

**TOWN PLANNING CONSTRAINTS**

**SPECIAL RESIDENTIAL 181**

**SITE ZONING:** 48%

**ALLOWABLE COVERAGE:** 40%

**HEIGHT RESTRICTIONS:** DOUBLE STOREY

**OCCUPANCY/BUILDING CLASSIFICATION:** H4, RESIDENTIAL

**SITE SENSITIVITY LEVEL:** MEDIUM SENSITIVITY SITE- PORTION OF SITE PART OF D.MOSS

**STRUCTURAL DESIGN:** ALL STRUCTURAL SYSTEMS OF THIS BUILDING ARE TO BE DESIGNED AND INSPECTED BY THE APPOINTED STRUCTURAL ENGINEER

**DIMENSIONS:** THE DIMENSIONS OF ANY ROOM OR SPACE ARE TO BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400 MM. CLEAR FLOOR TO CEILING HEIGHT 2400

**PUBLIC SAFETY:** A CHANGE IN LEVEL, THE DESIGN OF RAMPS AND DRIVEWAYS, SWIMMING BATHS IS TO BE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400-D

**SITE OPERATIONS:** PROTECTION OF THE PUBLIC - A FENCE, HOARDING OR BARRICADE TO BE ERRECTED

**DAMAGE TO LOCAL AUTHORITIES PROPERTY - DEPOSITS AS MAY BE REQUIRED BY THE LOCAL MUNICIPALITY TO BE LODGE**

**GEOTECHNICAL SITE & ENVIRONMENTAL CONDITIONS:** IF REQUIRED BY LOCAL MUNICIPALITY IN ACCORDANCE WITH SANS 10400-B RE DOLMITE LANDS & SANS 10400-H RE FOUNDATIONS

**PREPARATION OF THE SITE:** 1. SITE TO BE CLEARED OF ALL VEGETABLE MATTER, TREE STUMPS, TIMBER & OTHER CELLULOSE MATERIAL, DEBRIS OR REFUSE

**2. DRAINAGE TO BE PROVIDED TO DIRECT STORM AWAY FROM SITE IN AN APPROVED MANNER**

**SOIL POISONING:** SOIL WITHIN SITE AS DEFINED IN SANS 10124 SH4 BE TREATED IN ACCORDANCE WITH RECOMMENDATIONS OF SANS 10124

**CONTROL OF UNREASONABLE LEVELS OF NOISE & DUST:** IN ACCORD. WITH SANS 10400-F

**CUTTING TO LAYING OPEN & DEMOLISHING OF EXISTING STRUCTURES:** IN ACCORD. WITH SANS 10400-F

**WASTE MATERIAL ON SITE:** IN ACCORD. WITH SANS 10400-F

**CLEANING OF SITE:** IN ACCORDANCE WITH SANS 10400-F

**BUILDERS SHED:** TO BE SUPPLIED IN ACCORD. WITH SANS 10400-F

**SANITARY FACILITIES:** TO BE PROVIDED. IN ACCORD WITH SANS 10400-F

**EXCAVATIONS TO BE IN ACCORDANCE WITH ENG. DETAIL.**

**FLOORS:** BASE LAYER- COMPACTED FILL TO ENG. DETAIL

**SURFACE BED- 125 CONC SLAB CAST WITH REF 93 MESH.**

**DPM UNDERLAY - 250 MICRON UPVC WITH ALL SEAMES TO BE TAPED AND OVERLAP BY 150**

**MOVEMENT JOINTS:** TO ENG. DETAIL

**SCREED- MIN. 35 COVER TO BE SMOOTH POLISHED**

**SUSPENDED SLABS R.CONC SLAB TO BE IN ACCORD WITH STRUCT ENG. DET.**

**WALLS:** ALL TO BE IN ACCORDANCE WITH SANS 10400-B AND SANS 10400-T THE STRUCTURAL STRENGTH AND STABILITY TO IN ACCORD. WITH SANS 10400-K

**WALL FOOTINGS:** DOUBLE SKIN CLAY BRICK. WITH BRICK FORCE EVERY COURSE

**WALL EXTERNAL:** DOUBLE SKIN OF CLAY BRICKS. WITH BRICK FORN TO BE USED EVERY 4TH COURSE AND OVER EVERY CORSE ABOVE ALL OPENINGS.

**WALL INTERNAL:** SINGLE SKIN CLAY BRICKS. WITH BRICK FORCE EVERY 4TH COURSE AND ON EVERY COURSE OVER ALL OPENINGS

**WALL FINISH:** WATER PENETRATION THROUGH A WALL IS TO BE IN ACCORDANCE WITH SANS 10400-K

**PLASTER- 12 SMOOTH PAINTED.**

**ROOFS:** ROOF COVERINGS AND WATERPROOFING SYSTEMS ARE IN ACCORDANCE WITH THE DETAILED REQUIREMENTS OF SANS 10400

**ROOF COVER:** "CLAY FULL BODY ROOF TILES MECHANICALLY FIXE TO ROOF BATTERNS WITH CLIPS"

**RIDGE TILE:** CLAY FULL BODY

**ROOF DPM:** "NAM-TEX" 400 MICRON NON WOVEN WATERPROOF FABRIC LAID OVER BATTERNS.

**BATTERNS:** 383 X 38 SAP H2 @ 320 CENTRES.

**ROOF ASSEMBLY:** 38 X114 SAP H2 GANG NAIL TRUSS @ 690 CENTRE TO ENG DETAIL

**RAIN WATER GOODS:** TO BE SIZED IN ACCORD. WITH SANS 0400-R.

**GUTTERS:** TO BE 125 X 85 CONTINUOUS SEAM ALUM. "OG" PROFILE.

**RWDP:** TO BE 750 UPVC ROUND RAIN DOWN PIPE

**CEILING ASSEMBLY:** TO BE IN ACCORD WITH SANS 10400-C, 10400-L 10400-K

**9mm PAINTED "RHINO BOARD" GYPSUM NAIL UP CEILING FIXED TO 38 X 38 SAP H2 BATTERNS @ 300 CENTRES. JOINTS TO BE TAPPED & SKIMMED.**

**FIRE RESISTANCE:** ROOF & CEILING ASSEMBLY TO BE IN ACCORD. WITH SANS 10400-T

**STAIRWAYS AND CHANGE IN LEVEL:** ALL EXISTING AND NEW STAIRS TO BE IN ACCORD WITH SANS 10400 PART M AND PART D

**WATERPROOFING:** RETAINING WALLS: DUAL LAYER 7mm FIBRE GLASS REINFORCED BITUMIN TOUCH ON. WITH AGG DRAIN TO DETAIL. GARANTE BY SPEC

**FLOORROOFS:** DUAL LAYER 7mm FIBRE GLASS REINFORCED BITUMIN TOUCH ON. GARANTE BY SPEC.

**EXTERNAL WALLS:** OUTSIDE FACE OF INNER SKIN TO BE BAGGED WITH BITU SEAL

**GLAZING REFER TO DOOR & WINDOW SCHEDULE.**

**TO BE IN ACCORD. WITH SANS 10400-B & 10400-N**

**LETING AND VENTILATION REFER TO DOOR & WINDOW SCHEDULE IN ACCORD. WITH SANS 10400-T & SANS 10400-O**

**DRAINAGE NA**

**WATER-BORNE MEANS OF SANITARY DISPOSAL**

**ALL DRAINAGE TO BE IN ACCORD. WITH SANS 10400 PART P**

**ALL SEWER DRAINS TO BE 1000 UPVC SET AT MIN 1:80 FALLS. TO DISCHARGE BULK SEWER MAIN. AS PER DETAIL**

**ALL WASTE PIPES TO BE 250mm PVC TO DISCHARGE INTO P.C. GULLI UNLESS OTHERWISE STATED INSPECTION EYES TO BE PROVIDED AT ALL JUNCTIONS AND BENDS.**

**STORMWATER DISPOSAL**

**CONTROL AND DISPOSAL OF STORMWATER IS TO BE IN ACCORD. WITH SANS 10400R TO DISCHARGE INTO SOAK AWAYS AS INDICATED ON SITE PLAN.**

**PERSONS WITH DISABILITIES NA**

**FIRE PROTECTION TO BE ACCORD WITH SANS 10400T**

**SPACE HEATING TO BE IN ACCORD. SANS 10400-V**

**FIRE INSTALLATION TO COMPLY WITH SANS 10400-W**

**THE SUPPLY OF WATER - TO BE IN ACCORD. WITH SANS 10400W**

**SWIMMING POOL CONSTRUCTION**

**STRUCTURAL SYSTEM:** COMPOSITE WALL OF 2 OUTER SKINS OF 90 CLAY MAXI WITH INNER 100 CAVITY FILLED WITH R.CONC. RETAINING STRUCTURE BEARING ON R.CONC FOUND TO ENG. DET.

**SHELL:** TO BE OF 90 mm THICK GUNITED CONCRETE WITH R8 R-BAR @ 150 CENTRES BOUND IN BOTH DIRECTIONS IN ACCORD WITH ENK DETAIL

**WATERPROOFING & FINISH:** 25 mm "MARBLITE" MARBEL CHIP WATERPROOF PLASTER

**ELECTRICAL EARTH LEAKAGE PROTECTION TO BE FITTED TO ELECTRICAL SUPPLY ELEC APPARATUS HOUSED PRECAUTION TAKE AGAINST FLOODING & LEAKAGE**

**DRAINAGE PUMP CHAMBER TO HAVE ADEQUATE DRAINAGE BACKWASH, OVERFLOW & DISCHARGE TO BE INTO SOMEWHERE IN ACCORDANCE WITH SANS 10400 PART PP12**

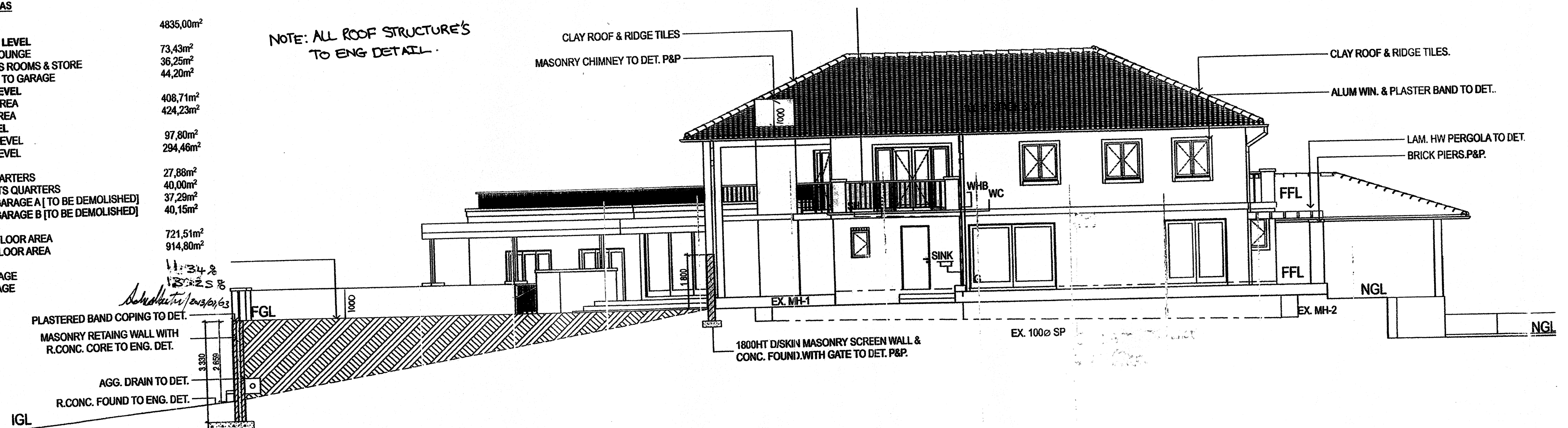
**FENCING:** POOL AREA TO BE FENCED IN ACCORDANCE WITH SANS 10440 D4(1,2,3)

**FILTER:** TO BE "SWIMUN" SAND FILTERPOOL SURROUND- TO BE NON SKID STONE PAVERS

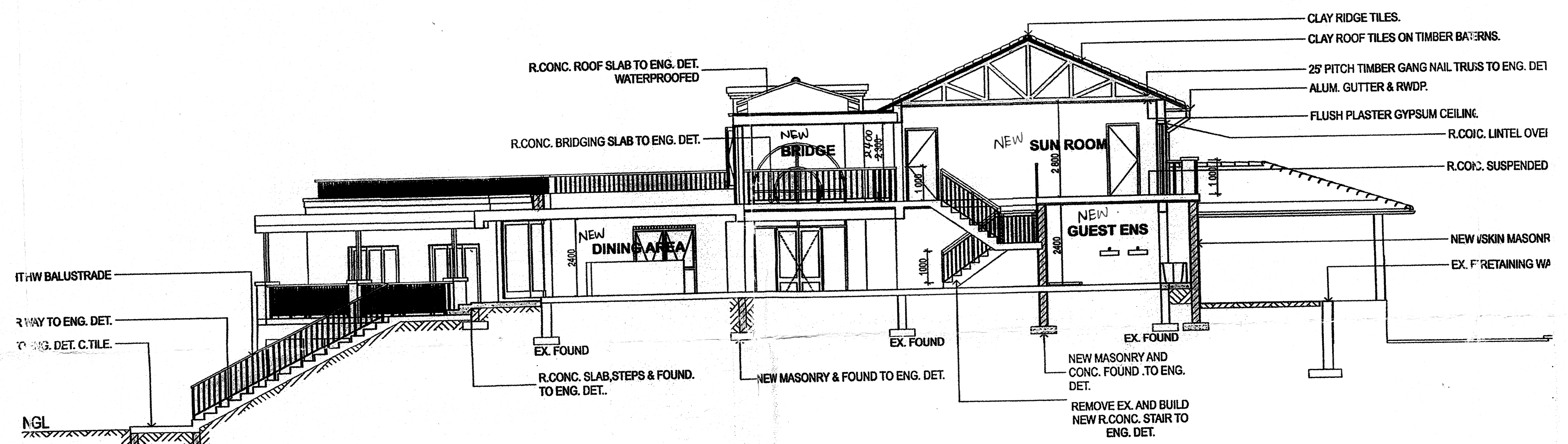
**SCHEDULE OF AREAS**

SITE ARE	4835,00m <sup>2</sup>
BASEMENT FLOOR LEVEL	73,43m <sup>2</sup>
ENTERTAINMENT LOUNGE	36,25m <sup>2</sup>
EXISTING CHANGES ROOMS & STORE	44,20m <sup>2</sup>
NEW CONVERSION TO GARAGE	
GROUND FLOOR LEVEL	408,71m <sup>2</sup>
EXISTING FLOOR AREA	424,23m <sup>2</sup>
REVISED FLOOR AREA	
FIRST FLOOR LEVEL	97,80m <sup>2</sup>
EXISTING FLOOR LEVEL	37,29m <sup>2</sup>
REVISED FLOOR LEVEL	
OUT BUILDINGS	27,88m <sup>2</sup>
EX. SERVANTS QUARTERS	40,00m <sup>2</sup>
REVISED SERVANTS QUARTERS	40,15m <sup>2</sup>
FREE STANDING GARAGE A (TO BE DEMOLISHED)	
FREE STANDING GARAGE B (TO BE DEMOLISHED)	
TOTAL AREAS	721,51m <sup>2</sup>
EXISTING TOTAL FLOOR AREA	914,80m <sup>2</sup>
REVISED TOTAL FLOOR AREA	
COVERAGE	
EXISTING COVERAGE	
REVISED COVERAGE	

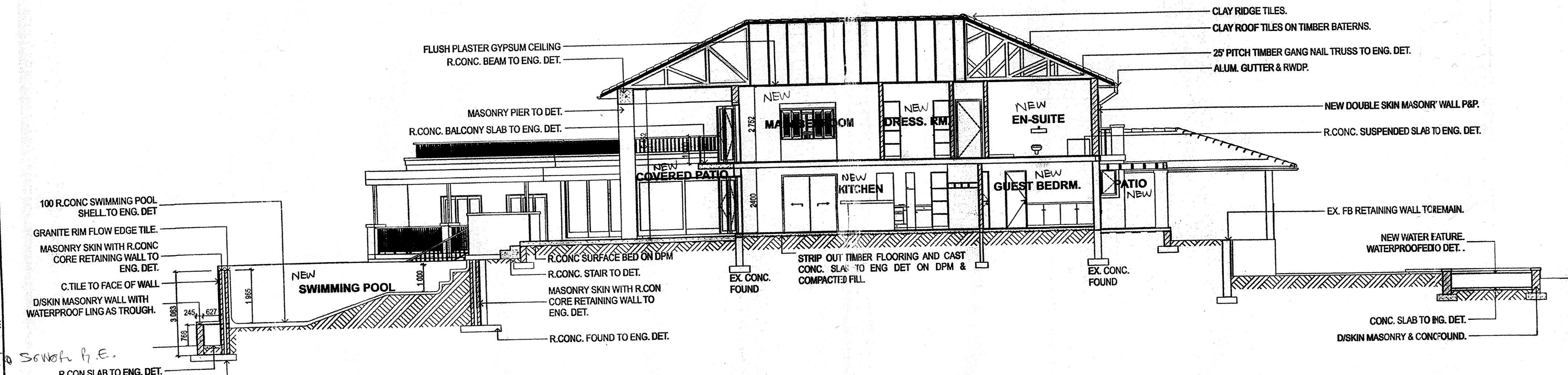
NOTE: ALL ROOF STRUCTURES TO ENG DETAIL



North East Elevation 1:100



Section B-B 1:100



Section A-A 1:100

APPLICATION IN PRINCIPLE  
No. PA 936/2013  
SHEET: 6/9

ETHEKWINI MUNICIPALITY  
LAND USE MANAGEMENT-CENTRAL REGIONAL OFFICE  
GRANTED N/C  
NAME: ...  
SIGNATURE: ...  
DATE: ...

SHEET 6/9 COPY 2/1  
ETHEKWINI MUNICIPALITY (CENTRAL)  
No. 102 09 13  
APPLICATION NO.

BUILDING APPLICATION  
APPROVED in terms Sec. 7 of The National Building Regulations and Building Standards Act No. 103/1977  
2014-03-31  
DATE: ...  
LOCAL AUTHORITY: ...

IYER  
URBAN DESIGN STUDIO

Client: Mr. & Mrs S. Govender  
Job Title: Proposed Alterations & additions to Existing Dwelling  
Address: 351 Marine Drive, Bluff  
Site Description: Portion 54 of ERF 81 Bluff  
Rato Number: #Custom 3  
Drawing Name: Elevations & Sections 2 of 2  
Drawing Status: Sketch Design Option 5  
Drawing by: E.F. Huizinga  
Checked by: E.F. Huizinga  
Drawing Scale: 1:100  
Project No: ...  
Drawing No: ...  
Revision: ...

GOV SUB-6