

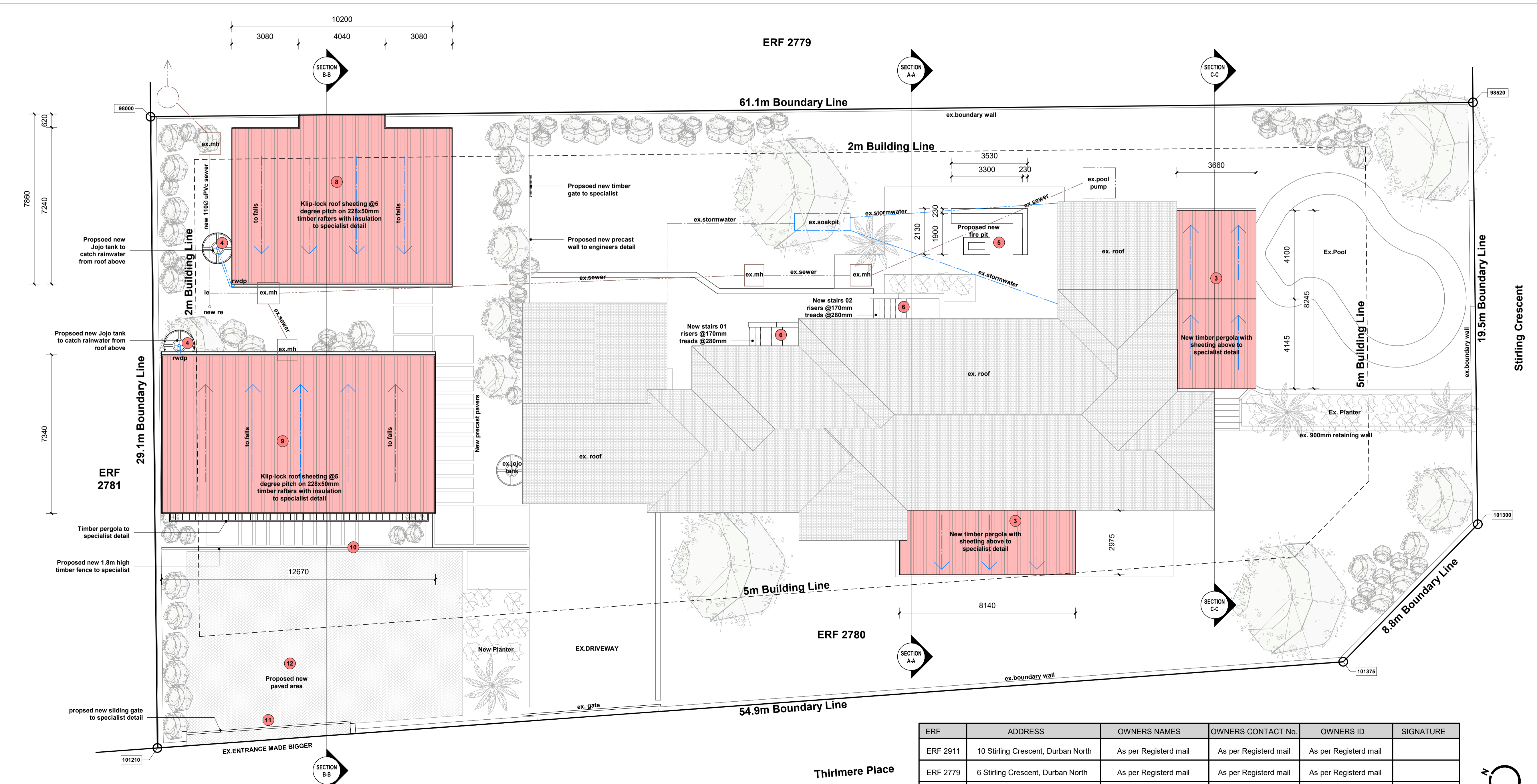
- 01_GENERAL NOTES AND FINISHES:**
- All work to comply with NBR & standards act SANS 10400. All dimensions & levels must be checked on site.
 - Architects to be notified of any discrepancies before any work is put in hand.
 - Drawings not to be scaled.
 - Corner beams to be located & exposed before work commences on site.
 - Contractor to inspect official Council approved copies of drawings to ensure that all amendments have been taken into account.
 - No council approved drawings are to be used as construction drawing unless advised by architect.
 - The Owner & Contractor are to note that changes to the plans and/or specifications after official council approval WILL invalidate the approval. No construction is to occur until plans have local authority approval.
 - Architect will not be held liable for any unauthorized building commencement.
 - Safety glass to be used within 500mm of finished floor levels.
 - Shower cubicle: Flat frameless glass shower enclosure.
 - Clear 6mm toughened safety glass installed by specialist.
 - Glazing to comply with SANS 10400 PART. N4.4.6
 - Max door size = 1.5sqm. Max fixed panel size = 2sqm
 - All internal walls are generally plastered and painted Two courses brickface (minimum) to be built-in at window & door head levels & at window sill levels where possible.
 - Cills external: All Cills plaster & painted with a min fall of 10°
 - Balustrades: Where shown, all balustrades powder coated aluminium (to later design) min 1m high and to have openings that will not permit the passage of a 100e ball
- 02_DRAINAGE:**
- Provide deep seal traps to all fittings.
 - Provide I.E.'s to all bends & junctions of all soil and waste pipes.
 - All plumbing to be concealed.
 - All I.E.'s to be accessible at all times.
 - Access to be provided 150mm above ground level to feet of all stacks.
 - 100a and 50e two-way vent valves to be provided where possible.
 - Soil pipes to be 100mm dia. PVC with coreflo UPVC pipe under slabs where indicated.
 - Waste pipes to be 50mm dia PVC.
 - Floors to bathrooms and kitchens to be water-resistant.
 - Provide hot & cold water to wash hand basins, sinks, showers & baths.
 - Provide RE at all junctions and on straight runs not exceeding 21m
 - Provide RE's at dist. not exceeding 1.5m to any MH.
 - Sewer pipe fall to be decreased to 1:60 at a distance of 1m from any MH (only where no estate connection facilities have been provided) or S.T. Connection to estate sewer main provided - depth of connection to be checked on site.

- 03_WATER RETICULATION:**
- All underground piping to be HDPE.
 - All surface & internal piping to be copper.
 - Main contractor to make good behind plumber.
 - All internal water pipes to be pressure tested for leaks before applying finished plaster & paint for tiles.
 - Installation to be done in accordance with requirements of local authority and SANS 10254-1, SANS 10400 & SANS 10254-2012
 - All material used to be SABS approved and installed in accordance with manufacturer's specification. Design based on minimum sustainable pressure of 5.0 bar NB: Pressure MUST be checked by a plumbing contractor prior to commencement of work. Plumbing contractor to be approved and licensed with P.R.B and to issue a signed Certificate of Compliance on completion of work.
- 04_STORMWATER LAYOUT:**
- Stormwater layout to Prof. Engineer's design.
 - Layout to building & site to comply with NBR & SANS 10400 Part R.
 - Stormwater to discharge away from building(s) by means of precast concrete channels, surface drains or underground PVC pipes to soak pits.
 - All soakways constructed in RC and to have a min capacity of 1cubic metre for every 40sqm of roof area.
 - Hard surfaces: Contractor to ensure correct levelling of platform for natural water run-off.
 - Storm water layout for building and site to be designed by a Professional Engineer, and to comply with NBR and SANS 10400 Part R. No structure to be within 3m of building
- 05_ELECTRICAL:**
- Unless the application of a rational assessment is required, the building is to comply with the maximum energy usage as required by SANS 204:2011 Part 4.5.1 where the energy demand and power consumption of the building may not exceed 5 kWh/m2 per annum.
- 06_LIGHTING, NATURAL LIGHTING AND VENTILATION:**
- The minimum lighting levels shall be determined in accordance with the requirements of SANS 10114-1
 - All natural lighting and ventilation as per SANS10400-O
 - Natural Lighting - The total area of openings, inclusive of frames and glazing bars, shall be not less than 5% of the floor area of the room.
 - Natural Ventilation - The total area of openings (a door or operable glazed window) shall be not less than 5% of the floor area of the room.
- 07_FIRE:**
- structural stability to comply with sans 10400 part 4.7
 - all opening to protect in compliance with part 4.4.10 of sans 10400
 - portable fire extinguisher to comply with sans 10400-4.3.7
 - water reticulation for firefighting equipment purposes to comply with sans 10400-4.3.3
 - building to comply with part 4.12 of sans 10400 with regards to roof assemblies and coverings

- 08_FIRE DETECTION AND ALARM SYSTEMS:**
- all fire detection and alarm systems to be designed by a professional engineer to comply with part 4.31 of sans 10400 and a certificate to be issued after completion
 - all ceilings to comply with sans 10400 4.4.13
 - all floor covering to comply with part 4.4.14 of sans 10400
 - feeder routes to be provided in accordance with part 4.18 of sans 10400 when partition layouts are designed
 - fire stopping of inaccessible concealed spaces to comply with part 4.39 of sans 10400
 - service shafts to comply with part 4.40 of sans 10400
 - fireman lift to be provided in accordance with part 4.44 4.46 and 4.47 of sans 10400
 - all lifts to comply with part 4.46 and part 4 of sans 10400
 - access for firefighting and rescue purposes to building to comply with sans 10400 part 4.54
 - fire escape doors to be provided with approved panic bolts and to comply with part 4.49.8 of sans 10400
 - fire to be placed every 500m² of floor area and to comply with sans 10400 part 4.34
 - marking and signposting to comply with part 4.29 of sans 10400
 - where no water supply is available 2 3kg or equivalent fire extinguishers that comply with part 4.4.57, be provided in place of each required hose reel
 - all fire installation pipe work shall be constructed in accordance with relevant requirements of sans 2011-dp2 or sans 2001-dp9 and shall have a pressure rating of no less than 1200kpa
 - water supply pipes to fnr's shall be at 60 dia and fnr's 75 diam.
- 08_ENERGY EFFICIENCY (SANS 10400 PART XA):**
- Buildings with up to 15% fenestration area to net floor area per storey comply with minimum energy performance requirements (SANS10400-XA Clause 4.4.1).
 - Buildings with more than 15% fenestration area to net floor area per storey shall comply with minimum energy performance requirements for fenestration in accordance with SANS204 (SANS10400-XA Clause 4.4.2).
 - All fenestration air leakage shall not exceed 2L/s/m² fenestration area; 0.306 L/s/m² fixed glazing; and 5L/s/m² revolving/swing doors in accordance with SANS 613 Clause 4.4 and SANS10400-XA Clause 4.4.11
 - 50% of hot water required by volume to be provided through non-electrical resistance source in accordance with SANS10400-XA Clause 4.1. (heat pump & system to specialist detail & spec.)
 - All exposed hot water piping to be clad with insulation with a minimum R value of 1.00 for internal pipe Ø meters <= 80 and 1.50 for internal pipe Ø meters > 80 in accordance with SANS10400-XA Clause 4.1.3.
 - The hot water circulation ring must be installed such that no air traps are created in accordance with SANS 10252:1 (6.7.2).
 - Piping to be copper SANS 460 joined either using capillary fittings, SANS 1067-2 or compression type fittings SANS 1067-1. To be installed to manufacturer's instructions
 - A roof assembly shall achieve minimum total R-value specified in Table 7 for the direction of heat flow (SANS10400-XA Clause 4.4.5.1).
- 09_POOL NOTES:**
- All levels & dimensions to be checked on site.
 - Earth leakage protection to be fitted to all electrical equipment.
 - All electrical equipment to be housed.
 - Precautions to be taken with regard to condensation, flooding, seepage, & rainwater within pool pump chamber & filter unit.
 - 100mm gunite concrete to be monolithically & pneumatically placed against undisturbed soil, or any firm surface as directed by engineer.
 - 12mm minimum cover to all reinforcing.
 - Waste water to be directed to sewer system via bpt.
 - Final position of pool & pump to be confirmed on site.
 - Pool to be constructed & installed to manufacturer's instructions.
 - Pool to be fenced in accordance with sans 10400-d : 2011-4.4 1000mm high balustrading to owners specification.
 - Pool backwash to be discharged in accordance with the requirements of SANS 10400 Part P.4.10
- 10_STRUCTURAL-GENERAL:**
- Timber beams and supports for timber decks, pergolas, covered patios or any other timber structure to be certified by ECSA registered professional engineer.
 - All pools to be inspected, designed and certified ECSA registered professional engineer.
 - Patios with concrete surfaces to have masonry foundations and RC footings to engineer's specification
 - Summary: All structures to be designed and certified by an ECSA registered professional engineer.
- 11_STRUCTURAL-FOUNDATIONS:**
- All platforms, banks, retaining walls & foundations to Prof. Engineer's details.
 - Stability of existing foundations & site founding material to be inspected and confirmed by Prof. Structural Engineer.
- 12_STRUCTURAL-FLOOR SLABS:**
- To Prof. Engineer's design & detail.
 - 20mm cement screed on 90mm 150MPa Concrete slab with BRC mesh ref 193 and gunplax USB green waterproof underlayment on well compacted poisoned earth.
 - Suspended slab - 225mm Reinforced concrete slab to engineer's detail and screeded to fall.
 - Waterproofing by specialist to balcony/covered patio.
 - Waterproofing under floor finish to all exposed balconies & showers.
- 13_STRUCTURAL-DPC:**
- 75 micron plastic DPC at minimum 150mm above external finished ground level, to all window sills, behind weather-boarding, under ridge tiles and vertical DPC's to all changes in ground floor level.
- 14_STRUCTURAL-WALLS:**
- External walls 220mm (90mm common outer skin / 40mm cavity / 90mm inner skin with plaster and paint finish.)

- 15_STRUCTURAL-ROOF CONSTRUCTION:**
- Internal walls 90mm maxi brick. Plaster and paint finish.
 - 2 courses of brickface at floor, window sill and brickforce at every course at lintel to wall plate level.
 - Pre-cast reinforced concrete lintels over all doors, windows & openings unless otherwise specified.
- 16_STRUCTURAL-CEILING CONSTRUCTION:**
- New Rhinoboard ceiling - 6mm gypsum Rhinoboard taper edge flush jointed, supported on 38x38 brandering @ ±500ccs with tapered & skimmed flush Rhinoglide joints. All fixings skimmed flush.
 - 110mm deep moulded E.P. cornice throughout.
 - Void between boarding & tile to be lined with silsilation
 - Painted & plastered soffits and underside of RC slabs.
 - White-painted T&G boarding ceilings over exposed, painted rafters where indicated.
- 17_STRUCTURAL-DOORS:**
- Solid core hardwood doors to detail.
 - Solid core hardwood slatted pivot door to detail.
 - Semi-solid core doors to detail.
 - Powder-coated aluminium-framed, safety-glazed sliding doors. Frameless aluminium sliding/folding doors by specialist.
- 18_STRUCTURAL-WINDOWS:**
- Powder-coated aluminium framed windows as per Estate Architectural guidelines.
- 19_STRUCTURAL-STAIRS AND RAMPS:**
- All stairways to comply with part M of SANS 10400.
 - Variations in dimensions of risers and goings of the treads in any one flight shall not be more than 6mm. all balustrades to be min 1M high and to comply with part M of SANS 10400
 - All tread to min 250mm and risers to be max 200mm.
 - All ramps to comply with part S of SANS 10400.
- 20_STRUCTURAL-SPACE HEATING:**
- Chimney to extend min 1000mm above roof level.
 - Plumbing duct & chimney flue to be independent of one another.
 - Fireplace to have hearth made of non-combustible material of adequate thickness.
 - Hearth to extend min 500mm in front of the grate/fire basket and min 300mm beyond each side of such grate or fire basket.
 - Gas feature fire places to specialist detail & spec.

NO.	REVISION DESCRIPTION	DATE
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2	New wall added	06.12.2022
3	New timber pergola with aluminium sheeting above added	06.12.2022
4	New Jojo tank added	06.12.2022
5	New fire pit added	06.12.2022
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10	New timber entrance added	06.12.2022
11	Existing entrance gate made bigger	06.12.2022
12	New paving added	06.12.2022
13	New timber pergola added	06.12.2022



Owner: IRVIN DRAAI & SHANELLE DRAAI

Architect: GARETH MORAN SACAP: PSAT51693610

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DRAWING TITLE:
SITE PLAN

PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING DWELLING & PROPOSED NEW STAFF QUARTERS & PRIVATE GYM

FOR:
IRVIN DRAAI & SHANELLE DRAAI

ERF NUMBER:
ERF 2780

STREET ADDRESS:
8 STIRLING CRESCENT

JOB NO.	DRAWING NO.
	- 100

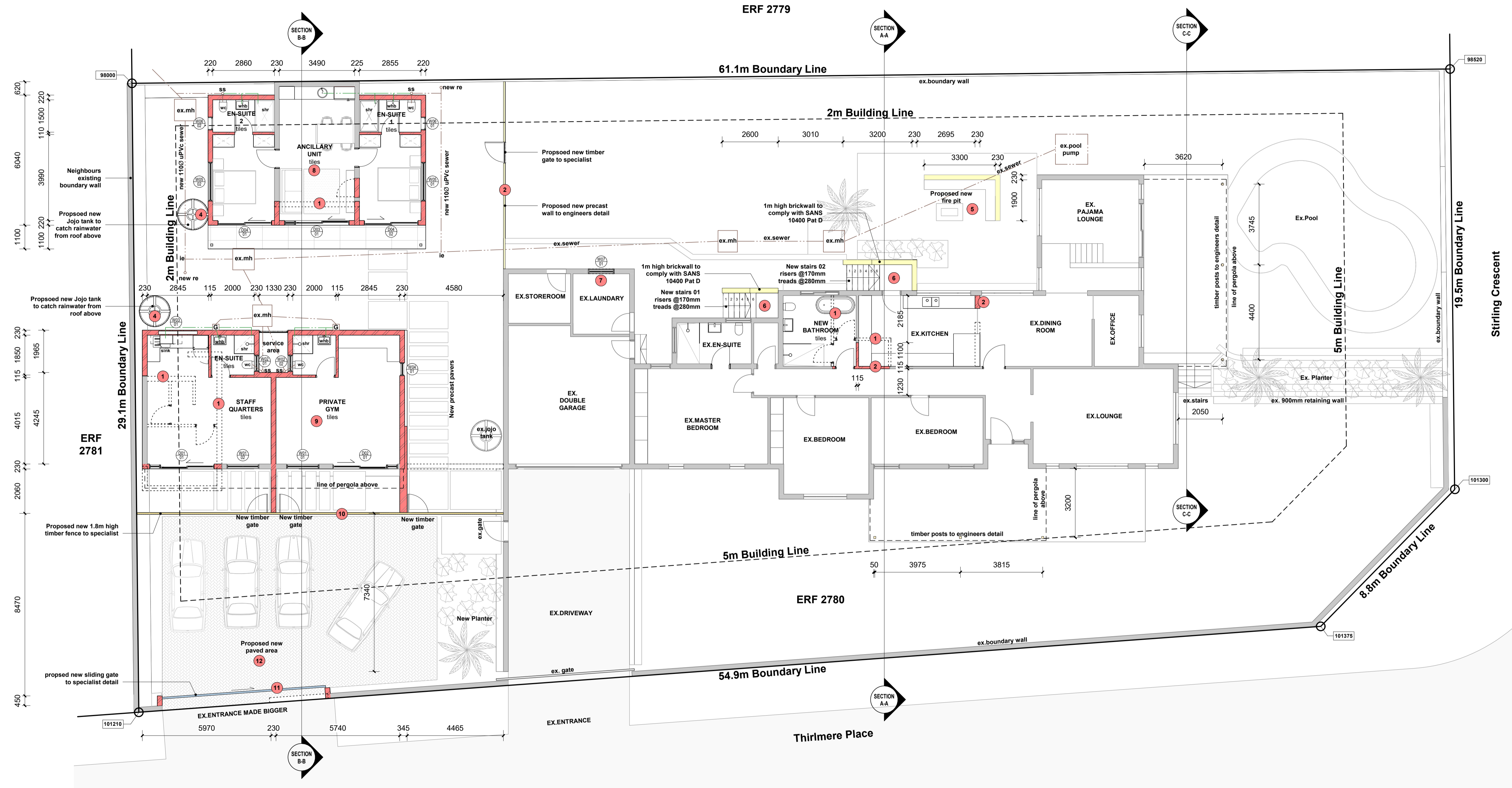
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ERF 2781	2 Thirlmere Place, Durban North	As per Registered mail	As per Registered mail	As per Registered mail	

EMAIL: tagdraughting@gmail.com
TEL: 079 687 5555

SCHEDULE OF AREAS	
ZONING	Special Residential 1200
SITE AREA	1657m ²
F.A.R.	N/A
ALLOWABLE F.A.R.	N/Am ²
COVERAGE	40%
ALLOWABLE COVERAGE	662.8m ²
EXISTING F.A.R.	232.2m ²
NEW F.A.R. - STAFF QUARTERS & GYM	(38m ²) 76m ²
NEW F.A.R. - ANCILLARY UNIT	63.4m ²
TOTAL F.A.R.	371.6m ²
EXISTING COVERAGE	347.08m ²
NEW COVERAGE- STAFF QUARTERS & GYM	78m ²
NEW COVERAGE- ANCILLARY UNIT	82.1m ²
TOTAL COVERAGE	507.18m ²

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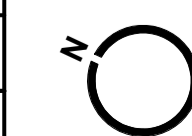
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DRAWING TITLE:
GROUND FLOOR
 PROJECT:
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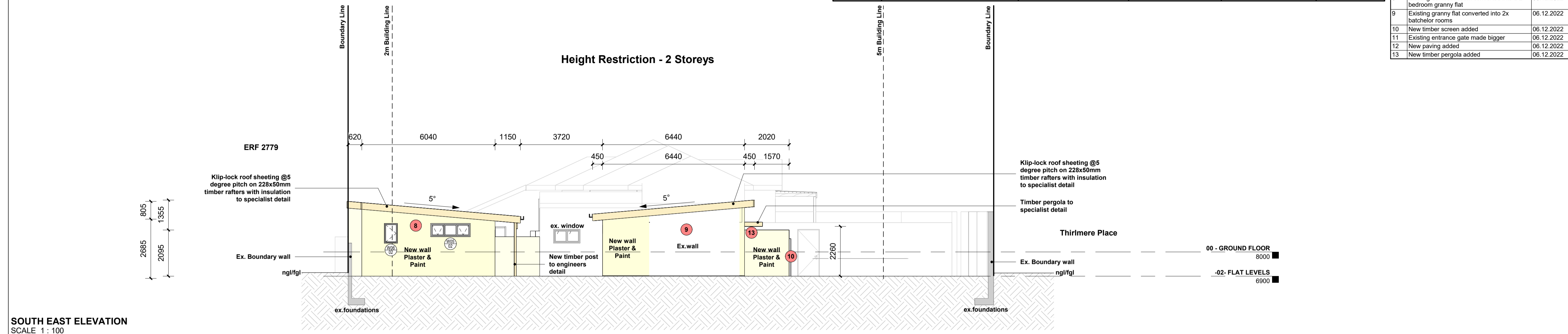
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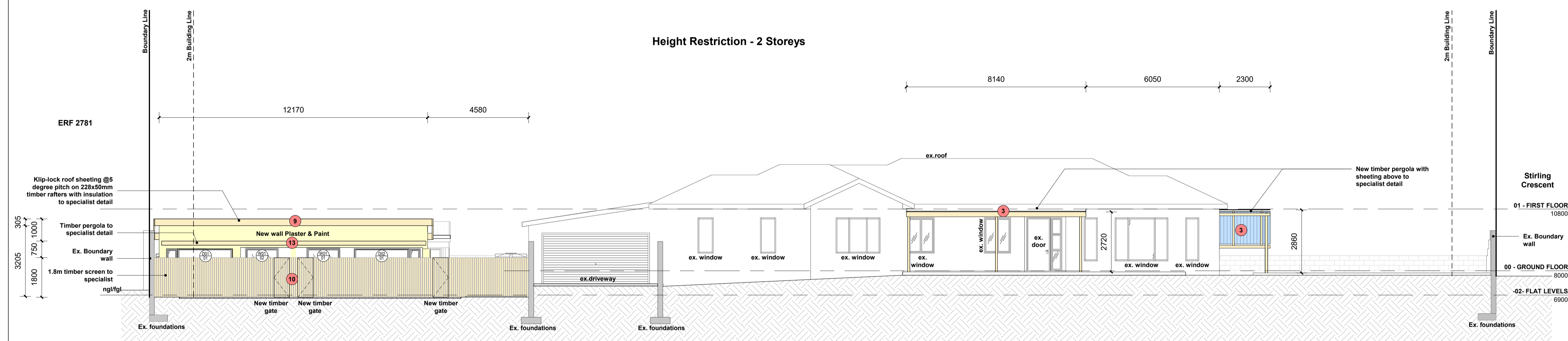


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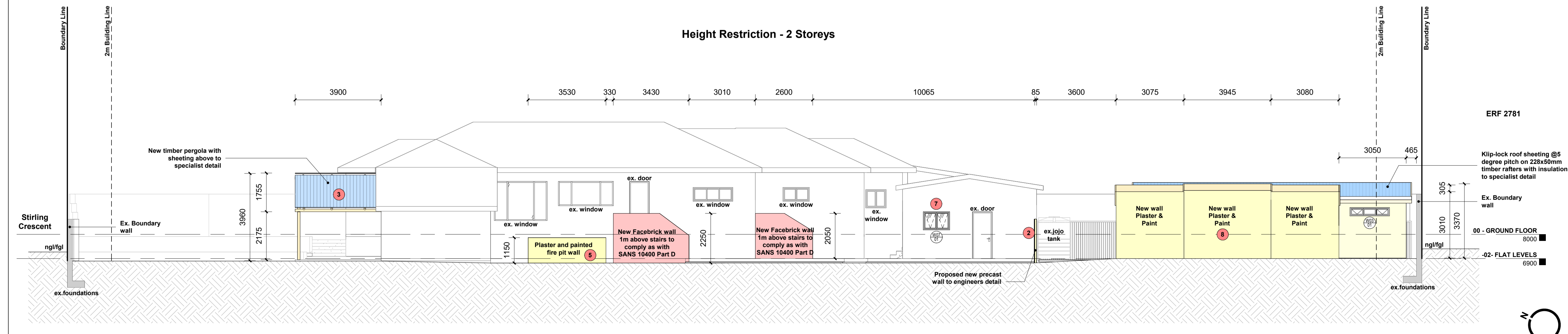
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SOUTH EAST ELEVATION
SCALE 1 : 100



NORTH EAST ELEVATION
SCALE 1 : 100



SOUTH WEST ELEVATION
SCALE 1 : 100

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Architect: GARETH MORAN SACAP: PSAT51693610

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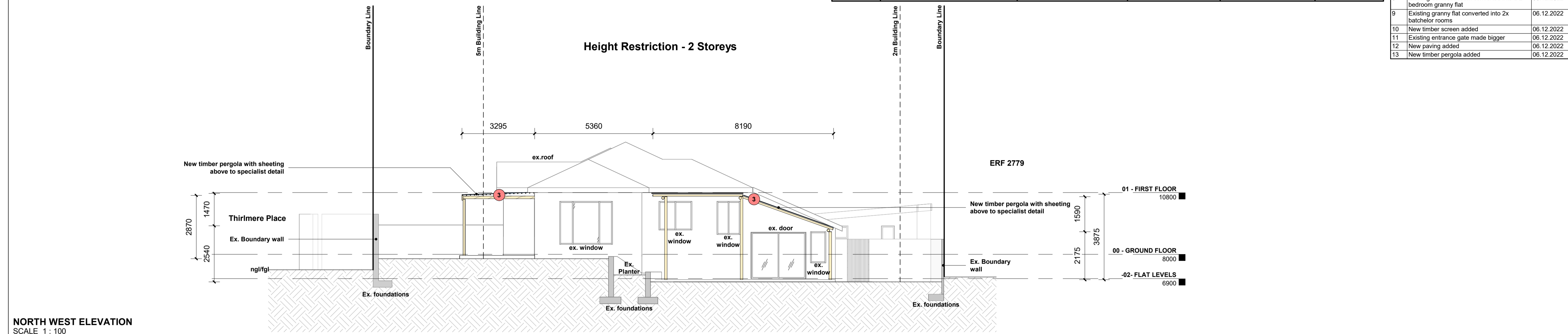
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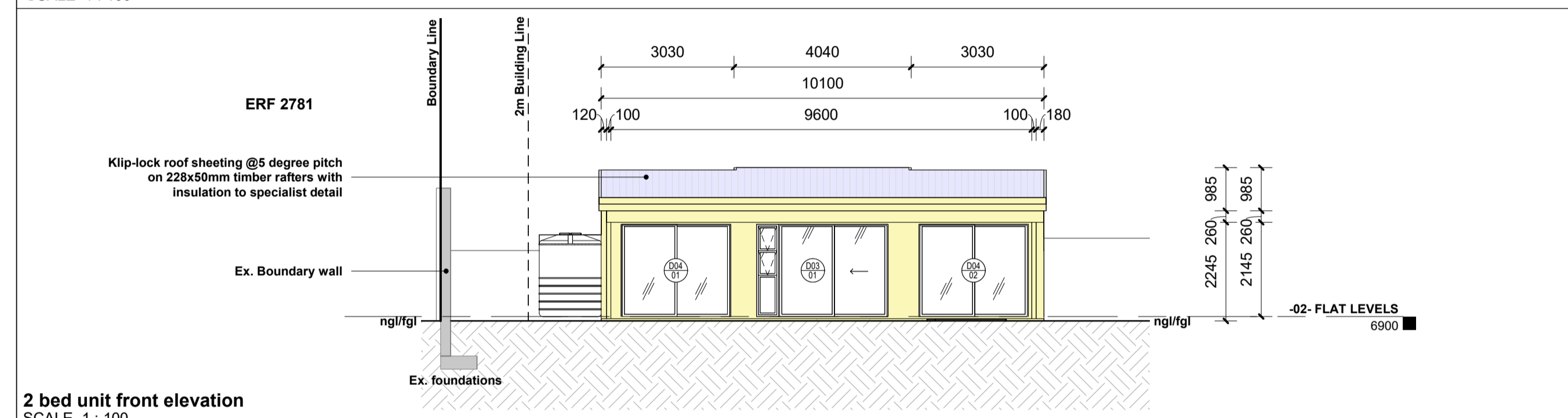
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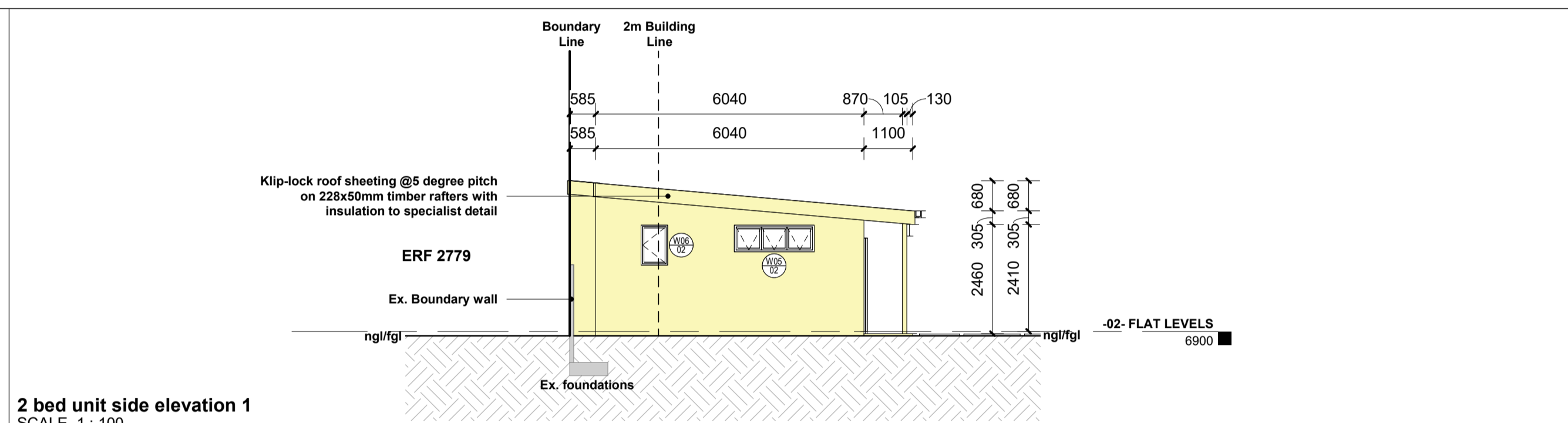
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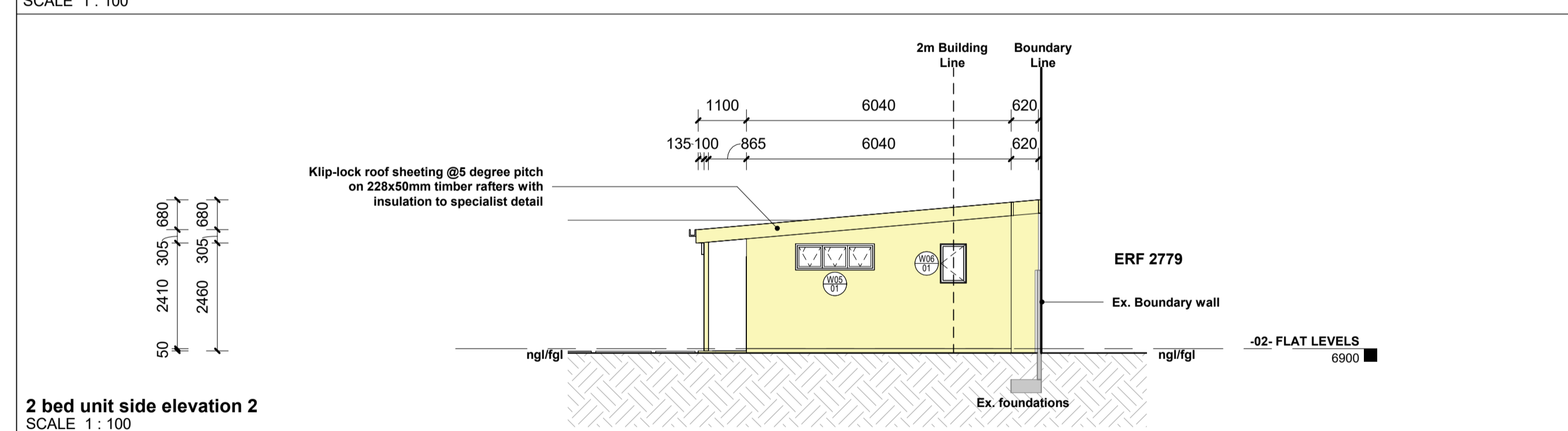
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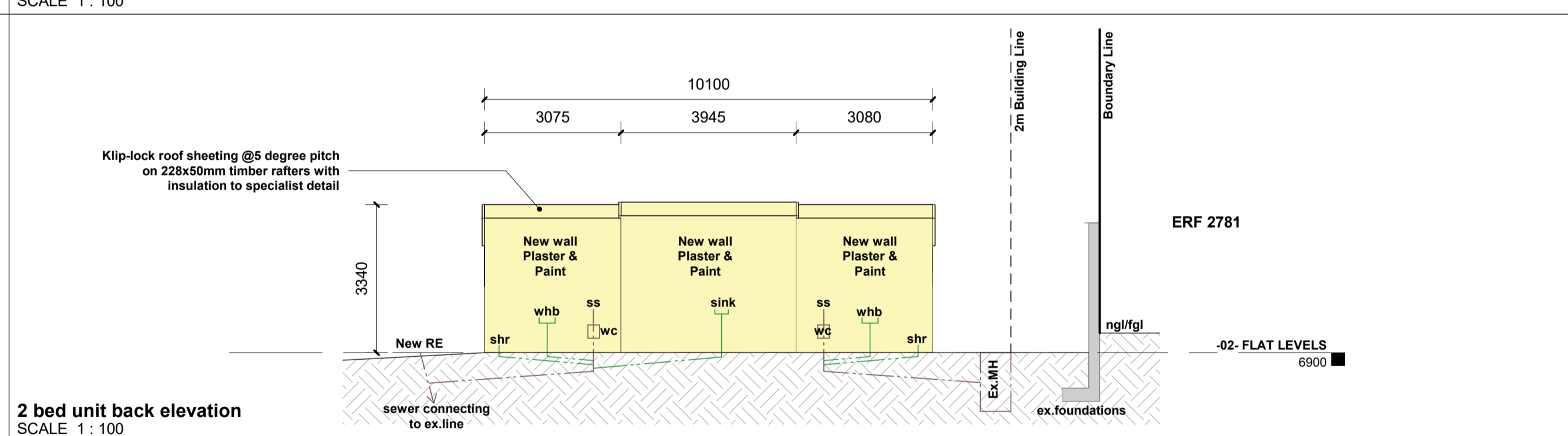
2 bed unit front elevation
SCALE 1 : 100



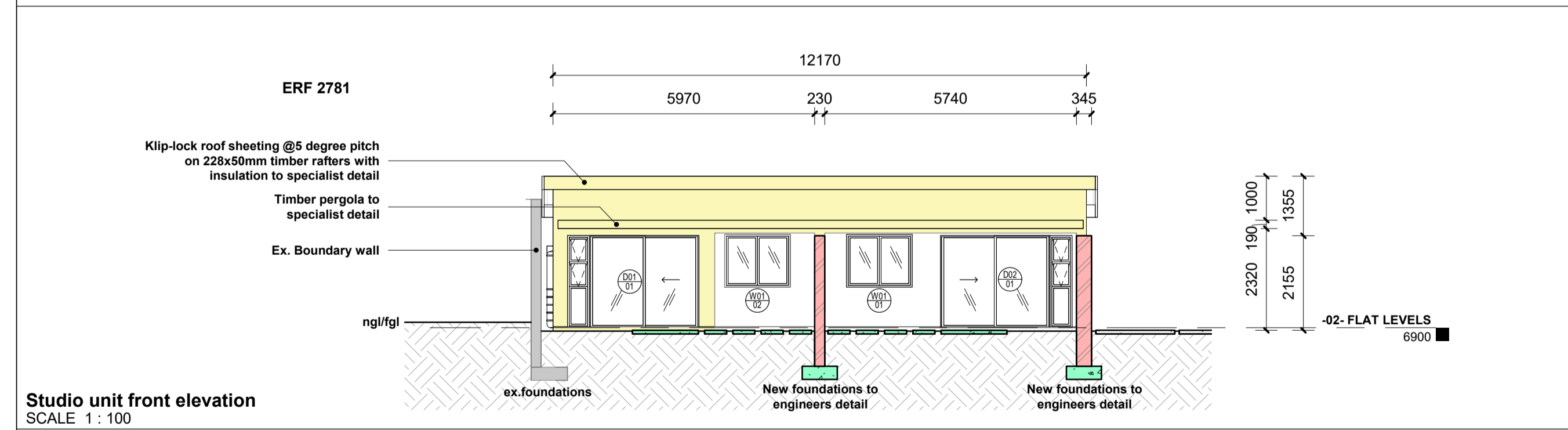
2 bed unit side elevation 1
SCALE 1 : 100



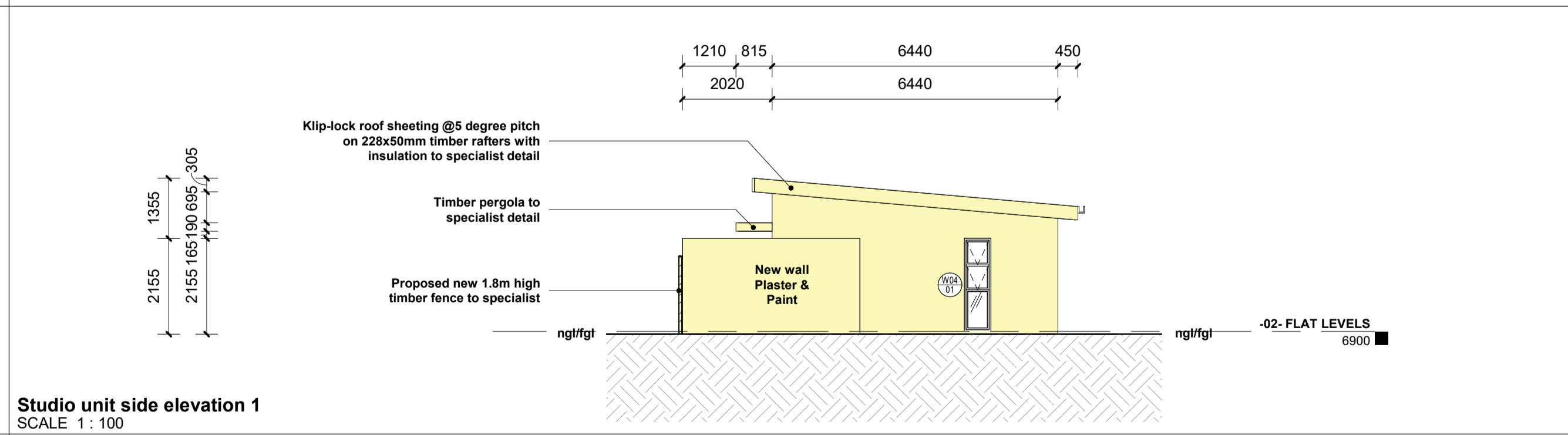
2 bed unit side elevation 2
SCALE 1 : 100



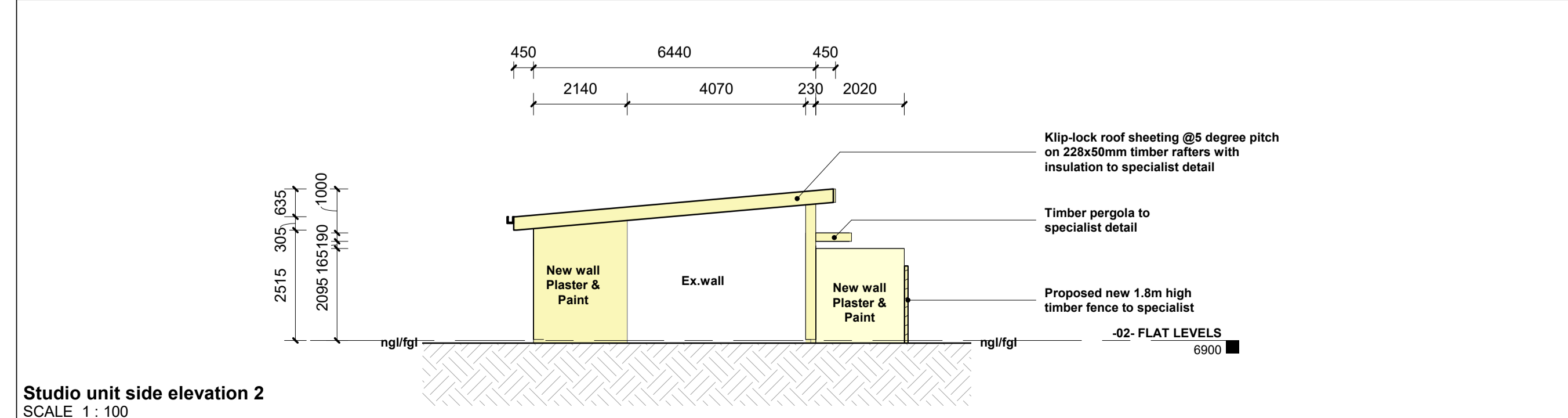
2 bed unit back elevation
SCALE 1 : 100



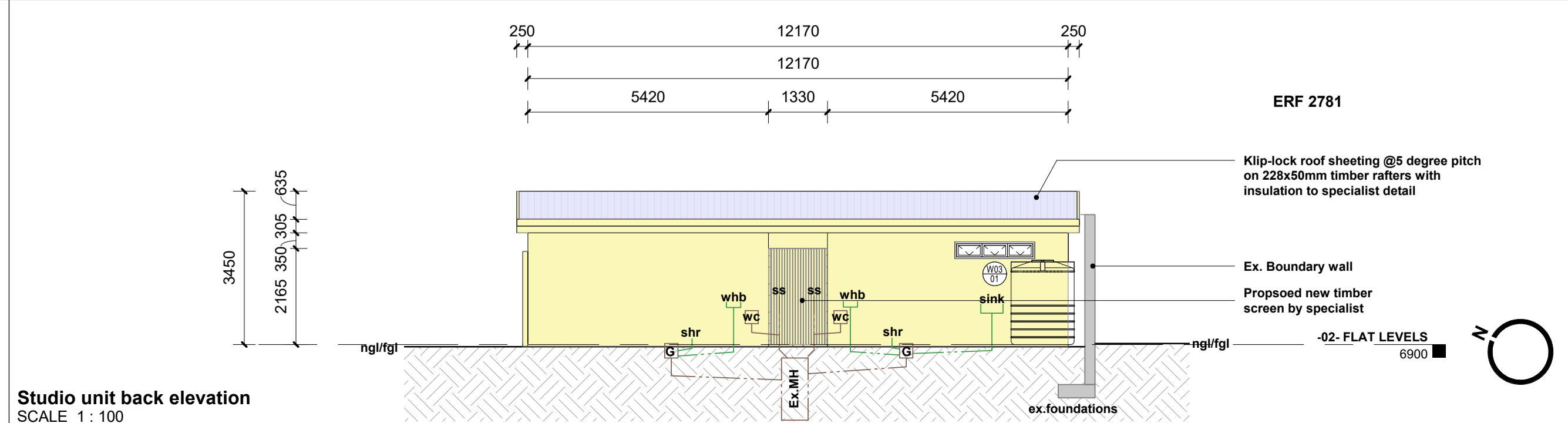
Studio unit front elevation
SCALE 1 : 100



Studio unit side elevation 1
SCALE 1 : 100



Studio unit side elevation 2
SCALE 1 : 100



Studio unit back elevation
SCALE 1 : 100

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Architect: GARETH MORAN SACAP: PSAT51693610

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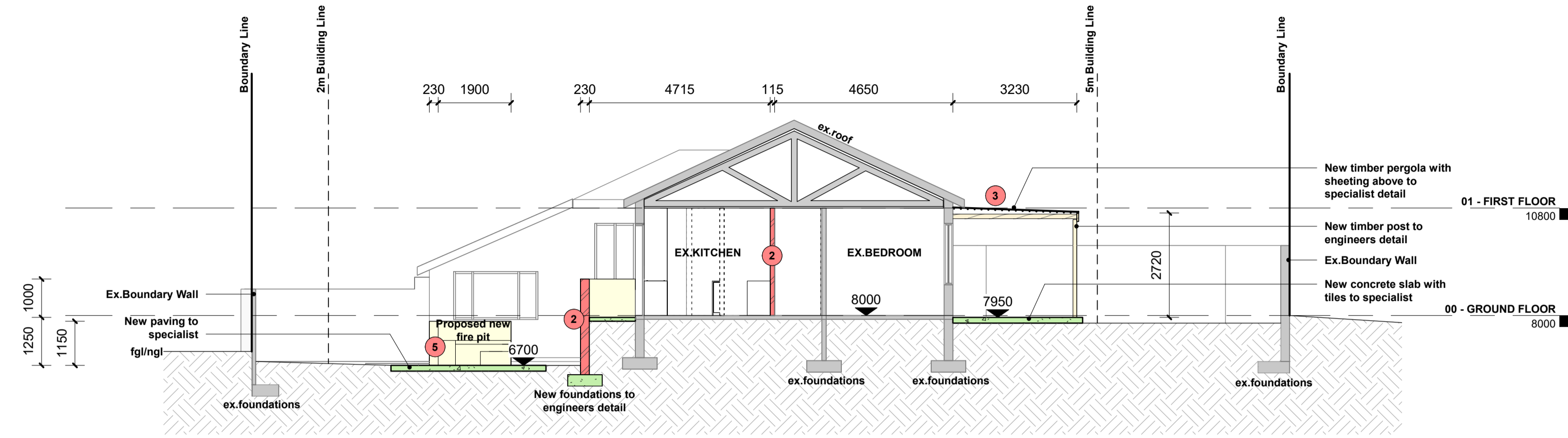
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IRVIN DRAAI & SHANELLE DRAAI
ERF NUMBER:
ERF 2780
STREET ADDRESS:
8 STIRLING CRESCENT

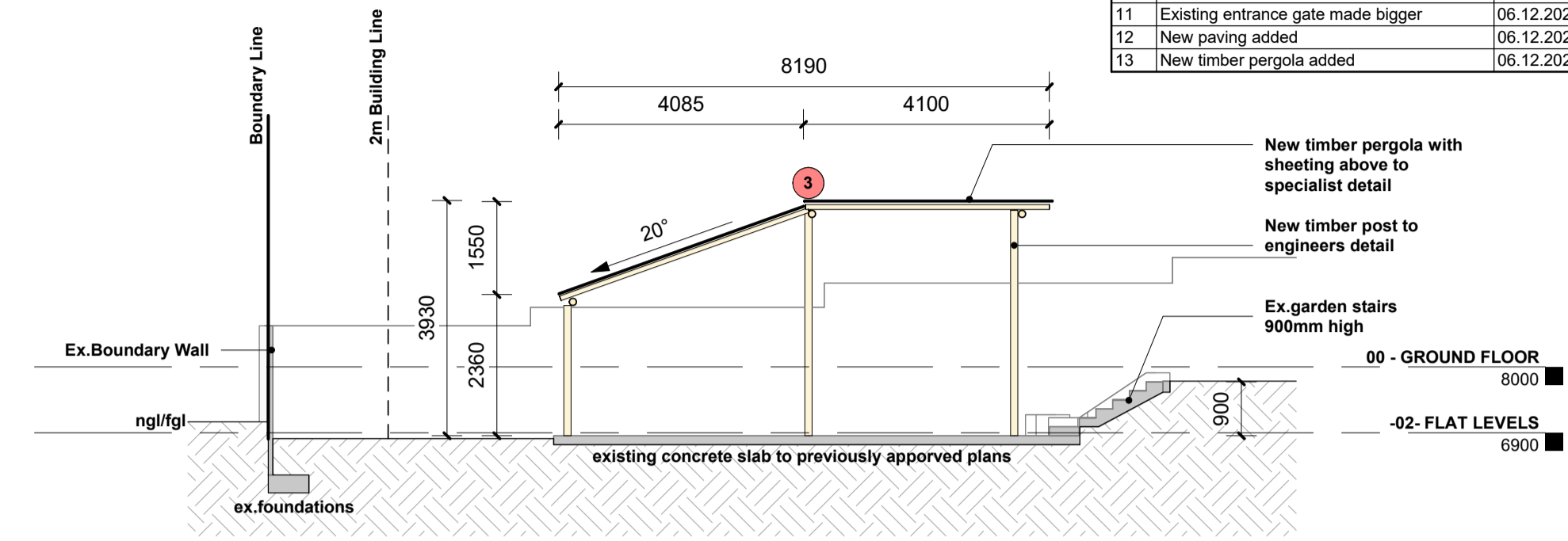
JOB NO.	DRAWING NO.
DATE	SCALE
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	TDI

R.A.D.

EMAIL: ragdraughting@gmail.com
TEL: 079 667 5555

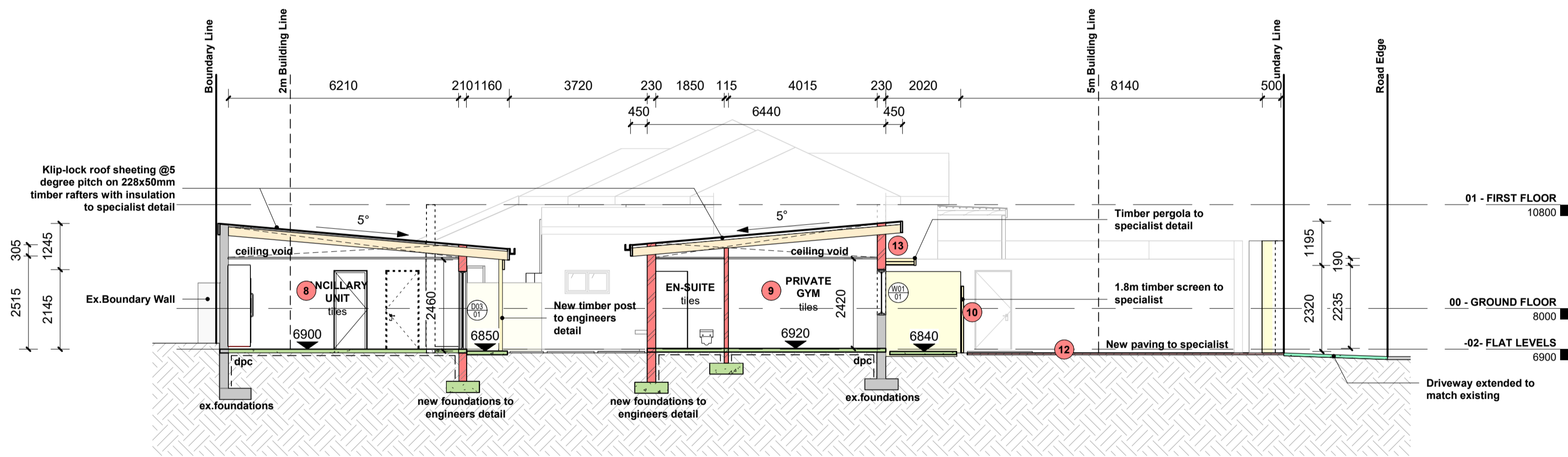


SECTION A-A
SCALE 1 : 100



SECTION C-C
SCALE 1 : 100

NO.	REVISION DESCRIPTION	DATE
1	Existing wall demolished	06.12.2022
2	New wall added	06.12.2022
3	New timber pergola with aluminium sheeting above added	06.12.2022
4	New Jojo tank added	06.12.2022
5	New fire pit added	06.12.2022
6	New stairs added	06.12.2022
7	New window added	06.12.2022
8	Existing domestic room converted into a 2 bedroom granny flat	06.12.2022
9	Existing granny flat converted into 2x bachelor rooms	06.12.2022
10	New timber screen added	06.12.2022
11	Existing entrance gate made bigger	06.12.2022
12	New paving added	06.12.2022
13	New timber pergola added	06.12.2022



SECTION B-B
SCALE 1 : 100

Owner: IRVIN DRAAI & SHANELLE DRAAI

Architect: GARETH MORAN SACAP: PSAT51693610

NOTES
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DRAWING TITLE:
SECTIONS

PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS
TO EXISTING DWELLING & PROPOSED
NEW STAFF QUARTERS & PRIVATE GYM

FOR:
IRVIN DRAAI & SHANELLE DRAAI

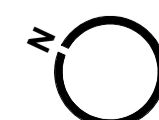
ERF NUMBER:
ERF 2780

STREET ADDRESS:
8 STIRLING CRESCENT

JOB NO. DRAWING NO.
- 301

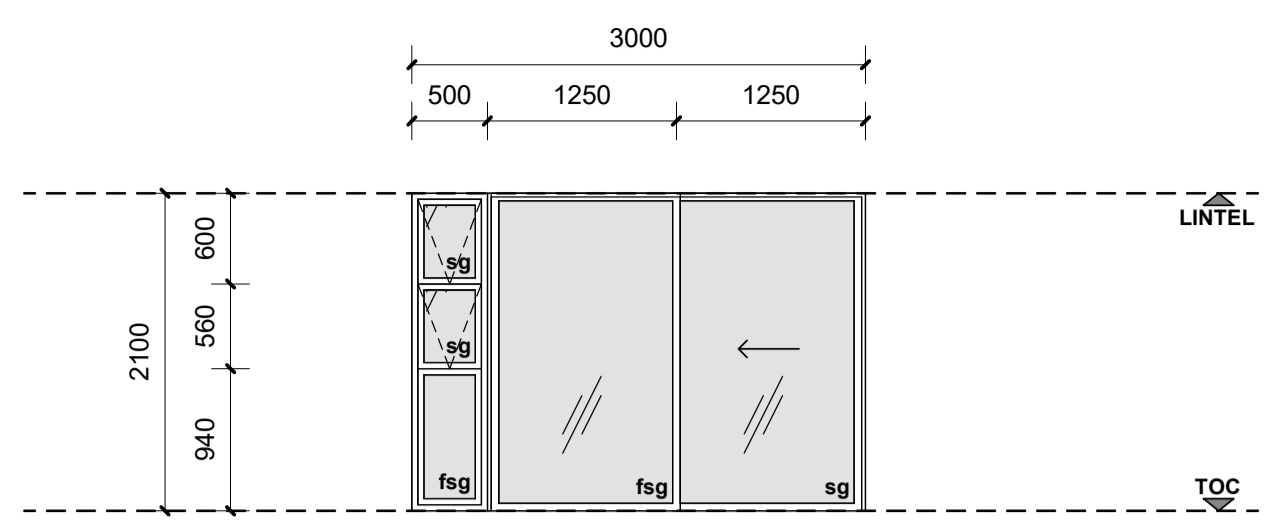
DATE SCALE DRAWN BY
1 : 100 TDT

ERF	ADDRESS	OWNERS NAMES	OWNERS CONTACT No.	OWNERS ID	SIGNATURE
ERF 2911	10 Stirling Crescent, Durban North	As per Registerd mail	As per Registerd mail	As per Registerd mail	
ERF 2779	6 Stirling Crescent, Durban North	As per Registerd mail	As per Registerd mail	As per Registerd mail	
ERF 2781	2 Thirlmere Place, Durban North	As per Registerd mail	As per Registerd mail	As per Registerd mail	

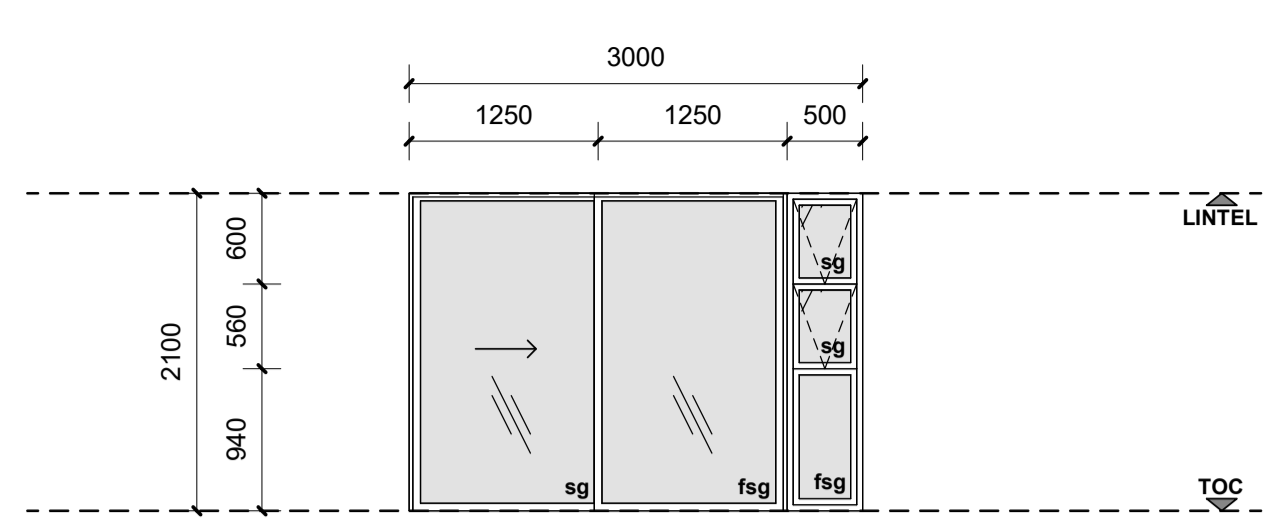


R.A.D.

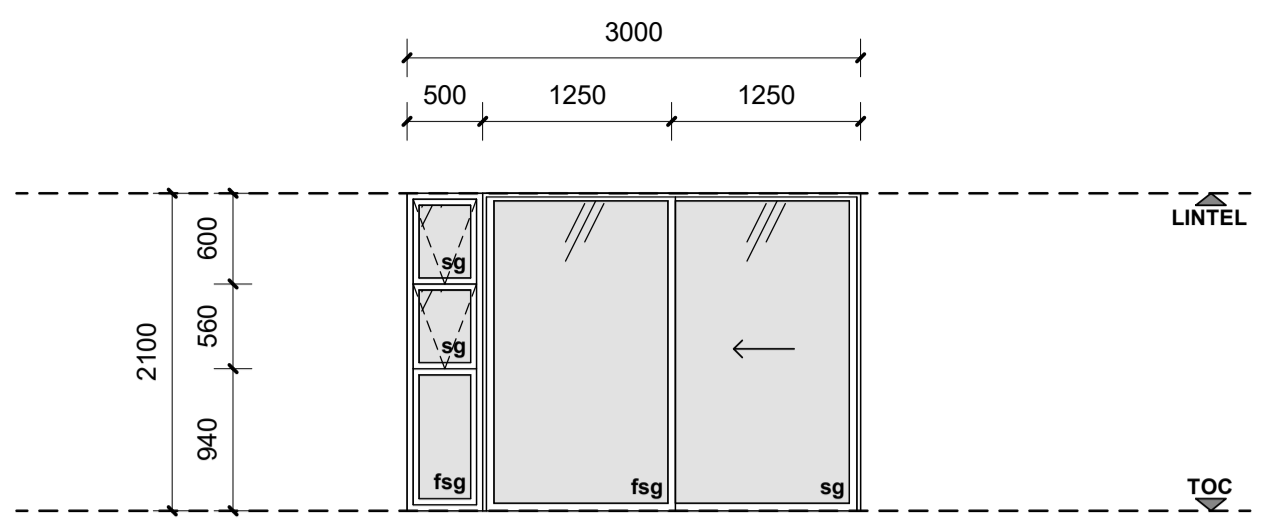
EMAIL: ragdraughting@gmail.com
TEL: 079 667 5555



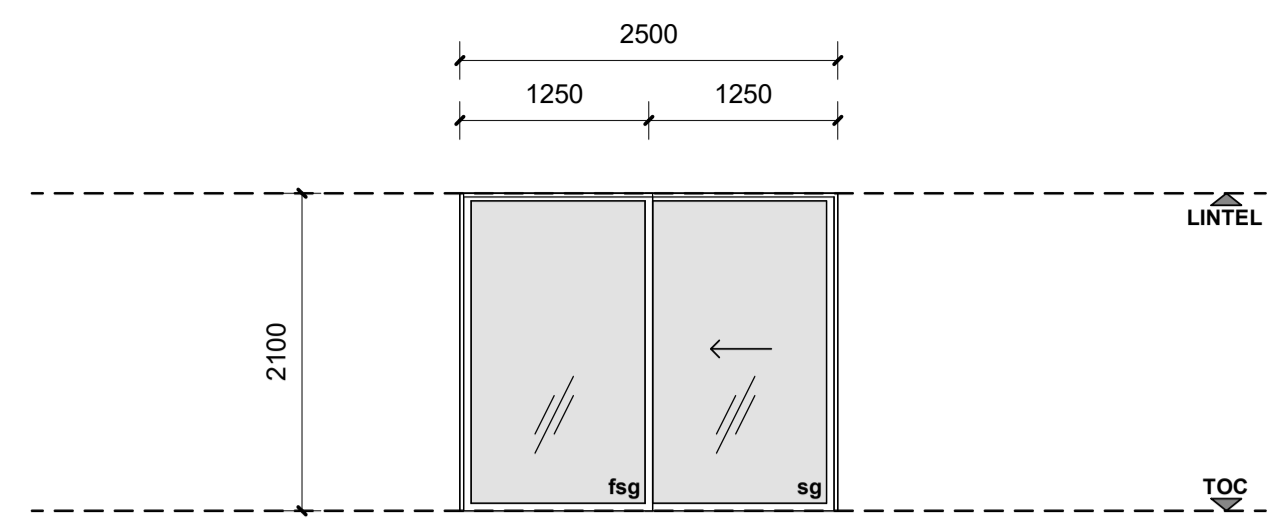
TYPE	D01
DESCRIPTION	
FRAME	
FINISH	
GLAZING	
IRONMONGERY	
MIN PANE THICKNESS	
QUANTITY	1
LOCATION	Studio 2



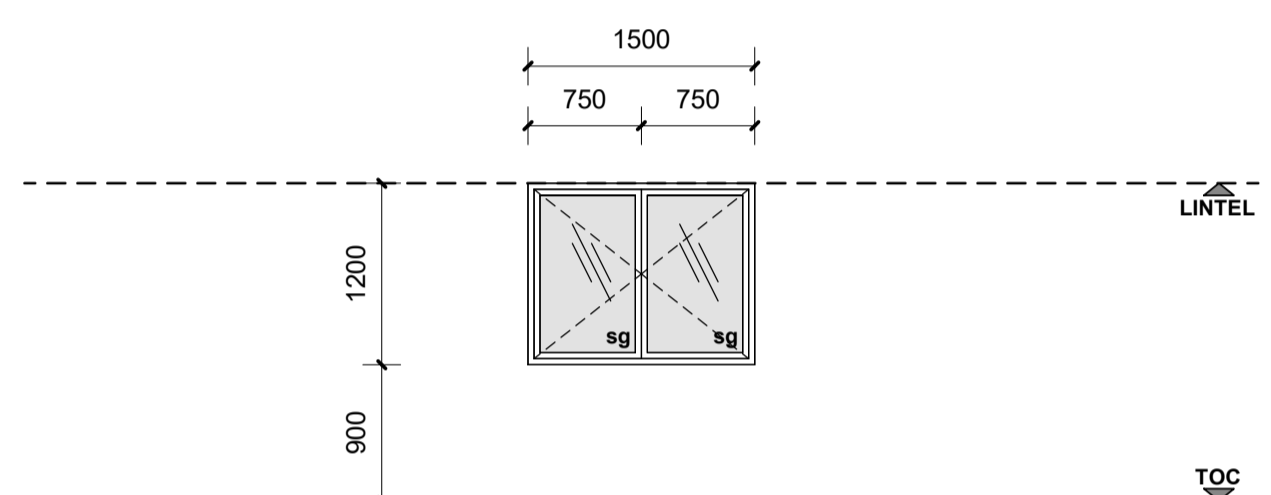
TYPE	D02
DESCRIPTION	Aluminium framed sliding door with vertical top hung windows to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	1
LOCATION	GF- Studio 1



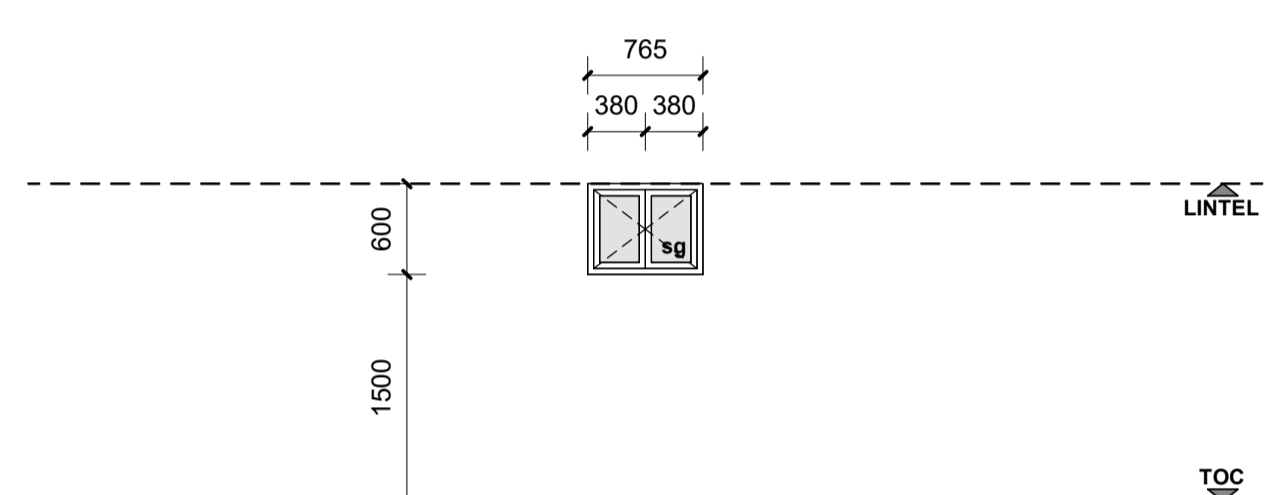
TYPE	D03
DESCRIPTION	Aluminium framed sliding door with vertical top hung windows to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	1
LOCATION	GF- Living area



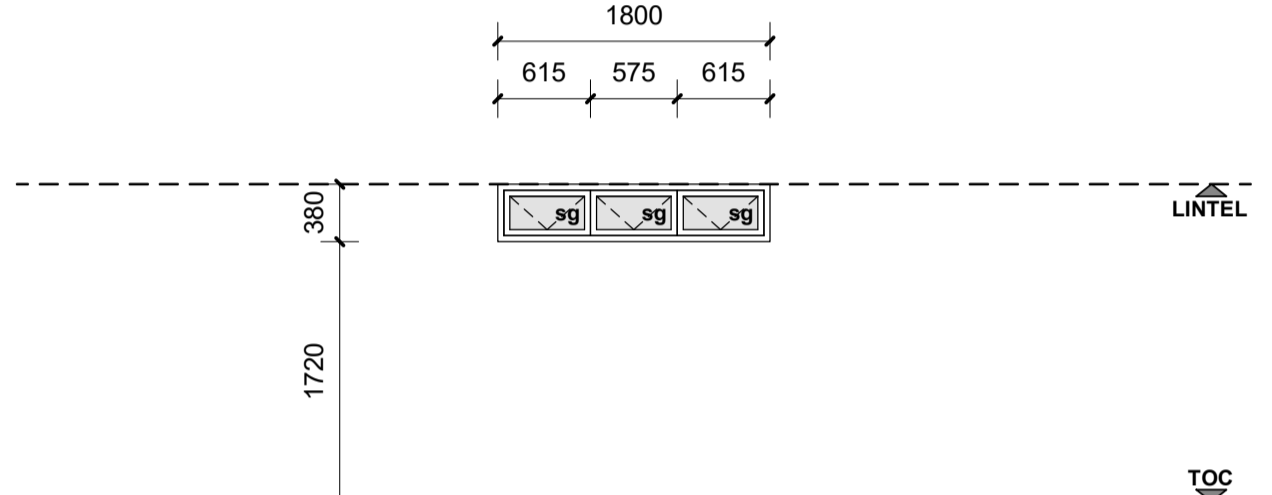
TYPE	D04
DESCRIPTION	Aluminium framed sliding door to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	2
LOCATION	GF- Bedroom 1 & 2



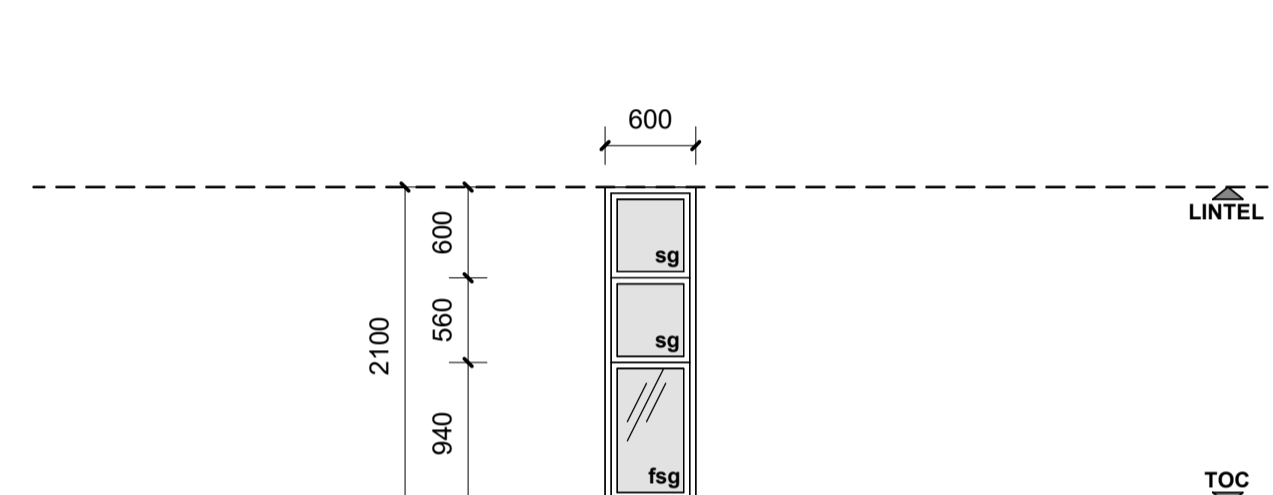
TYPE	W01
DESCRIPTION	Aluminium framed side hung window to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	
LOCATION	



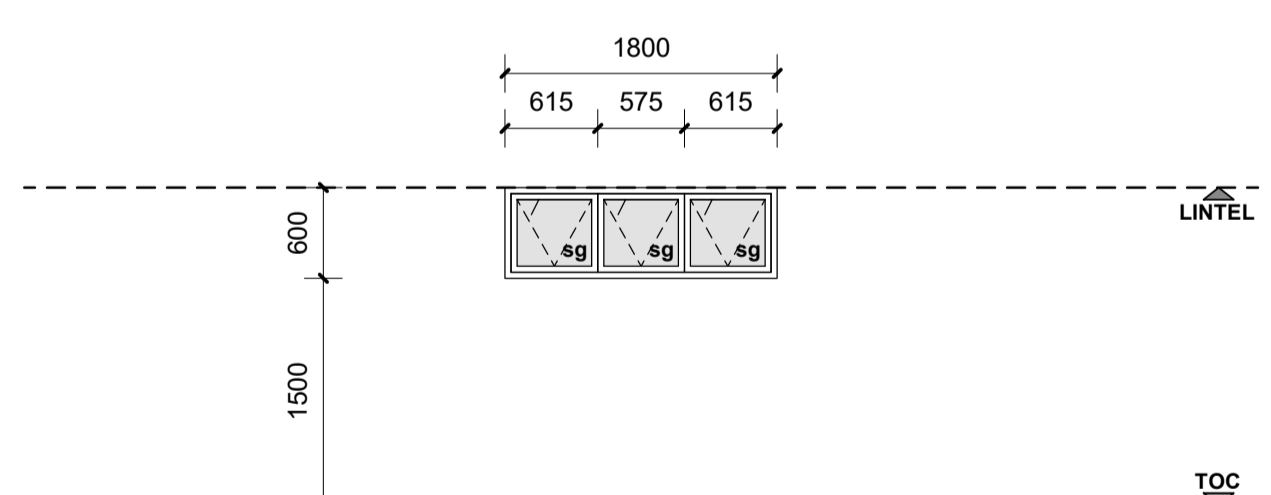
TYPE	W02
DESCRIPTION	Aluminium framed side hung window to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	
LOCATION	



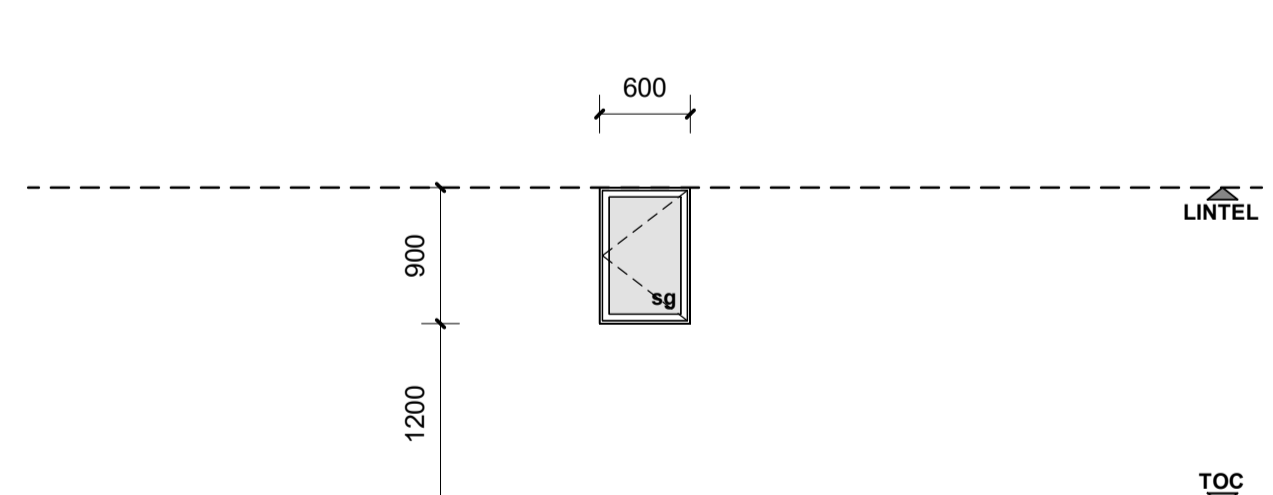
TYPE	W03
DESCRIPTION	Aluminium framed top hung windows to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	1
LOCATION	GF- Studio 2



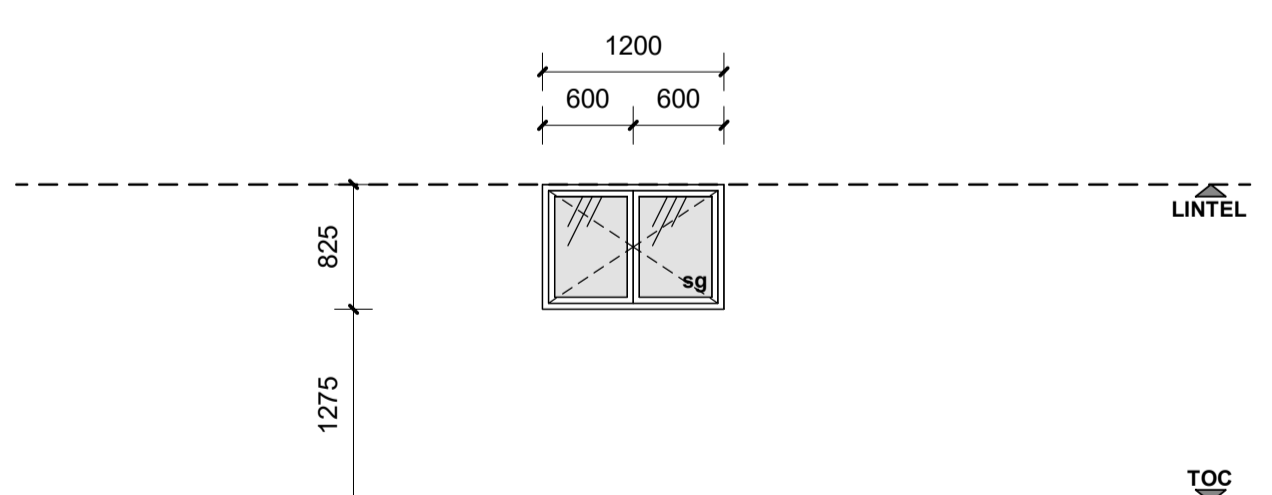
TYPE	W04
DESCRIPTION	Aluminium framed vertical top hung window to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	1
LOCATION	GF- Studio 1



TYPE	W05
DESCRIPTION	Aluminium framed top hung windows to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	2
LOCATION	GF- Bedroom 1 & 2



TYPE	W06
DESCRIPTION	Aluminium framed side hung window to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	2
LOCATION	GF- En-Suite 1 & 2



TYPE	W07
DESCRIPTION	Aluminium framed side hung window to specialist
FRAME	Aluminium
FINISH	Powder coated aluminium
GLAZING	Clear safety glass to conform to (SANS 10400 part N) and NBR
IRONMONGERY	Guide channel, guides, locksets and handles to manufacturers spec.
MIN PANE THICKNESS	8mm safety glass in accordance with SANS 10400 Part N
QUANTITY	1
LOCATION	GF- Laundry

Owner: IRVIN DRAAI & SHANELLE DRAAI

Architect: GARETH MORAN SACAP: PSAT51693610

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DRAWING TITLE:
GLAZING SCHEDULE

PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING DWELLING & PROPOSED NEW STAFF QUARTERS & PRIVATE GYM

FOR:
IRVIN DRAAI & SHANELLE DRAAI

ERF NUMBER:
ERF 2780

STREET ADDRESS:
8 STIRLING CRESCENT

JOB NO.	DRAWING NO.
	- G01
DATE	SCALE
	1 : 50
DRAWN BY	TDI

