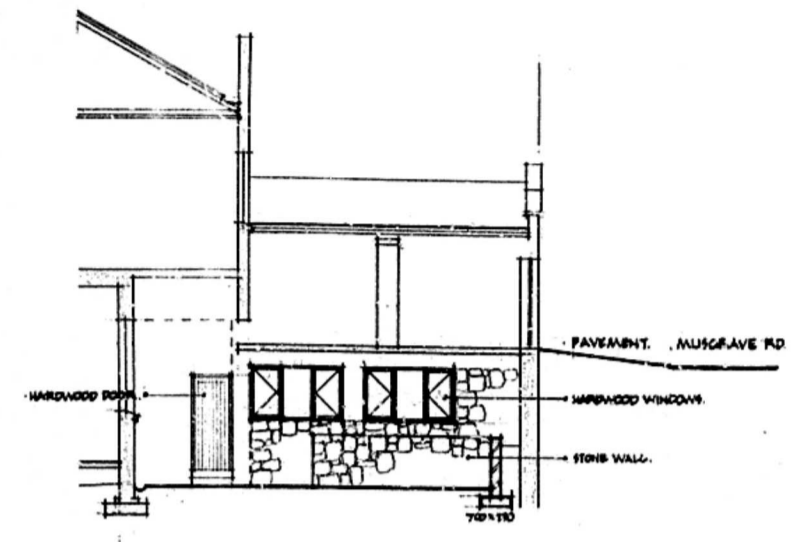
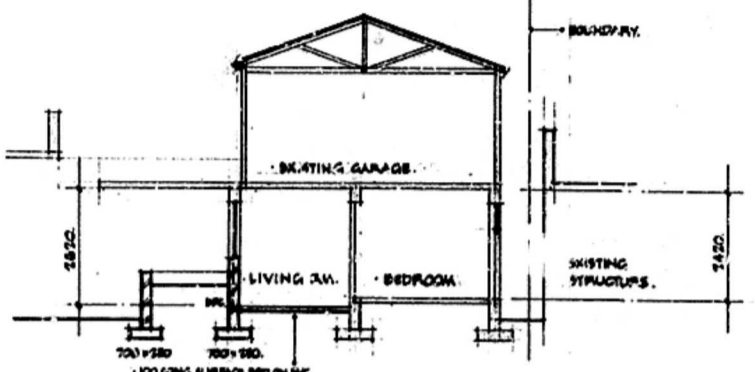


SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

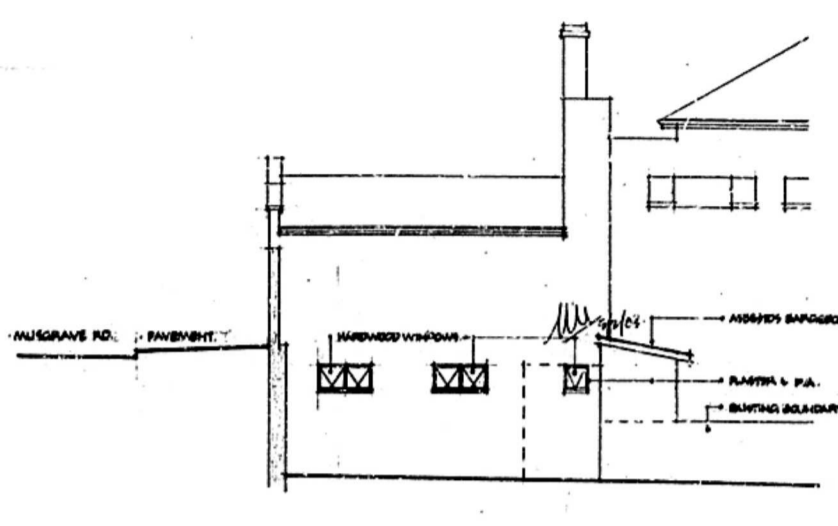
SHEET // COPY 3  
**CITY OF DURBAN**  
 PLAN No. 125 01 03  
 APPROVED in terms of The National Building Regulations and Building Standards Act No. 103 of 1977  
 25 MAR 2002  
 DATE 23/01/03  
 BUILDING CONTROL OFFICER  
 This Plan is approved on the basis of the information shown hereon. Attention is drawn to attached documentation.



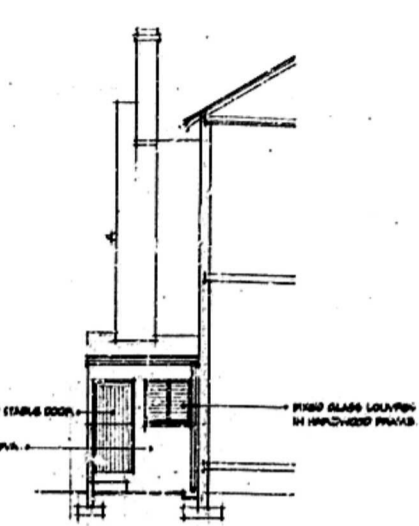
• NORTH-EAST ELEVATION.



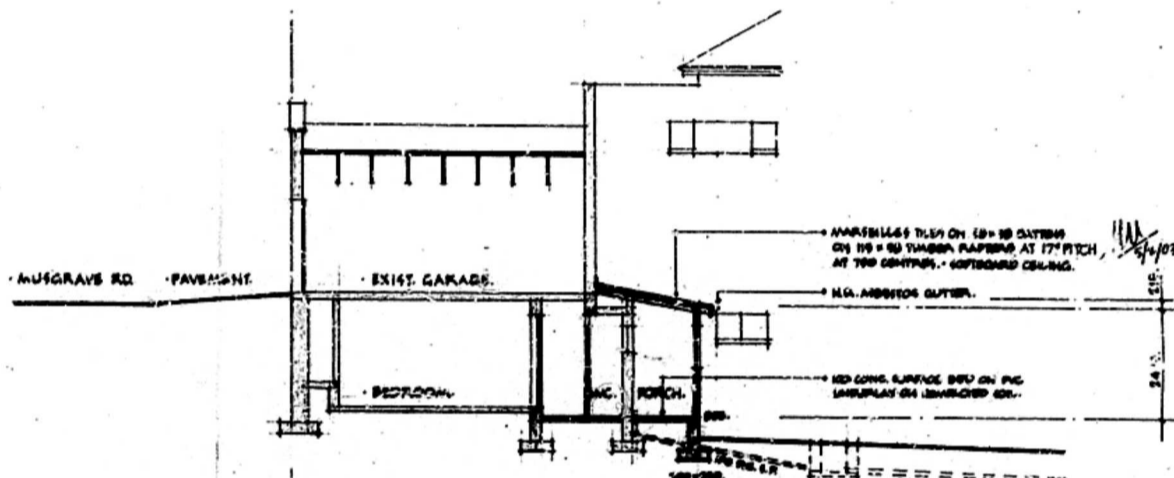
• SECTION A • A



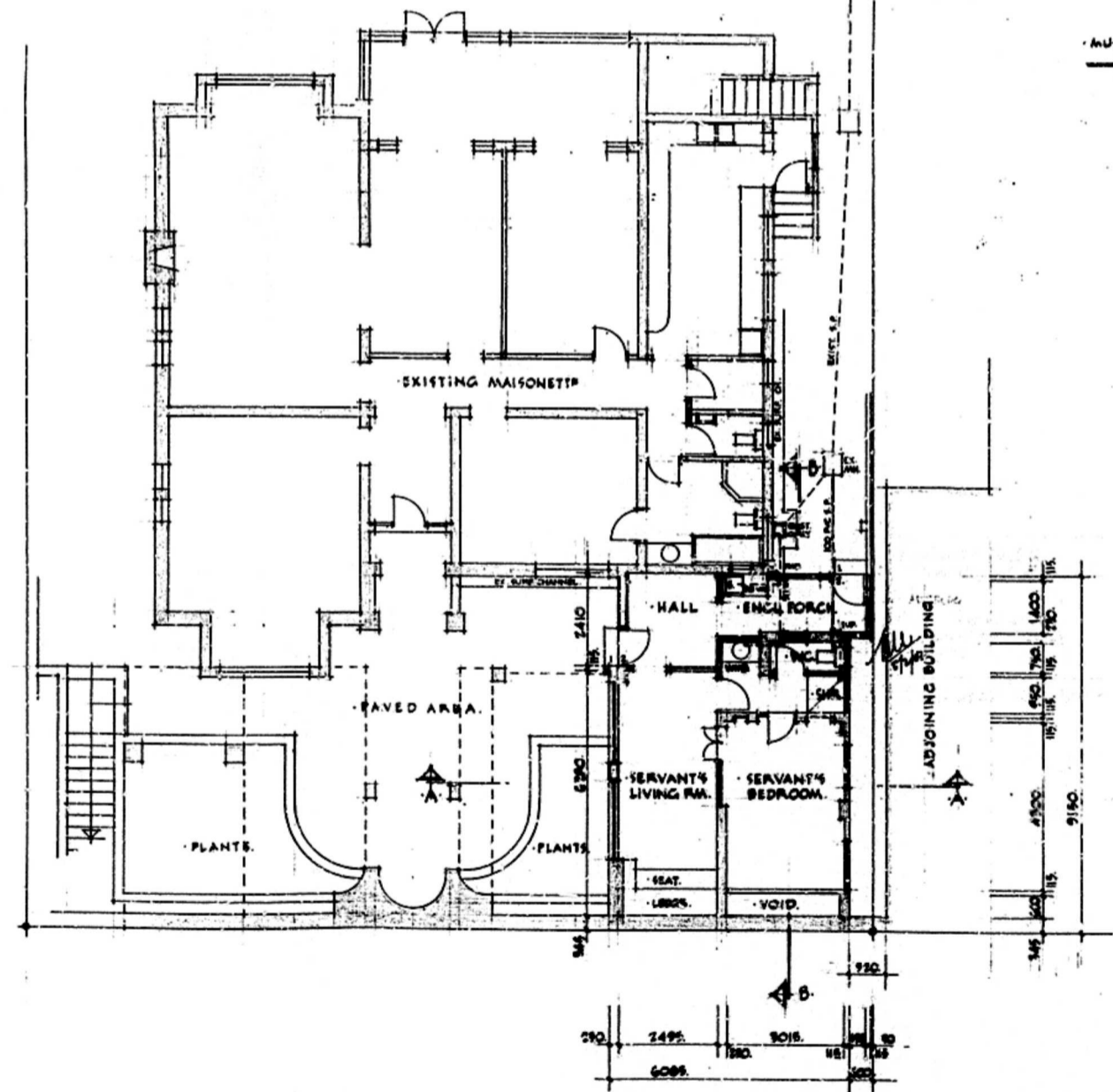
• SOUTH WEST ELEVATION.



• SOUTH-EAST ELEVATION.

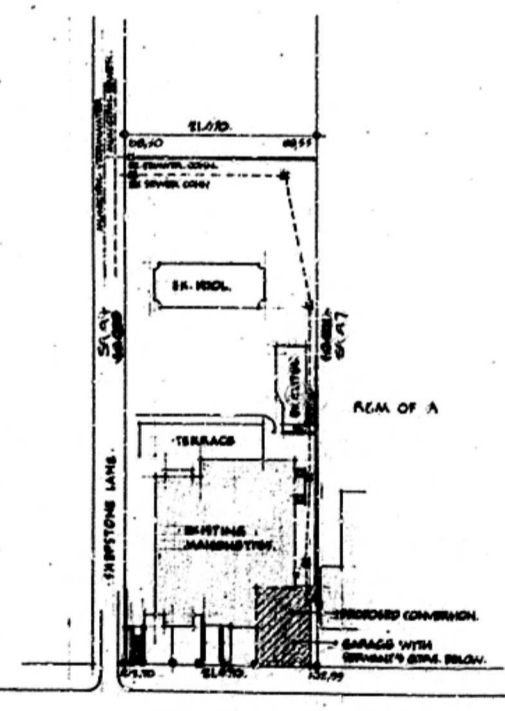


• SECTION B • B



• LOWER GROUND FLOOR PLAN.

- AREAS :
- SITE AREA - 1587 m<sup>2</sup>
- ADDITIONAL ENCLOSED AREA - 3450
- ACTUAL ADDITIONAL ROOFED AREA - 400



• SITE PLAN.  
 • SCALE: 1 TO 400.  
 • SITE DESCRIPTION:  
 • REM. OF PORTION 7 OF BRF 3028 DURBAN.  
 • RATS No. 02/6768-013/000.

SUBMISSIONS  
 SITEPLAN CHECKED  
 2003-01-28  
 Signature

Signature  
 606 Musgrave Rd  
 2000-002

INSPECTION OFFICER  
 D. B. I.  
 S. B. I.  
 DATE 23/01/03

ARTGUARD-D.P.C. VERTICAL D.P.C.  
 SOIL POISONING REQUIRED

ALL GLAZING TO COMPLY WITH PART N12 AND N13 OF SANS 0400

It should be noted that this plan has been approved on the basis of information that...

REGULATIONS...  
 The Building Regulations...  
 The Building Regulations...  
 The Building Regulations...

REGULATIONS...  
 The Building Regulations...  
 The Building Regulations...  
 The Building Regulations...

REG. OWNER: *A. M. ...*  
 CRANMORE PROPERTIES (PTY) LTD.

AS-BUILT RECORD PLAN.  
 R/N 0146 012

PROJECT  
 CONVERSION OF SPACE BELOW EXISTING GARAGE TO SERVANT'S QUARTERS AT 612 MUSGRAVE ROAD, DURBAN, ON REM. OF PORTION 7 OF ERF 3028 DURBAN, FOR CRANMORE PROPERTIES SHAREBLOCK (PT) LTD.

R. MORTON ARCHITECT  
 18 ROCKDALE AVENUE, WESTVILLE, 2000  
 TELEPHONE 2669544

SCALE: 1 TO 100	DATE: DEC. 2002	DRAWN BY: R.M.
DRAWING NO. 0204/10		REVISION: