the deceased **DOUWELING TRAFIMENSE**
has been changed to **DE WILDE**

Applicant's name: **DE WILDE**
Applicant's address: **167, 6/86**

Applicant's signature: *Janelo*
Applicant's occupation: **Att. Registrator of Deeds**

Applicant's address: **167, 6/86**

CHANGING OF NAME

DATE	16/7/86
BY	Janelo

16/7/86

BLADSY/PAGE 5

16075 | 53

Rw 223 (A) Pmot Pw 89 / Nooitgedacht Farm.

GETRANSPORTEER AAN	TRANSFERRED TO
Cross Atlantic Prop	
RESTANT/RENSAASER = 10, Pw 11 he	
T 11 333/05	
119334/05	
DATUM DATE 05 09 05	REGISTRATEUR/REGISTRAR

7331m 2.

9/1

For Information

Die verskepte Kopie is slegs 'n afskrif van die oorspronklike dokument
 en kan nie gebruik word vir wettige doeleindes nie.

No. L 403541

Afgeleë van No. 560

Afgeleë van No. afskrif 1978

1988-03-08

[Handwritten Signature]

Registrer van Aktes
 Pretoria

VA 4311 / 110 86

Die oorspronklike dokument is slegs 'n afskrif van die oorspronklike dokument
 en kan nie gebruik word vir wettige doeleindes nie.

Afgeleë van No. afskrif 1978

1988-03-08

[Handwritten Signature]

Registrer van Aktes
 Pretoria

For Information Only

VIR ENDOSSEMENTE KYK BLADSY 5
 FOR ENDORSEMENTS SEE PAGE 5

M.N. KGWALE

08 AUG 2005

VA 05 07402

GESERTIFIEERDE WYKOP VAN 'N REKOP VAN DIE REGISTRASIE DUPLIKAAT IN TERME VAN REGULASIE NO. 66
CERTIFIED A TRUE COPY OF THE REGISTRY DUPLICATE IN TERMS OF REGULATION NO. 66
LAFSE OR KRAGTERS DIE REGISTRASIE VAN ANTLES WET, NO 47 VAN 1937, EN IS UIT-
UNDER THE DEEDS REGISTRIES ACT, NO. 47 OF 1937, AND IS ISSUED TO TAKE PLACE
SEMEN OM TE DIEN IN DIE PLEK VAN DIE OORSPRONKELIKE.
OF THE ORIGINAL

REGISTRARSKANTOOR
DEEDS REGISTER
PRETORIA

[Signature]
ASST. REGISTRAR VAN ANTLES
ASST. REGISTRAR OF DEEDS

5/9/05

DAY/MONTH/YEAR.....

CONVEYANCER'S REPORT

I, the undersigned

ROELOF GROVÉ

a Conveyancer, practicing at Pretoria, do hereby report that

DIE ERMELO DISTRIKSLANDBOU-UNIE

is the registered owner of:

**REMAINING EXTENT OF PORTION 89 OF THE FARM NOOITGEDACHT 268
REGISTRATION DIVISION IT PROVINCE OF MPUMALANGA
IN EXTENT: 10,9677 (TEN COMMA NINE SIX SEVEN SEVEN) HECTARES
HELD BY DEED OF TRANSFER T6075/1953**

- A. The endorsement on page 6 of Deed of Transfer T6075/1953 indicates that the name of "Oostelike Transvaalse Landbou-Unie" was changed to "Die Ermelo Distrikslandbou- Unie" in terms of Section 93(1) of the Deeds Registries Act No 47 of 1937.
- B. The following conditions contained in the aforesaid title deed should be omitted from all further deeds:
1. "(a) Die voorbehoud ten gunste van die DORPSRAAD VAN ERMELO van alle regte ten opsigte van Minerale en Edelgesteentes, insluitende alle regte wat in die eienaar gevestig mag word om te deel in die opbrengs wat aan die Staat mag toekom as gevolg van die vervreemding van die onderaardse regte van die hiermee getransporteerde eiendom, insluitende huugelde en profyte wat aan die eienaar mag toekom onder enige mynkontrak toegestaan ten opsigte van die genoemde eiendom."
 2. "(b) Die eiendom of enige gedeelte daarna sal nie getransporteer of verhuur word of op enige ander wyse van die hand gesit word of vervreem word aan enige Asiaat, kleurling of naturel, en geen Asiaat, kleurling of naturel anders dan die eie bediendes van die eienaar of bewoner wie bona fide op die eiendom in diens is, sal toegelaat word om op die genoemde eiendom te woon of te bly nie, die nakoming waarvan deur genoemde Dorpsraad afgedwing kan word."

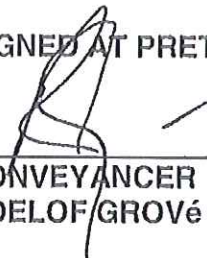


- C. The following condition contained in the aforesaid title deed has lapsed due to an effluxion of time and should be cancelled in terms of Section 68(1) of the Deeds Registries Act No 47 of 1937:

"Kragtens Notariële Akte van Ooreenkoms K1922/86L word bovermelde eiendom tesame met alle verbeterings daarop, verhuur aan die Hoëveld Skouvereniging vir 'n tydperk van 25 (vyf en twintig) jaar, welke periode in aanvang neem op 1 November 1983, nieteenstaande die datum van ondertekening van die ooreenkoms soos meer volledig blyk in gemelde Notariële Ooreenkoms, dd 6/9/84".

- D. There are no other conditions/servitudes which will affect the aforesaid property.

SIGNED AT PRETORIA ON 25 NOVEMBER 2013.



CONVEYANCER
ROELOF GROVÉ

ANNEXURE 'D'

SURVEYOR GENERAL DIAGRAM

PLAN OF THE

SURVEY OFFICE

S.G. No. A. 4637/52

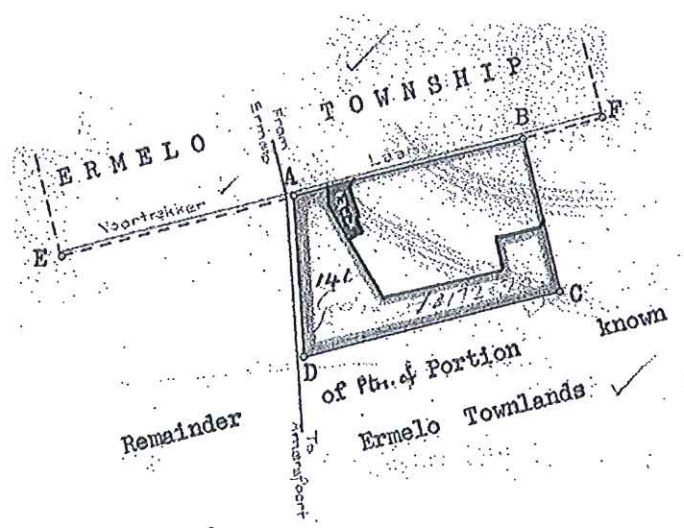
Approved

J. G. M. van der Merwe
Surveyor-General

DESCRIPTION OF BEACONS

A B C D F..... 1" x 18" iron pegs under cairns
E..... 2" iron peg

SIDES Cane Feet	ANGLES OF DIRECTION	CO-ORDINATE	
		SYSTEM	Lo. 29°
Constants:		-	0.0 +
AB	1736.5	256° 03' 20"	A - 313419.6 +
BC	1169.3	346 03 20	B - 315104.9 +
CD	1958.0	76 03 20	C - 315386.7 +
DA	1190.1	176 46 50	D - 313486.4 +
Connecting Data			
AE	1788.2	76 03 20	E - 311684.1 +
BF	615.4	256 03 20	F - 315702.2 +



For Servitude Deductions an Endorsements See Over

Tans geregistrêre o
Now registered un
No. 268
REGISTRASIE AFDE
REGISTRATION DIVI

Scale 1: 20,000 15,000

in 69 (a portion of Portion known as Ermelo Townlands) of the farm NOOITGEDACHT No. 10

In the DISTRICT of ERMELO PROVINCE of TR

Surveyed In July 1952 by me

Carl T. S.
Land

Diagram is annexed to Deed of dated 6/7/53 Registrar of Deeds

The original diagram is No. A. 4585/05 annexed to Deed of Grant No. 51/1907 dated in favour of

S.G. File No. 300/1/19576 Survey Records No. 14 Compilation No. 15-6-B- Lat. South Long. Ea

DEDUCTED		REMAIN- DER	Date	
o. Sub.	Diag. No.	Hectares	Hectares	
141	4172/73	9,7125	11,2008	15-10-73 T- 35309/73
223	2216/2005	7331 m ²	10,9677ha	23/8/06 T- T113331/2005

A. J. ...
K. A. MOAI PA

ANNEXURE 'E'

ZONING CERTIFICATE AND EXTRACT FROM ETPS

MSUKALIGWA MUNICIPALITY

PO Box 48
Ermelo
Mpumalanga Province
South Africa
2350



Civic Centre
C/o Kerk & Taute Street
Ermelo
Mpumalanga Province
South Africa
2350

Customer Care Center: 08611 MSUKA [67852]
Msukaligwa Municipality Fax: +27 17 801-3851

Internet: www.msukaligwa.gov.za
E-Mail: msuka@msukaligwa.gov.za

TOWN SERVICES

Enquiries: G. H Hlatshwayo
Reference: 89/268

2 December, 2013

TO WHOM IT MAY CONCERN

ZONING CERTIFICATE

ERF NUMBER: 89/268 FARM NOOITGEDACHT ERMELO

ZONING	Agricultural
PRIMARY USE	Agricultural purpose
CONSENT USE	Agriculture
HEIGHT ZONE	H0
COVERAGE	60%
FAR	1.8


BUILDING CONTROL OFFICER
Msukaligwa Municipality
NMZ/en



ERMELO TOWN PLANNING SCHEME, 1982

PART 1 : GENERAL

ARRANGEMENT OF SCHEME :

1. This Scheme is divided into parts relating to the following matters respectively:—

PART 1	.....	GENERAL
PART 2	.....	STREETS, BUILDING LINES, BUILDING RESTRICTION AREAS AND LINES OF NO ACCESS
PART 3	.....	BUILDING RESTRICTIONS AND USE OF LAND
PART 4	.....	GENERAL AMENITY AND CONVENIENCE
PART 5	.....	MISCELLANEOUS

DEFINITIONS:

2. In the Scheme, except where the context otherwise requires, or it is otherwise expressly provided, the following words and expressions have the respective meanings hereby assigned to them:—

"ADMINISTRATOR" — the officer defined in the Ordinance.

"AGRICULTURAL BUILDING" — a building designed for use in connection with, and which is ordinarily incidental to, or reasonably necessary in connection with the use of the land on which the building is sited as agricultural land, and may include a dwelling house.

"AGRICULTURAL LAND" — includes, inter alia, arable, meadow or pasture land, market gardens, poultry farms, pig farms, land used for bee-keeping, nursery gardens, plantations and orchards, but shall not include:—

(a) land occupied as a park together with a dwelling house thereon;

(b) land used as a garden other than aforesaid;

or

(c) land kept or zoned for the purposes of sport, athletics or recreation or used as a racecourse.

"ANNEXURE TO THE SCHEME" — the document containing special rights, restrictions and conditions applicable to those properties shown on the "A" series of the Map by means of circled numbers.

"AREA" — the area described in Clause 3 hereof.

"BOARD" — the Townships Board as constituted under the Ordinance.

"BASEMENT" — any floor of a building of which the greater part of the ceiling is below the average ground level of the area covered by the building.

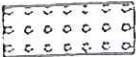
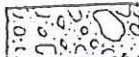

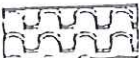

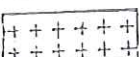
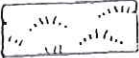

"BUILDING" — includes structures or constructions, other than entrance structures, pergolas, garden ornaments, garden walls and fences, swimming pools and tennis courts, for the purposes of Clause 11, 12, 13, 14, 15, 17, 18, 19, 21 and 22, but elsewhere in the Scheme it includes any structure covered by a roof, except for the purposes of Clause 9 where a swimming pool and a tennis court will be considered to be a building.

"BUILDING LINE" — a line indicating the furthest boundary of a building restriction area from a street, or any other boundary of a property other than a street boundary and which is at a fixed distance from a boundary of the property.

"BUILDING RESTRICTION AREA" — an area wherein no building, except those permitted in the Scheme, may be erected.

"BUSINESS PREMISES" — a building used as an office, warehouse or for other business purposes, but does not include a place of instruction or place of amusement or any build-

TABLE "D" Continued

Use Zone	Notation as shown on the A Series of the Map	Buildings which may be erected and purposes for which they may be used	Buildings which may be erected and purposes for which they may be used only with the special consent of the local authority	Buildings which may not be erected
(1)	(2)	(3)	(4)	(5)
12. Industrial 3		Such industrial buildings and/or business premises other than offices that the local authority may approve in writing, places of refreshment for employees only, offices and other uses directly related to and subordinate to the main use, retail trade in goods which are partially or entirely manufactured, processed or assembled on the property, or any other goods which although not manufactured, processed or assembled on the property form a part of and/or are connected to the sale of and/or are used in or together with goods which are manufactured, processed or assembled on the property	Special buildings	Buildings not under columns (3) and (4)
13. Commercial		Business Premises other than offices, place of refreshment for employees only, offices which are supplementary to and directly related to but subordinate to the main use, retail trade permitted by the Administrator and which is directly related to, but subordinate to, the main use	Industrial buildings ancillary to and directly related to, but subordinate to the main use according to column (3), special buildings	Buildings not under columns (3) and (4)
14. Institutional		Institutions, dwelling units, places of public worship, places of instruction	Social halls, special buildings	Buildings not under columns (3) and (4)
15. Educational		Places of instruction, social halls, places of public worship	Dwelling units, institutions, special buildings	Buildings not under columns (3) and (4)
16. Amusement		Places of amusement, social halls	Places of instruction, special buildings, places of refreshment	Buildings not under columns (3) and (4)
17. Municipal		Municipal purposes	Dwelling units, places of public worship, places of instruction, social halls, institutions, special buildings, agricultural buildings	Buildings not under columns (3) and (4)
18. Agriculture		Agriculture buildings	—	Buildings not under column (3)
19. Public garage		Public garages	Place of refreshment, dwelling unit for caretaker, special buildings, pane beating and spray painting workshops	Buildings not under column (3) and (4)

ANNEXURE 'F'

DRAFT CONDITIONS OF ESTABLISHMENT

STATEMENT OF THE CONDITIONS UNDER WHICH THE APPLICATION MADE BY ERMELO DISTRIKSLANDBOU-UNIE (HEREINAFTER REFERRED TO AS THE TOWNSHIP OWNER) UNDER THE PROVISIONS OF CHAPTER III: PART C OF THE TOWN-PLANNING AND TOWNSHIPS ORDINANCE, 1986 (ORDINANCE 15 OF 1986), FOR PERMISSION TO ESTABLISH A TOWNSHIP ON REMAINDER OF PORTION 89 OF THE FARM NOOITGEDACHT 268-IT, MPUMALANGA PROVINCE BY, HAS BEEN APPROVED.

1. CONDITIONS TO BE COMPLIED WITH PRIOR TO THE OPENING OF THE TOWNSHIP REGISTER AND THE DECLARATION OF THE TOWNSHIP AS AN APPROVED TOWNSHIP, IN TERMS OF THE PROVISIONS OF SECTION 103 OF THE TOWNPLANNING AND TOWNSHIPS ORDINANCE, 1986 (ORDINANCE 15 OF 1986) (HEREINAFTER REFERRED TO AS "THE ORDINANCE")
 - a. The township owner shall comply with the provisions of Section 101(1) of the Ordinance.
 - b. The applicant shall satisfy the Msukaligwa Local Municipality (hereinafter referred to as the "Municipality") that –
 - (i) the relevant amendment scheme (in terms of Section 125 of the Ordinance, is in order and may be published simultaneously with the declaration of the township as an approved township;
 - (ii) access is available to the township and that a public street system is available to all erven in the township
 - (iii) The name of the township as well as the street names have been approved by the Municipality and is indicated on the General Plan in accordance with Regulation 18(1)(a)(iv);
 - (iv) a geotechnical report has been submitted in order to determine soil suitability of the land on which the township is to be established and that the said report shall be favourable and the Engineer Geologist has certified that he compared the final layout plan of the township with the geological report in conjunction with the consulting town planner and he is satisfied that buildings can be erected on every erf. If any special arrangements have to be made for any erf the township owner shall provide proof that these arrangement have been made to the satisfaction of the Municipality.
 - (v) the township owner shall comply with the provisions of Section 72 and 75 of the Ordinance;
 - (vi) the portions of the road reserves adjoining the proposed township, and which are required for the proper installation and maintenance of municipal services, shall be acquired by the township owner.
 - (vii) the consent of the Department: Mineral Resources was obtained before the proclamation of the Township.
 - (viii) Engineering Services: The township owner shall, at its costs and to the satisfaction of the Municipality, design, provide and construct all engineering services including the stormwater reticulation, within the

boundaries of the township, to the satisfaction of the Municipality. The township owner shall for the purpose of providing such engineering services reach agreement to the satisfaction of, and with the Municipality on the availability and provision of engineering services for the township, which agreement shall indicate the standard of services to be provided and obligations of the township owner and the Municipality with regard to the provision of internal and external engineering services.

- (ix) a traffic impact study shall be submitted to the satisfaction of the Municipality.
- (x) Environmental authorisation be obtained from the Mpumalanga Department of Economic Development, Environment and Tourism (MDEDET) shall be obtained in terms of the provisions of the National Environmental Management Act, 1998 (Act. 107 of 1998) and conditions that may have been imposed in the record of decision shall be complied with at the cost of the township owner.

2. CONDITIONS OF ESTABLISHMENT:

2.1 NAME:

The name of the township shall be Ermelo Extension 47.

2.2 DESIGN:

The township shall consist of erven indicated on Township Layout Plan No TOWNSHIP/ERMELO EXTENSION 46/02 and General Plan SG No _____.

2.3 PROVISION AND INSTALLATION OF ENGINEERING SERVICES

The township owner shall, at its costs and to the satisfaction of the Municipality, design, provide and construct all engineering services including the stormwater reticulation, within the boundaries of the township, to the satisfaction of the Municipality.

If external services are not available or the existing services are not sufficient to accommodate the township, special arrangements shall have to be made after consultation with the applicable departments to the satisfaction of the Municipality.

2.4 CONDITIONS IMPOSED BY THE MPUMALANGA DEPARTMENT OF ECONOMIC DEVELOPMENT, ENVIRONMENT AND TOURISM (MDEDET)

The township owner shall at its own costs comply with and strictly adhere to all the conditions and/or requirements imposed by MDEDET including those by which exemption has been granted from compliance with Regulations No 1182 and 1183 promulgated in terms of Sections 21, 22 and 26 of the Environment Conservation Act, (Act 73 of 1989) or the National Environmental Management Act, 1998 (Act 107 of 1998) as amended and the Regulations thereto, as the case may be for the development of this township.

2.5 CONDITIONS IMPOSED BY PROVINCIAL HERITAGE RESOURCES AGENCY: MPUMALANGA

The township owner shall, at its own cost, comply with the provisions of the National Heritage Resources Act, 1999 (Act 25 of 1999) and strictly adhere to all the conditions and/or requirements imposed by the Provincial Heritage Resources Agency: Mpumalanga and where applicable, as imposed by the Municipality.

2.6 CONDITIONS IMPOSED BY MPUMALANGA PROVINCIAL ROADS AGENCY

The township owner shall, at its own cost, comply with and strictly adhere to all the conditions and/or requirements imposed by the Mpumalanga Provincial Roads Agency and where applicable, as imposed by the Municipality.

3. CONDITIONS TO BE COMPLIED WITH BEFORE THE ERVEN IN THE TOWNSHIP BECOME REGISTERABLE WHICH SHALL BE READ WITH THE CONDITIONS OF ESTABLISHMENT INDICATED IN 2 ABOVE

3.1 ACCESS

Access to or egress from the township shall be provided to the satisfaction of the Municipality.

3.2 ACCEPTANCE AND DISPOSAL OF STORMWATER

The township owner shall arrange for the drainage of the township to fit in with that of the adjacent roads and all stormwater running off or being diverted from the roads shall be received and disposed of, to the satisfaction of the Municipality.

3.3 REFUSE REMOVAL

(a) The township owner shall at its own expense have all litter within the township area removed to the satisfaction of the Municipality, when required to do so by the Municipality.

(b) The township owner shall provide sufficient refuse collection points in the township and shall make arrangements to the satisfaction of the Municipality for the removal of all refuse.

3.4 REMOVAL OR REPLACEMENT OF EXISTING SERVICES

If, by reason of the establishment of the township, it should be necessary to remove or replace any existing municipal, TELKOM and/or ESKOM services, the cost of such removal or replacement shall be borne by the township owner. For purposes of removal or replacement the township owner shall, at its own costs, protect the services by means of the registration of servitudes in favour of the Municipality, should it be deemed necessary.

3.5 DEMOLITION OF BUILDINGS AND STRUCTURES

The township owner shall at its own costs cause all existing buildings/structures situated within the building line reserves, side spaces, or over common boundaries to be demolished to the satisfaction of the Municipality, when requested thereto by the Municipality or where buildings/structures are dilapidated.

3.6 CONSOLIDATION OF ERVEN

The township owner shall, at its own costs, after proclamation of the township but prior to the development of the township, consolidate Erven 1 and 2 to the satisfaction of the Municipality.

The Municipality hereby grants its consent for the consolidation of Erven 1 and 2 in terms of Section 92(1)(b) of Ordinance 15 of 1986, which consolidation shall only come into operation on proclamation of the township and subject to the Section 82 certificate being issued by the Municipality.

4. CONDITIONS TO BE COMPLIED WITH BEFORE THE ERVEN IN THE TOWNSHIP BECOME REGISTERABLE:

Installation and provision of services:

- 4.1 The township owner shall install and provide internal engineering services in the township as provided for in the services agreement.
- 4.2 The Municipality shall install and provide external engineering services for the township as provided for in the services agreement.
5. DISPOSAL OF EXISTING CONDITIONS OF TITLE:
All erven shall be made subject to existing conditions and servitudes, if any, but excluding:

5.1 The following rights/entitlements which will not be passed on the erven in the township:

"(a) Die voorbehoud ten gunste van die DORPSRAAD VAN ERMELO van alle regte ten opsigte van Minerals en Edelgesteentes, insluitende alle regte wat in die eienaar gevestig mag word om te deel in die opbrengs wat aan die Staat mag toekom as gevolg van die vervreemding van die onderaardse regie van die hiermee getransporteerde eiendom, insluitende huugelde en profyte wat aan die eienaar mag toekom onder enige mynkontrak toegestaan ten opsigte van die genoemde eiendom.

(b) Die eiendom of enige gedeelte daarna sal nie getransporteer of verhuur word of op enige ander wyse van die hand gesit word of vervreem word aan enige Asiat, kleurling of natural, en geen Asiat, kleurling of nature! anders dan die eie bediendes van die eienaar of bewoner wie bona fide op die eiendom in diens is, sal toegelaat word om op die genoemde eiendom te woon of te bly nie, die nakoming waarvan deur genoemde Dorpsraad afdedwing kan word."

5.2 The following condition contained in the aforesaid title deed which has lapsed due to an effluxion of time and should be cancelled in terms of Section 68(1) of the Deeds Registries Act No 47 of 1937:

"Kragtens Notariele Akte van Ooreenkoms K1922/86L word bovermelde eiendom tesame met alle verbeterings daarop, verhuur aan die Hoefeld Skouvereniging vir 'n tydperk van 25 (vyf en twintig) jaar, welke periode in aanvang neem op 1 November 1983, nieteenstaande die datum van ondertekening van die ooreenkoms soos meer volledig blyk in gemelde Notariele Ooreenkoms, dd 6/9/84".

6. CONDITIONS OF TITLE:

6.1 CONDITIONS OF TITLE IMPOSED IN TERMS OF THE PROVISIONS OF THE TOWN PLANNING AND TOWNSHIPS ORDINANCE, 1986 (ORDINANCE 15 OF 1986):

6.1.1 All erven:

5.1.1.1 The erf is subject to a servitude, 2 metres wide along any two boundaries in favour of the Municipality for sewerage and other municipal purposes and, in the case of a panhandle erf, an additional servitude for municipal purposes 2 metres wide across the access portion of the erf, if and when required by the Municipality: Provided that the Municipality may relax or grant exemption from the required servitudes.

5.1.1.2 No building or other structure shall be erected within the aforesaid servitude area and no large-rooted trees shall be planted within the area of such servitude or within 2 metres thereof.

5.1.1.3 The Municipality shall be entitled to deposit temporarily on the land adjoining the aforesaid servitude such material as may be excavated by it during the course of the construction, maintenance or removal of such sewerage mains and other works as it, in its discretion, may deem necessary and shall further be entitled to reasonable access to the said land for the aforesaid purpose, subject to any damage done during the process of the construction, maintenance or removal of such sewerage mains and other works being made good by the Municipality.

6.1.2 Erf 1

The erf is subject to a 3m x 6m electrical service servitude in favour of the Municipality, for municipal purposes as indicated on Township Layout Plan No TOWNSHIP/ERMELO EXTENSION 46/02 and the General Plan.

7. CONDITIONS TO BE INCORPORATED WITHIN THE EXISTING TOWN PLANNING SCHEME IN TERMS OF SECTION 125 OF THE TOWN PLANNING AND TOWNSHIPS ORDINANCE, 1986 (ORDINANCE 15 OF 1986) IN ADDITION TO THE EXISTING PROVISIONS OF THE TOWN PLANNING SCHEME:

ERVEN 1 AND 2, ERMELO EXTENSION 47:

1	Use Zone	9: Special
2	Uses permitted	Business premises, supermarket, shop, place of refreshment, place of amusement, retail industry, automatic teller machine (ATM), financial institution, fitness centre, car wash, garden centre, internet café, optometrist, post office, drive-through restaurant, billboard, taxi transport terminus, conference centre and ancillary and subservient uses.
3	Uses with consent	Office, place of instruction, dry cleaner, medical / dental consulting rooms, filling station, residential building, and other uses which in the opinion of the Municipality will be compatible with the predominant uses on the erf.
4	Uses not permitted	All other uses
5	Definitions	(1) Supermarket: means land and buildings used for the business of offering for sale all merchandise normally sold in a supermarket, including but not limited to a butchery, a bakery, a fishmonger, delicatessen and with fresh fruit and vegetables, a dispensary in pharmaceutical and health products and a financial and / or post office counter. (2) Retail industry: means, inter alia, catering, a confectionary, dress-making, and tailoring,

		<p>engraving, instant printing and copying, jewellery manufacturing, photographic processing, picture framing, and screen printing; as well as the servicing and repair of air conditioners, audio equipment, basket ware and cane furniture, canvas goods and tents, bicycles, electronic equipment, domestic equipment, leather-works and shoes, office equipment, television and video equipment, upholstery, watches, weighing machines and window blinds, but does not include a light industry and the wholesale selling of goods.</p> <p>(3) Automatic teller machine (ATM): means land and buildings used for a computerized unattended electronic machine that performs basic banking functions either outside of or located separately from the bank or other financial institution it represents for self-banking purposes.</p> <p>(4) Financial institution: means land and buildings used by an accredited institution (public or private) that collects funds (from the public or other institutions) and invests them in financial assets including a bank.</p> <p>(5) Fitness centre: means a building where people exercise with or without exercise apparatus."</p> <p>(6) Car wash: means land and buildings used for the washing, polishing and cleaning of vehicles by means of mechanical apparatus or by hand.</p> <p>(7) Garden centre: means land and buildings used for the storage, cultivation and sale of plants, bulbs, seed, fish, birds, pots, compost, fertilizer, pesticides, herbicides and may include the sale of ancillary and subservient products.</p> <p>(8) Internet café: means land and buildings or part of a building used for hiring of computers with internet linkage to customers for use on the premises.</p> <p>(9) Optometrist: means land and buildings used by a specialist who is qualified to examine people's eyes to determine if they need eyeglasses or medical treatment and may include the sale of spectacle frames, sunglasses, contact lenses, eye care products and other ancillary and subservient uses.</p> <p>(10) Post office: means land and buildings used as a local branch office where mail is received, sorted, and delivered, and where stamps and other postal materials are sold and may offer additional services such as providing and accepting government forms, processing of government services and fees, and banking</p>
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		<p>services.</p> <p>(15) Ancillary and subservient uses: means uses and activities which support and complement the main use on the property and which shall not exist on its own when the main use on the property is discontinued.</p> <p>(16) Billboard: means any screen or board larger than 9m², supported by free-standing structure, which is to be used or intended to be used for the purpose of posting, displaying or exhibiting an advertisement and which is also known as an advertising hoarding. The main function of a billboard is to advertise non-locality-bound enterprises, activities or services.</p> <p>(15) Drive-through restaurant: means land and buildings used for a restaurant with kitchen, storage area, limited seating, delivery yard, manager's offices, ablutions a take-away restaurant / counter area as well as a driveway and queuing space for patrons to order meals and drinks through a window to the restaurant from the comfort of their vehicles.</p> <p>(16) Taxi transport terminus: means land and buildings designed and used as a terminus or gathering place for mini-bus taxis arriving from and departing in a variety of directions / routes and may include ablution facilities, a meeting room and other ancillary and subservient uses.</p> <p>(17) Conference centre: means land and buildings used for congresses, seminars training, meetings, cultural events and social activities and may include a kitchen.</p> <p>(18) Other uses: Part 1, Clause 2 of the Scheme</p>
6	Density	Not applicable
7	Coverage	As per site development plan
8	Height	Three (3) storeys
9	Floor space ratio	0,6
10	Site development plan and landscape development plan	<p>(1) A site development plan, compiled by a person suitably qualified to the satisfaction of the Municipality, shall be submitted to the Municipality for approval.</p> <p>(2) The street frontage of the erven and exterior of buildings shall be treated in accordance with the site development plan.</p> <p>(3) The landscaping in terms of the landscape development plan shall be completed with completion of the development or any phase thereof. The continued maintenance of the landscape development shall be to the</p>

		satisfaction of the Municipality.
11	Building-lines	(1) Voortrekker Street : 8m (2) Other street boundaries : 5m (3) Other boundaries : As per site development plan
12	Parking requirements	Clause 22, Table H of the Scheme: Provided that the total number of parking bays may be relaxed by the Municipality as per site development plan on recommendation by a traffic engineer without requiring further advertising or public participation.
13	Paving of traffic areas	All parts of the erf upon which motor vehicles may move or park shall be provided with a permanent dust-free surface, which surface shall be paved, drained and maintained to the satisfaction of the Municipality.
14	Access to the erf	Entrances to, and exits from the erf shall be located, constructed and maintained to the satisfaction of the Municipality.
15	Loading & off-loading	Loading and off-loading facilities shall be provided on the erf to the satisfaction of the Municipality and all loading and off-loading shall take place on the erf.
16	Turning facilities	Turning space for vehicles shall be provided on the erf to the satisfaction of the Municipality.
17	Physical barriers	A permanent, non-removable physical barrier which restricts vehicular and pedestrian movement shall be erected and maintained on the boundary of Erven 1 and 2 along its boundaries with Juliana, Dahlia and Piekaar Avenue as well as along the common boundary with adjacent residential erven (western boundary). The height, siting, design, materials and finishes of the barrier shall be to the satisfaction of the Municipality.
18	Health measures	Any requirements for air pollution-, noise abatement- or health measures required by Municipality shall be complied with to the satisfaction of, and without any costs to the Municipality.
19	Outdoor advertising	Advertisements and/or sign boards shall not be erected or displayed on the erf without the written consent of the Municipality first being obtained in terms of its municipal by-laws for outdoor advertising.
20	<p>General:</p> <ol style="list-style-type: none"> 1. No building shall be occupied before completely developed: Provided that the Municipality may, in exceptional circumstances, grant consent thereto. 2. An engineer must be appointed before the approval of building plans, who must design, specify and supervise structural measures for the foundations of all structures according to the soil classification for each 	

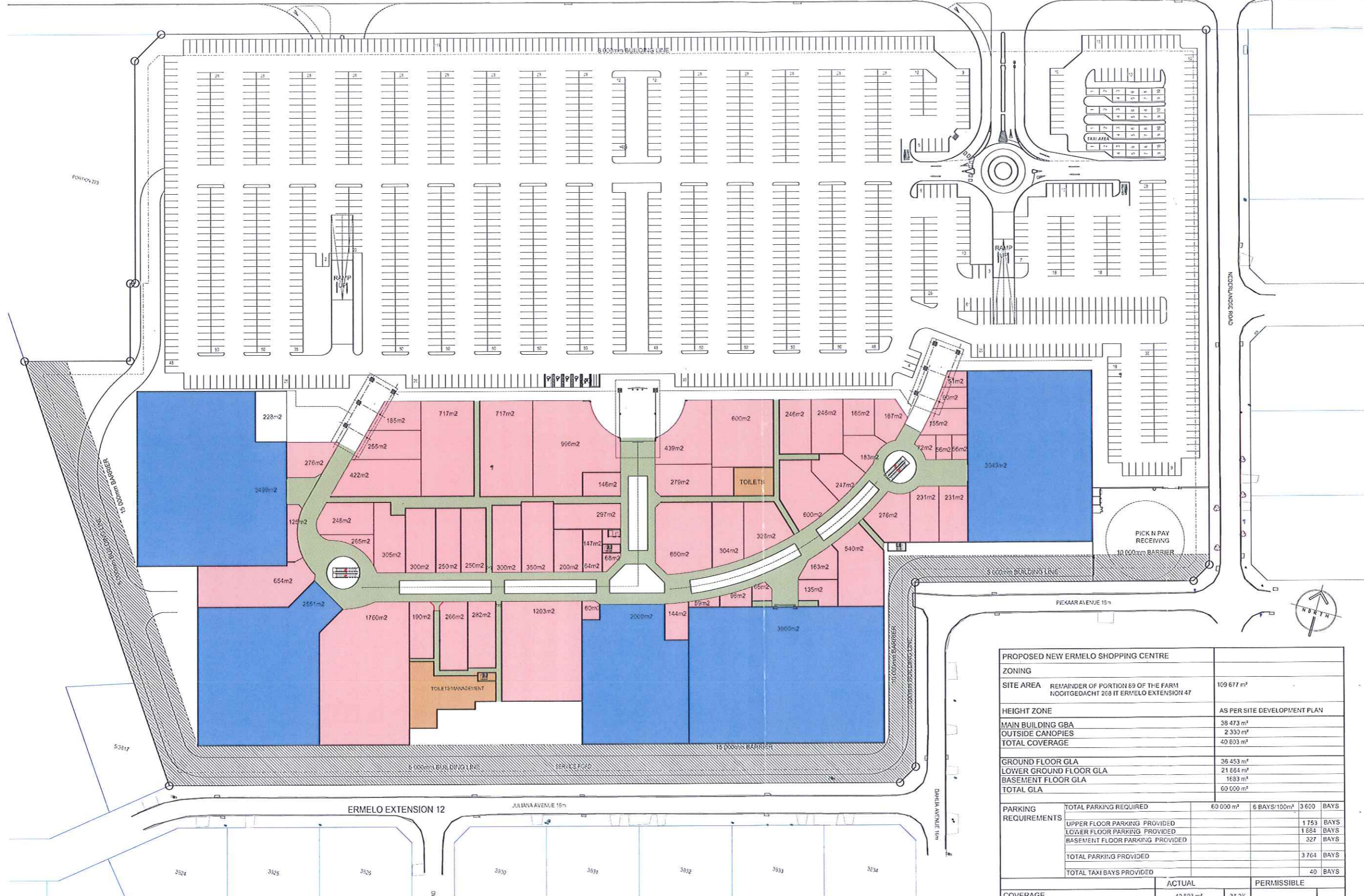
zone as described in the geological report. On completion of the structures, he / she must certify that all his / her specifications have been met.

3. In addition to the above conditions the erf and buildings thereon are further subject to the general provisions of the Ermelo Townplanning Scheme, 1992.

ANNEXURE 'G'

DRAFT SITE PLAN

ERMELO TOWNSHIP
VOORTREKKER AVENUE



NOTE:
1. FIRE FIGHT ACCORDING TO FIRE CONSULTANT DRAWINGS.
2. STRUCTURAL LOADS ACCORDING TO ENGINEER'S DRAWINGS.
3. CONCRETE & STEEL COLLARS ACCORDING TO ENGINEER'S DRAWINGS.
4. NEW BUILDING LEVELS ACCORDING TO ENGINEER'S DRAWINGS.

DISBURSEMENT:
P/P - 50mm PVC
S/P - 100mm PVC
V/P - 100mm PVC
P/SET LEVELS - 600mm

GENERAL NOTES:
ALL BUILDINGS ACCORDING TO SANS 1040
ALL DESIGN & BUILDING REGULATIONS ACCORDING TO SANS 1040

Engineering notes (Cladding notes):
1. 100mm
2. 100mm
3. 100mm
4. 100mm
5. 100mm
6. 100mm
7. 100mm
8. 100mm
9. 100mm
10. 100mm
11. 100mm
12. 100mm
13. 100mm
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PROPOSED NEW ERMELO SHOPPING CENTRE	
ZONING	
SITE AREA	REMAINDER OF PORTION 89 OF THE FARM NOOITGEDACHT 268 IT ERMELO EXTENSION 47 109 677 m ²
HEIGHT ZONE	AS PER SITE DEVELOPMENT PLAN
MAIN BUILDING GBA	38 473 m ²
OUTSIDE CANOPIES	2 330 m ²
TOTAL COVERAGE	40 803 m ²
GROUND FLOOR GLA	38 453 m ²
LOWER GROUND FLOOR GLA	21 684 m ²
BASEMENT FLOOR GLA	1 683 m ²
TOTAL GLA	60 000 m ²
PARKING REQUIREMENTS	TOTAL PARKING REQUIRED 60 000 m ² 6 BAYS/100m ² 3 600 BAYS
	UPPER FLOOR PARKING PROVIDED 1 753 BAYS
	LOWER FLOOR PARKING PROVIDED 1 684 BAYS
	BASEMENT FLOOR PARKING PROVIDED 327 BAYS
	TOTAL PARKING PROVIDED 3 764 BAYS
	TOTAL TAXI BAYS PROVIDED 40 BAYS
	ACTUAL PERMISSIBLE
COVERAGE	40 803 m ² 37.2%
FLOOR AREA RATIO (FAR)	65 433 m ² 0.60

FRANZSEN ARCHITECTS

PROPOSED NEW SHOPPING CENTRE IN ERMELO EXTENSION 47 REMAINDER OF PORTION 89 OF THE FARM NOOITGEDACHT 268 IT

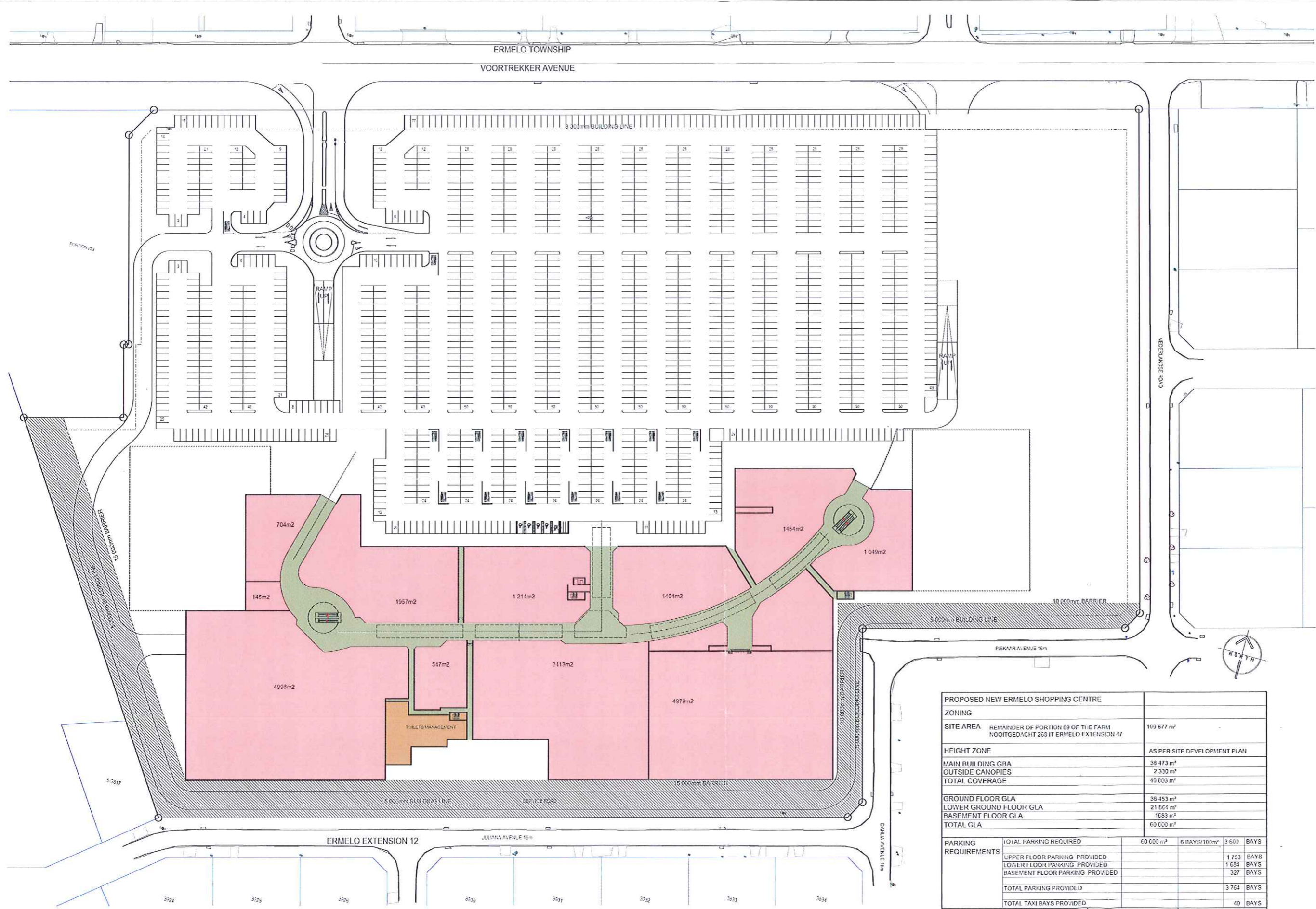
DRAFT SITE PLAN - GROUND FLOOR

07102 01507

S1001.01

ERMELO MALL

REVISION DATE: 16/04/2014
SCALE 1:500



- NOTE:
1. FIRE ALARMS ACCORDING TO FIRE CONSULTANT DRAWINGS.
 2. SIGNAGES AND LIGHTING ACCORDING TO ENGINEERS DRAWINGS.
 3. CONCRETE & STEEL SOLUTIONS ACCORDING TO ENGINEERS DRAWINGS.
 4. NEW BUILDING LEVELS ACCORDING TO ENGINEERS DRAWINGS.

DISBURSEMENT NOTE:
 100mm PVC
 150mm PVC
 110mm PVC
 100mm BARRIER

GENERAL NOTES:
 ALL BUILDING WORKS ACCORDING TO SANS 1040
 ALL CONCRETE & STEEL INSTALLATIONS ACCORDING TO SANS 1040

Exploding notes / Cladding notes:

Code	Material	Finish	Color	Thickness
1	Concrete	Smooth	Grey	100mm
2	Concrete	Smooth	Grey	150mm
3	Concrete	Smooth	Grey	110mm
4	Concrete	Smooth	Grey	100mm
5	Concrete	Smooth	Grey	100mm

FRANZSEN ARCHITECTS

100% FULLY REGISTERED ARCHITECTS
 100% FULLY REGISTERED ARCHITECTS
 100% FULLY REGISTERED ARCHITECTS

PROPOSED NEW SHOPPING CENTRE IN ERMELO EXTENSION 12 REMAINDER OF PORTION 223 OF THE FARM NOOTGEDACHT 268 IT

PROPOSED NEW ERMELO SHOPPING CENTRE			
ZONING			
SITE AREA	REMAINDER OF PORTION 223 OF THE FARM NOOTGEDACHT 268 IT ERMELO EXTENSION 12	109 677 m ²	
HEIGHT ZONE		AS PER SITE DEVELOPMENT PLAN	
MAIN BUILDING GBA		38 473 m ²	
OUTSIDE CANOPIES		2 330 m ²	
TOTAL COVERAGE		40 803 m ²	
GROUND FLOOR GLA		36 453 m ²	
LOWER GROUND FLOOR GLA		21 664 m ²	
BASEMENT FLOOR GLA		1 683 m ²	
TOTAL GLA		60 000 m ²	
PARKING REQUIREMENTS	TOTAL PARKING REQUIRED	60 000 m ²	6 BAYS/100m ² 3 600 BAYS
	UPPER FLOOR PARKING PROVIDED		1 753 BAYS
	LOWER FLOOR PARKING PROVIDED		1 634 BAYS
	BASEMENT FLOOR PARKING PROVIDED		327 BAYS
	TOTAL PARKING PROVIDED		3 714 BAYS
	TOTAL TAXI BAYS PROVIDED		40 BAYS
COVERAGE		ACTUAL	PERMISSIBLE
FLOOR AREA RATIO (FAR)		05 433 m ²	37,2%

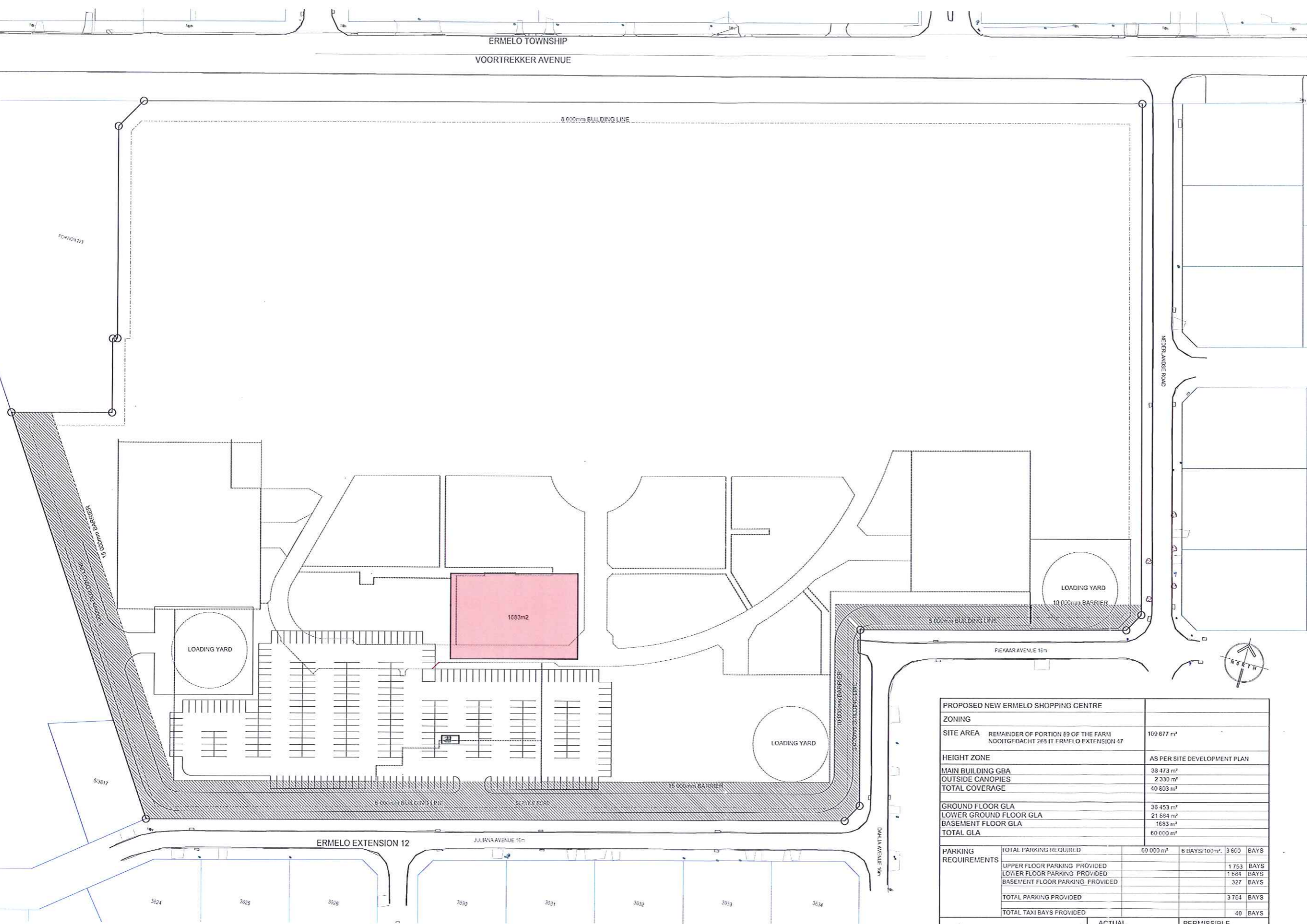
ERMELO MALL

REVISION DATE: 16/04/2014
 SCALE 1:500

DRAFT SITE PLAN - LOWER GROUND FLOOR

07102 01507

S100.02



- NOTE:
1. FREE LAYOUT ACCORDING TO FREE CONSULTANT DRAWINGS.
 2. SITE WATER LAYOUT ACCORDING TO ENGINEER'S DRAWINGS.
 3. CONCRETE & STEEL COLLARS ACCORDING TO ENGINEER'S DRAWINGS.
 4. NEW BULEVARD LEVELS ACCORDING TO ENGINEER'S DRAWINGS.

DRAINAGE NOTE:
 SP - 50mm P.V.C.
 SP - 110mm P.V.C.
 VENT PIPE - 110mm P.V.C.
 FINISH LEVEL: 850.00 - 850.00m

GENERAL NOTES:
 ALL BUILDING WORKS ACCORDING TO SANS 1040
 ALL CEILING & FLOORING INSTALLATIONS ACCORDING TO SANS 1040

Lighting notes / Cladding notes:
 3.0m LT - 12
 4.0m LT - 15
 5.0m LT - 18
 6.0m LT - 21
 8.0m LT - 24
 10.0m LT - 27

FRANZSEN ARCHITECTS

7000 JULIUS BOER
 11000 FRODO STREET
 2101 SANDHURST
 2013
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PROPOSED NEW SHOPPING CENTRE IN ERMELO EXTENSION 47 REMAINDER OF PORTION 89 OF THE FARM NOOTGEDACHT 268 IT

DRAFT SITE PLAN - BASEMENT FLOOR

PROJECT NO: 07102 DRAWING NO: 01507
 DATE: 16/04/2014
 SCALE: 1:500
 SHEET NO: S 001.03

PROPOSED NEW ERMELO SHOPPING CENTRE			
ZONING			
SITE AREA	REMAINDER OF PORTION 89 OF THE FARM NOOTGEDACHT 268 IT ERMELO EXTENSION 47	109 677 m ²	
HEIGHT ZONE	AS PER SITE DEVELOPMENT PLAN		
MAIN BUILDING GBA	38 473 m ²		
OUTSIDE CANOPIES	2 330 m ²		
TOTAL COVERAGE	40 803 m ²		
GROUND FLOOR GLA	36 453 m ²		
LOWER GROUND FLOOR GLA	21 864 m ²		
BASEMENT FLOOR GLA	1683 m ²		
TOTAL GLA	60 000 m ²		
PARKING REQUIREMENTS	TOTAL PARKING REQUIRED	60 000 m ²	6 BAYS/100 m ² , 3 600 BAYS
	UPPER FLOOR PARKING PROVIDED		1 753 BAYS
	LOWER FLOOR PARKING PROVIDED		1 684 BAYS
	BASEMENT FLOOR PARKING PROVIDED		327 BAYS
	TOTAL PARKING PROVIDED		3 764 BAYS
	TOTAL TAXI BAYS PROVIDED		40 BAYS
COVERAGE	ACTUAL	40 803 m ²	37.2%
	PERMISSIBLE	65 433 m ²	0.60
FLOOR AREA RATIO (FAR)			

ERMELO MALL

REVISION DATE: 16/04/2014
 SCALE 1:500