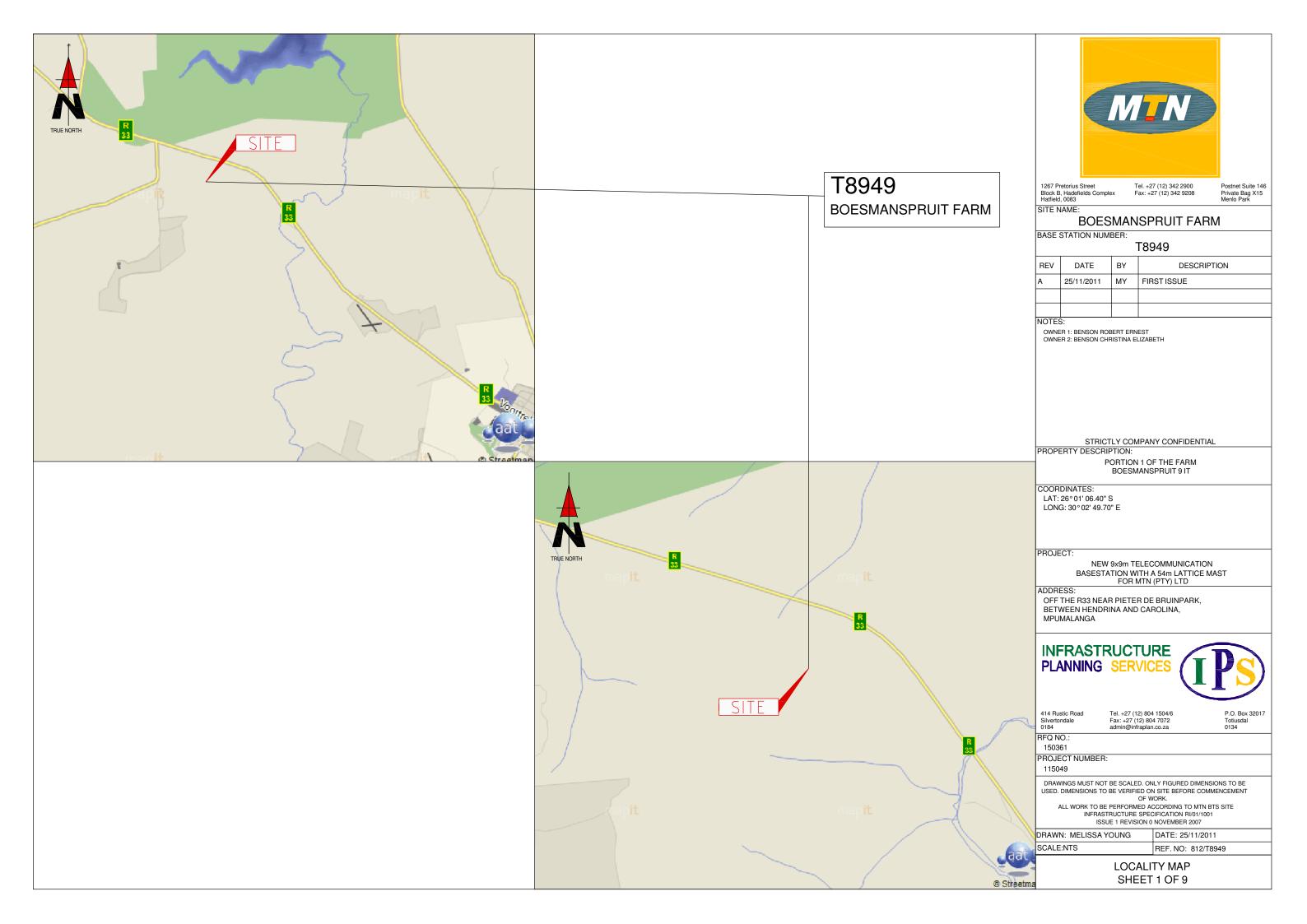
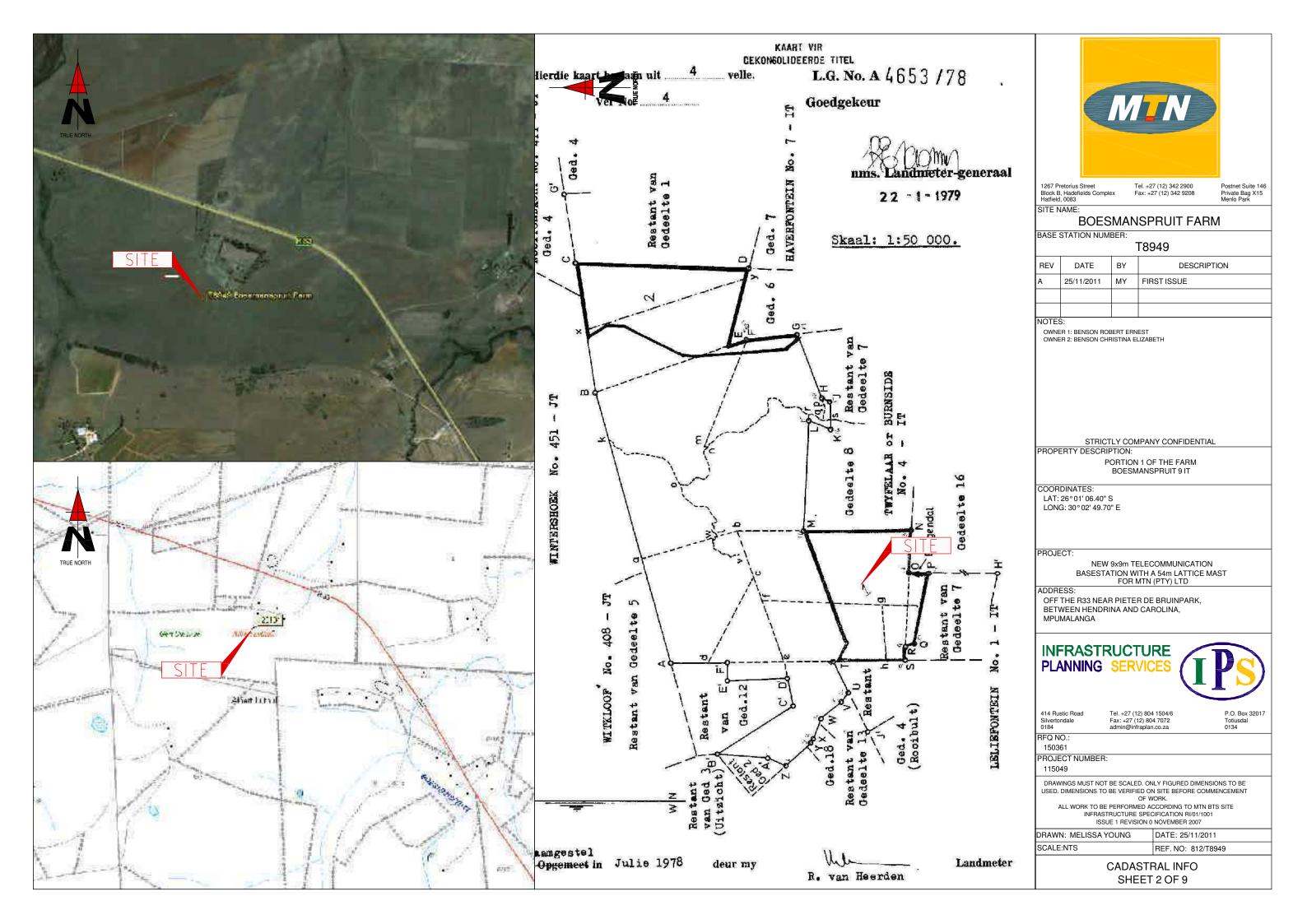
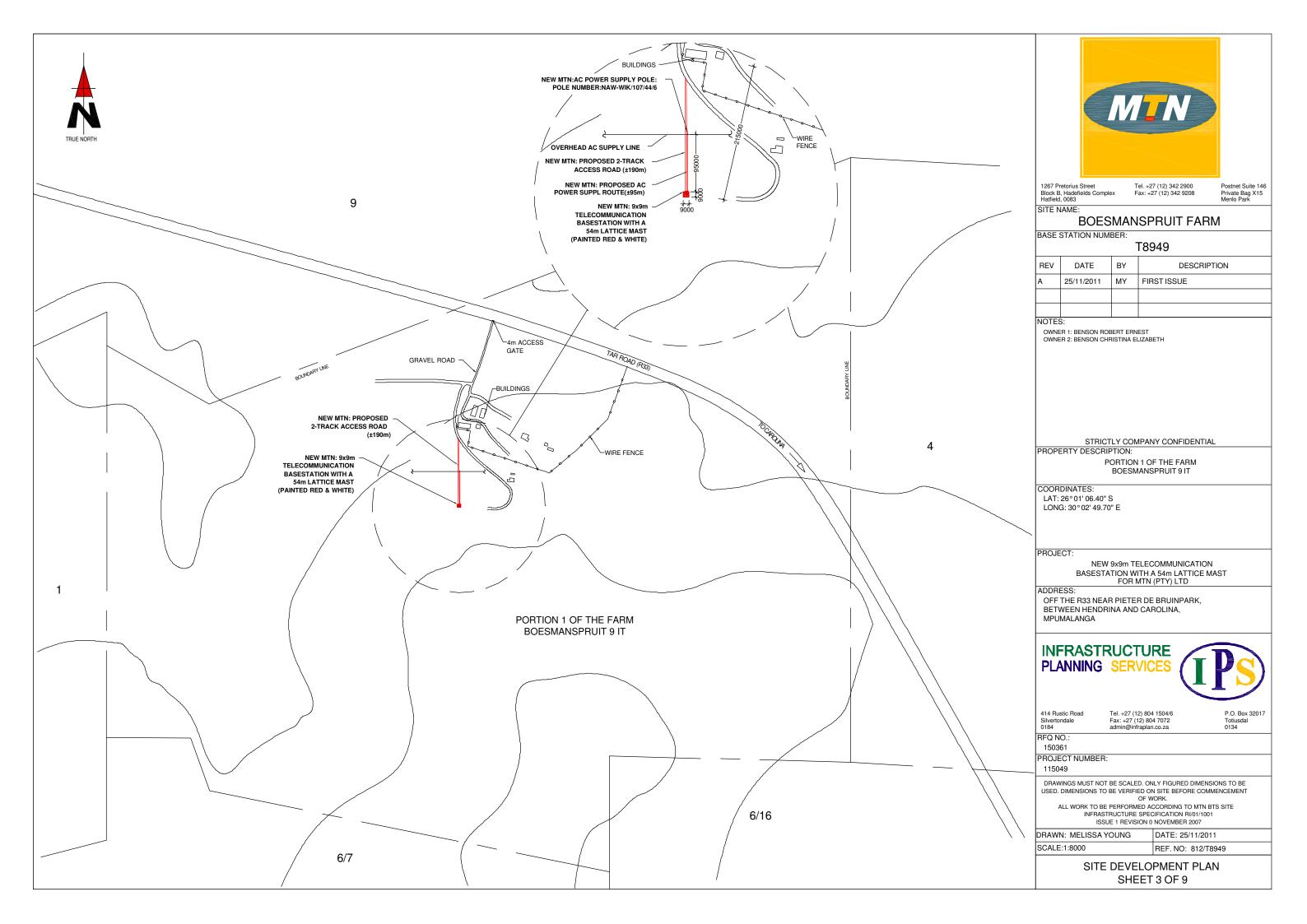
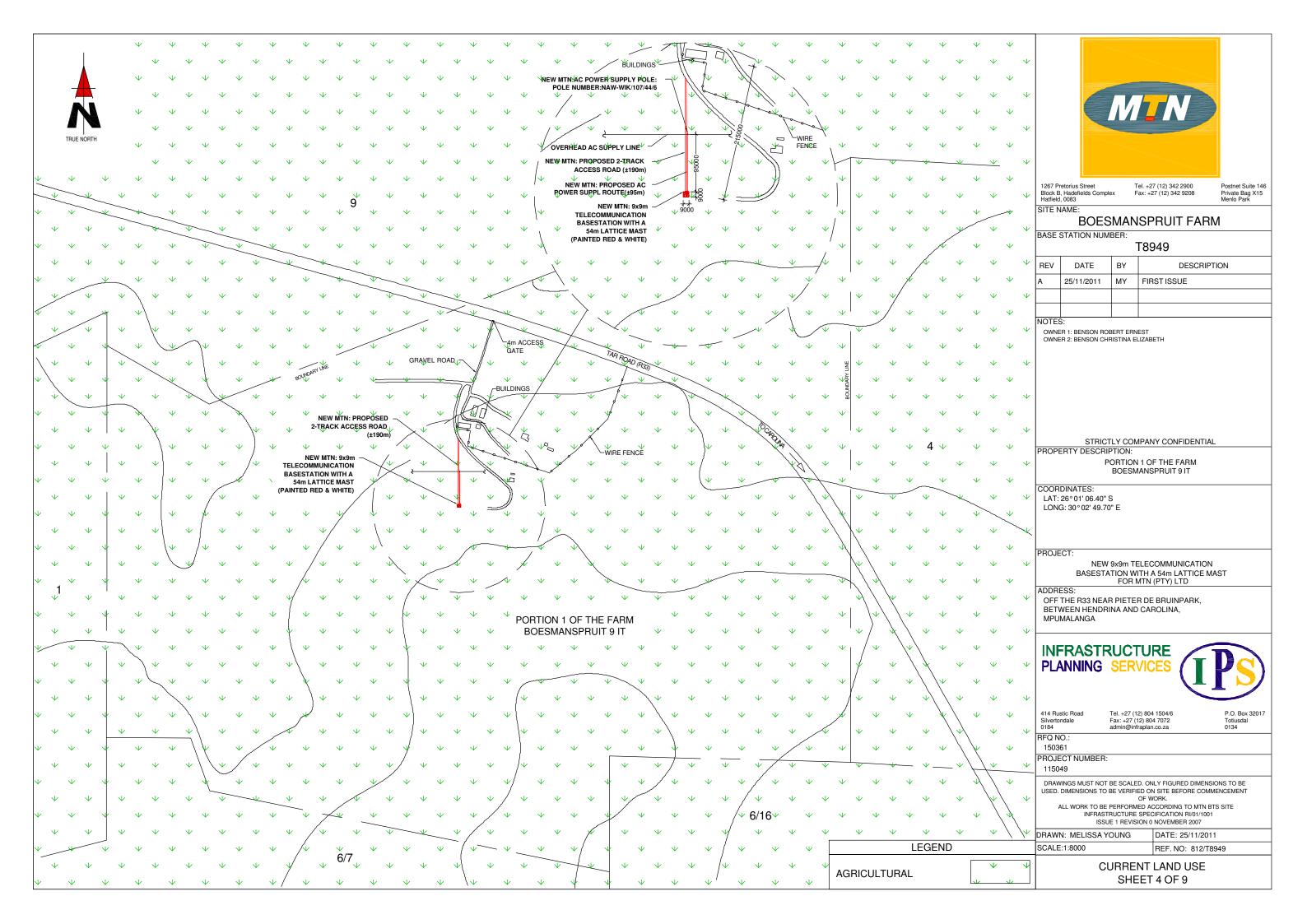
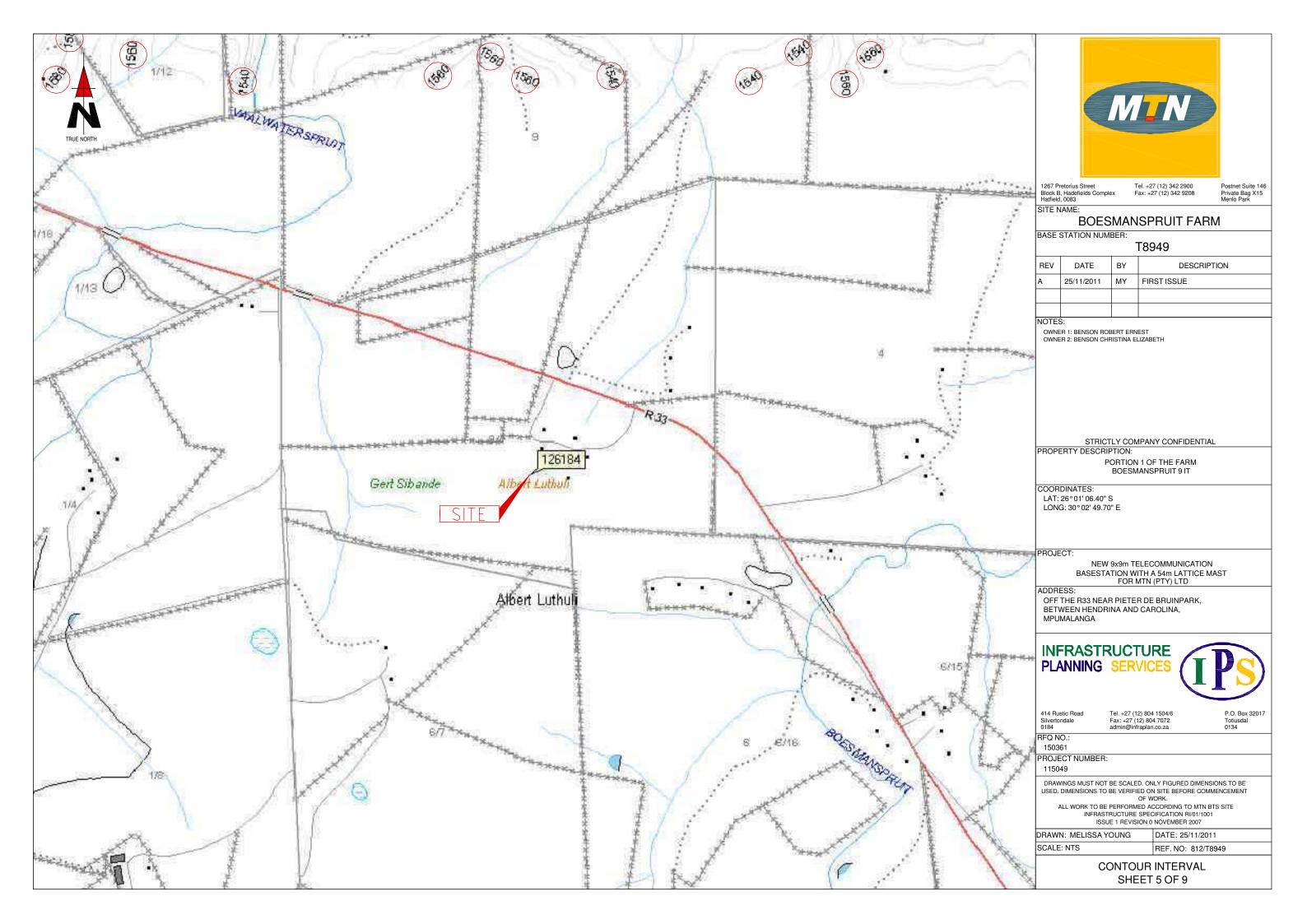
Appendix A: Site Plans



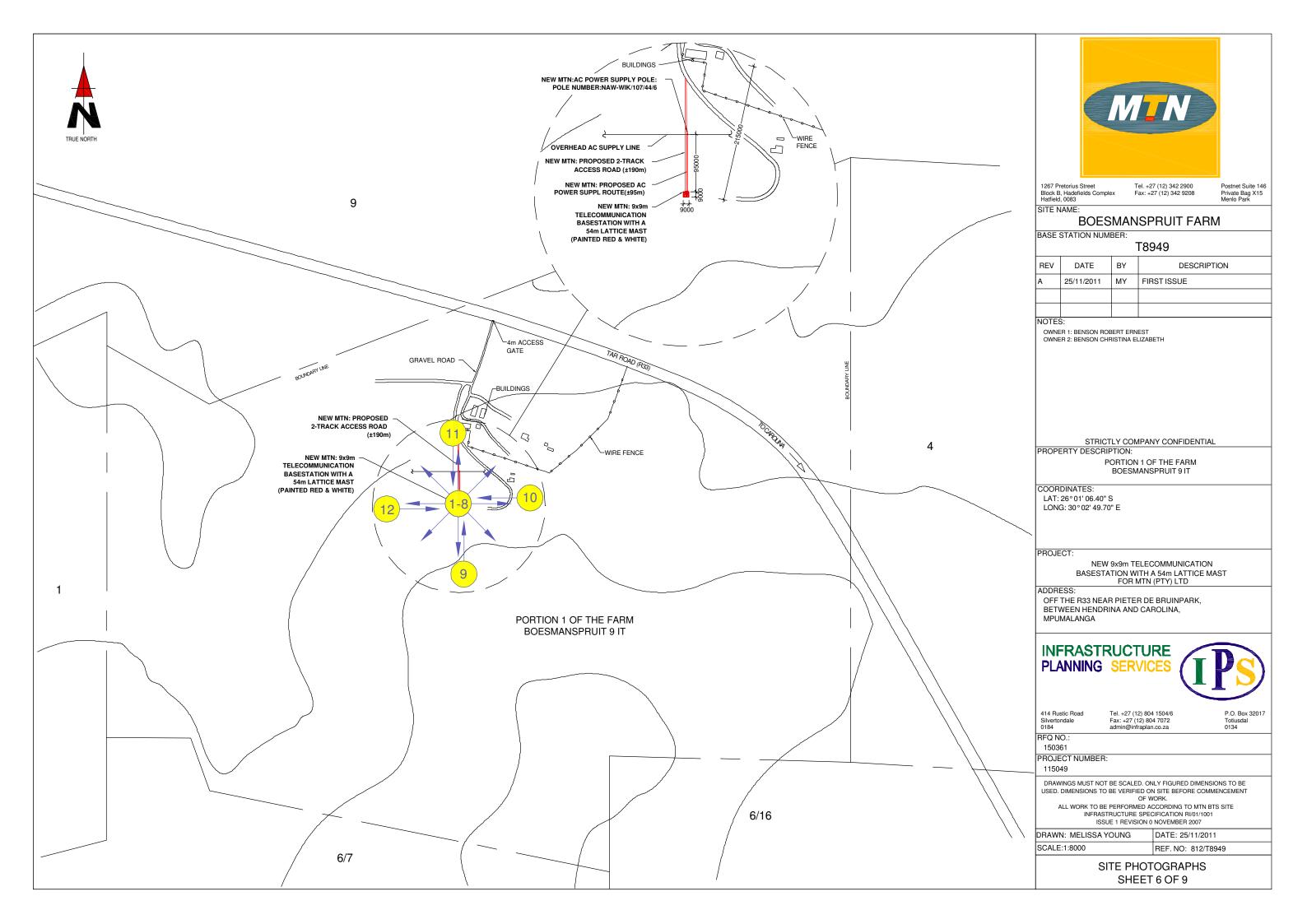








Appendix B: Site Photographs





1. Panoramic view from the site direction North



2. Panoramic view from the site direction North East



3. Panoramic view from the site direction East



4. Panoramic view from the site direction South East



5. Panoramic view from the site direction South



6. Panoramic view from the site direction South West



7. Panoramic view from the site direction West



8. Panoramic view from the site direction North West



9. View on base station position direction North



10. View on base station position direction East



11. View on base station position direction South



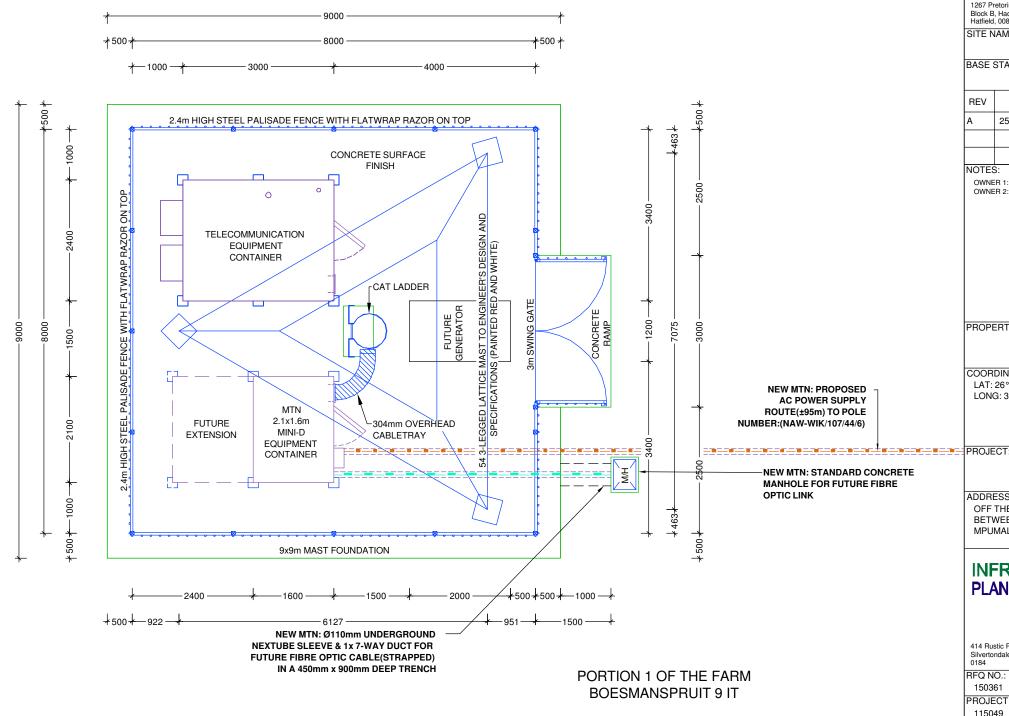
12. View on base station position direction West



13. General view on site establishment area









1267 Pretorius Street Block B, Hadefields Complex Hatfield, 0083

Tel. +27 (12) 342 2900 Fax: +27 (12) 342 9208

Postnet Suite 146 Private Bag X15 Menlo Park

SITE NAME:

BOESMANSPRUIT FARM

BASE STATION NUMBER:

T8949

REV	DATE	BY	DESCRIPTION
А	25/11/2011	MY	FIRST ISSUE

NOTES

OWNER 1: BENSON ROBERT ERNEST

STRICTLY COMPANY CONFIDENTIAL

PROPERTY DESCRIPTION:

PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT

COORDINATES:

LAT: 26° 01' 06.40" S LONG: 30°02' 49.70" E

NEW 9x9m TELECOMMUNICATION BASESTATION WITH A 54m LATTICE MAST FOR MTN (PTY) LTD

ADDRESS:

OFF THE R33 NEAR PIETER DE BRUINPARK, BETWEEN HENDRINA AND CAROLINA, MPUMALANGA

INFRASTRUCTURE PLANNING SERVICES



414 Rustic Road

Tel. +27 (12) 804 1504/6 Fax: +27 (12) 804 7072 admin@infraplan.co.za

P.O. Box 32017 Totiusdal 0134

RFQ NO.: 150361

PROJECT NUMBER:

115049

DRAWINGS MUST NOT BE SCALED. ONLY FIGURED DIMENSIONS TO BE USED. DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK.

ALL WORK TO BE PERFORMED ACCORDING TO MTN BTS SITE INFRASTRUCTURE SPECIFICATION RI/01/1001 ISSUE 1 REVISION 0 NOVEMBER 2007

DRAWN: MELISSA YOUNG DATE: 25/11/2011 SCALE:1:75 REF. NO: 812/T8949

> SITE DETAIL SHEET 7 OF 9

MTN ANTENNAE KEY								
SECTOR AZIMUTH ANTENNA			HEIGHT - BOTTOM (m)	MECH. TILT	ELEC. TILT	FEEDER SIZE	FEEDER LENGTH (m)	
1	1 0° K80010123		51.4			7/8"	± 56.4	
2	120°	K80010123	51.4			7/8"	± 56.4	
3	240°	K80010123	51.4			7/8"	± 56.4	



1267 Pretorius Street Block B, Hadefields Complex Hatfield, 0083

Tel. +27 (12) 342 2900 Fax: +27 (12) 342 9208

Postnet Suite 146 Private Bag X15 Menlo Park

SITE NAME:

BOESMANSPRUIT FARM

BASE STATION NUMBER:

T8949

REV	DATE	BY	DESCRIPTION
А	25/11/2011	MY	FIRST ISSUE

NOTES:

OWNER 1: BENSON ROBERT ERNEST OWNER 2: BENSON CHRISTINA ELIZABETH

STRICTLY COMPANY CONFIDENTIAL PROPERTY DESCRIPTION:

PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT

COORDINATES:

LAT: 26° 01' 06.40" S LONG: 30°02' 49.70" E

ROJECT:

NEW 9x9m TELECOMMUNICATION BASESTATION WITH A 54m LATTICE MAST FOR MTN (PTY) LTD

ADDRESS:

OFF THE R33 NEAR PIETER DE BRUINPARK, BETWEEN HENDRINA AND CAROLINA, MPUMALANGA

INFRASTRUCTURE PLANNING SERVICES



414 Rustic Road Silvertondale 0184 FQ NO.:

Tel. +27 (12) 804 1504/6 Fax: +27 (12) 804 7072 admin@infraplan.co.za

P.O. Box 32017 Totiusdal 0134

150361

ROJECT NUMBER:

115049

DRAWINGS MUST NOT BE SCALED. ONLY FIGURED DIMENSIONS TO BE USED. DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF WORK.

ALL WORK TO BE PERFORMED ACCORDING TO MTN BTS SITE INFRASTRUCTURE SPECIFICATION RI/01/1001 ISSUE 1 REVISION 0 NOVEMBER 2007

DRAWN: MELISSA YOUNG DATE: 25/11/2011 SCALE:1:100 REF. NO: 812/T8949

> WEST ELEVATION SHEET 8 OF 9

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•	2628					0008	PRO COC LA LO PRO ADD OF BE MP
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	AVIATION LIGHT 3x MTN KATHREIN 800 10123 DIRECTIONAL ANTENNAE	TELECON	TELECOM		54m 3-LEGGED LATTICE MAST TO ENGINEER'S DESIGN AND SPECIFICATIONS (PAINTED RED AND WHITE)	CAT LADDER MTN 2.1x1.6m MINI-D EQUIPMENT CONTAINER 304mm OVERHEAD CABLETRAY ELECOMMUNICATION EQUIPMENT CONTAINER CONTAINER 304m HIGH STEEL PALISADE FENCE WITH FLATWRAP RAZOR ON TOP	A14 F Silver 0184 RFQ 150 PRO. 115 DRA USEI



TYPICAL 3-LEGGED LATTICE MAST (PAINTED RED & WHITE)



1267 Pretorius Street Block B, Hadefields Complex Hatfield, 0083

Tel. +27 (12) 342 2900 Fax: +27 (12) 342 9208

Postnet Suite 146 Private Bag X15 Menlo Park

SITE NAME:

BOESMANSPRUIT FARM

BASE STATION NUMBER:

T8949

REV	DATE	BY	DESCRIPTION
Α	25/11/2011	MY	FIRST ISSUE

OWNER 1: BENSON ROBERT ERNEST OWNER 2: BENSON CHRISTINA ELIZABETH

STRICTLY COMPANY CONFIDENTIAL

PROPERTY DESCRIPTION:

PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT

COORDINATES:

LAT: 26° 01' 06.40" S LONG: 30° 02' 49.70" E

PROJECT:

NEW 9x9m TELECOMMUNICATION BASESTATION WITH A 54m LATTICE MAST FOR MTN (PTY) LTD

ADDRESS:

OFF THE R33 NEAR PIETER DE BRUINPARK, BETWEEN HENDRINA AND CAROLINA, MPUMALANGA

INFRASTRUCTURE PLANNING SERVICES



414 Rustic Road

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DRAWN: MELISSA YOUNG DATE: 25/11/2011 SCALE: NTS REF. NO: 812/T8949

> FACILITY ILLUSTRATION SHEET 9 OF 9

Appendix D: Specialist Reports - Not Applicable

Appendix E: Comments and responses report

Interested & Affected Parties Register / Comments and Responses Report

Site number: T8949

Site Name: Boesmanspruit Farm

EIA reference no.: 17/2/3/GS-81

			Interested and Affected	Comments and Responses Report				
No.	Date	Name	Address	Contact detail	Reacted to:	Record of initial I&AP registration	Issues raised / Comments received	EAP Response
1	16/02/2012	The Municipal Manager	Albert Luthuli Local Municipality, Environmental Management Section, PO Box 24, Carolina, 1185	Mr VN Mpila, Fax: 0178434001	NA	Auto I&AP	No comments received	Sent Draft BAR Sent copy of Final BAR.
2	16/02/2012	The Ward Councillor	The Ward Councillor, Albert Luthuli Local Municipality, Ward 21, PO Box 24, Carolina, 1185	Cir ML Thete, Fax: 0178434001	NA	Auto I&AP	No comments received	Sent Draft BAR Sent copy of Final BAR.
3	16/02/2012	The District Municipality	The Municipal Manager, Gert Sibande District Municipality, PO Box 1748, Ermelo, 2350	Mr MA Ngcobo, Fax: 0178111207	NA	Auto I&AP	No comments received	Sent Draft BAR Sent copy of Final BAR.
4	29/02/2012	SAHRA	South African Heritage Resources Agency, 111 Harrington str, Cape Town, 8000; PO Box 4637, Cape Town, 8000	Mr P Hine/Mrs Colette Scheermeyer, Tel: 0214624502, Fax: 0214624509, Email: phine@sahra.org.za	public notice	Auto I&AP	No Archaeological Impact Assessment required for the 9x9m footprint site and no AIA required for the 190m 2 track access road.	Sent Draft BAR Sent copy of Final BAR.
5	16/02/2012	SACAA	Private Bag x73, Halfway House 1685	Tel: (011) 545 1000 Fax: (011) 545 1451	NA	Auto I&AP	Received approval with day & night markings required.	Paint mast red & white and install red navigation lights on top as according to CAA approval.
6	16/02/2012	Landowner	Robert Ernest Benson, PO Box 1316, Carolina, 1185	Mr Bertie Benson, Cell: 0832593629, Bertie.benson@vodamail.co.za	Lease Negotiations	Land Owner	Signed Lease	Sent Draft BAR Sent copy of Final BAR.



SOUTH AFRICAN HERITAGE RESOURCES AGENCY

111 HARRINGTON STREET, CAPE TOWN, 8000 PO BOX 4637, CAPE TOWN, 8000 TEL: (021) 462 4502 FAX: (021) 462 4509

DATE:

13 March 2012

ENQUIRIES:

Mr. Phillip Hine

Archaeology, Palaeontology and Meteorite Unit

E-mail: phine@sahra.org.za Web site: www.sahra.org.za

YOUR REF: T8949/17/2/3/GS-81 OUR REF: 9/2/242/0018

Ms. Monica Niehof Torbious Solutions CC P.O. Box 32017

Totiusdal 0134

Dear Madam,

NOTIFICATION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED (NEMA) TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (A) & (B): (A) II (BB), (CC), (EE) AND (GG) IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD. TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT

Thank you for your indication that development is to take place in this area.

In terms of the National Heritage Resources Act, no 25 of 1999, heritage resources, including archaeological or palaeontological sites over 100 years old, graves older than 60 years, structures older than 60 years are protected. They may not be disturbed without a permit from the relevant heritage resources authority. This means that before such sites are disturbed by development it is incumbent on the developer (or mine) to ensure that a **Heritage Impact Assessment** is done. This must include the archaeological component (Phase 1) and any other applicable heritage components. Appropriate (Phase 2) mitigation, which involves recording, sampling and dating sites that are to be destroyed, must be done as required.

It is noted in your application that the base station will have a footprint of $9m \times 9m$. As such, an Archaeological Impact Assessment will not be necessary. However, it is not stated in your application whether the project will entail any other activities, such as the construction of access roads etc. Please note that in terms of section 38 (1) linear developments exceeding 300m in length, must be subject to a Heritage Impact Assessment. If the project does not entail the construction of any new roads (or the upgrade of existing), exceeding more than 300m, an Impact Assessment will not be necessary.

The developer must ensure that if the project impacts on fossiliferous rock or bedrock or coastal sediments, a professional Palaeontological Impact Assessment must be conducted and submitted to SAHRA APM Unit for comment.

If any evidence of archaeological sites or artefacts, or other heritage resources are found during construction activities, the SAHRA APM Unit (Mrs. Colette Scheermeyer, Mr. Phillip Hine, tel: 021-462 4502), must be alerted immediately, and a professional archaeologist/palaeontologist must be contacted as soon as possible to inspect the findings at the cost of the developer. If the newly discovered heritage resources prove to be of archaeological/palaeontological significance, then a Phase 2 rescue operation might be necessary at the cost of the developer.

Yours sincerely,

pp Mrs. Colette Scheermeyer

SAHRA: Archaeology, Palaeontology and Meteorite Unit

For: CHIEF EXECUTIVE OFFICER

Copies: PHRA Mpumalanga Office

Appendices: www.asapa.org.za for a list of CRM archaeologists

List of Palaeontologist

Appendix F: EMPR



Environmental Management Plan (EMPr)

(Compiled and Submitted in terms of the National Environmental Management Act (Act 107 of 1998))

Mobile Telephone Networks (Pty) Ltd

Project Reference Number:

17/2/3/GS-81

Portion 1 of the farm Boesmanspruit 9 IT T8949

28 May 2012-05-28

DOCUMENT APPRAISAL

Reference No.		Responsible Person	Signature	Date	
Stage of Document	Final				
Document Compilatio	in				
Document Review					
Document Authorisati	ion				

Department Reference Number: 17/2/3/GS-81

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EXECUTIVE SUMMARY

The proponent, MTN (Pty) Ltd, intends The establishment of a 54m high telecommunication lattice mast painted red & white with base station – T8949 Boesmanspruit Farm – on Portion 1 of the farm Boesmanspruit 9 IT

The Department of *Economic Development*, *Environment and Tourism*, *Mpumalanga*, requested that an Environmental Management Program (EMPR) be prepared for the proposed project, which addresses all phases of the proposed project, for submission to them [for approval]. The scope of environmental management described in this EMPR pertains to the project as a whole and aims to integrate environmental planning, design, construction and operational activities on the site.

The EMPR has as its basis the recommendations listed in the Basic Assessment Report. It is important to note that the project and the implementation of environmental specifications is an ongoing process that is dynamic in nature. This EMPR forms part of the contractual obligation between the Contractor and the proponent, MTN (Pty) Ltd.

1 INTRODUCTION

1.1 Background and Brief Project Description

The proposed project involves The establishment of a 54m high telecommunication lattice mast painted red & white with base station – T8949 Boesmanspruit Farm – on Portion 1 of the farm Boesmanspruit 9 IT

Torbiouse Solutions CC was appointed to compile the Environmental Management Program in respect of the proposed project.

1.1.1 Aims of the EMPR

The purpose of the EMPR is to set environmental targets for the Contractor and reasonable standards against which the Contractor's performance in this regard can be measured during construction. This document will form the basis for the environmental specifications that the Constructor is obliged to comply with during construction of the proposed project. This document will thus form a binding agreement between the Contractor and MTN (Pty) Ltd.

The EMPR addresses issues in order to ensure that all environmental aspects are carefully considered and monitored and adverse impacts managed. It is important to note that the development and implementation of environmental specifications is ongoing and the EMPR is typically dynamic in nature.

1.1.2 Contents of the EMPR

The EMPR consists of the following sections:

Chapter 1: Introduction: This section includes the project background, aims of this EMPR and describes the contents of this EMPR.

Chapter 2: Administration and regulation of environmental obligations: This section identifies the proposed mechanisms for monitoring compliance with the EMPR and reporting thereof.

Chapter 3: Environmental Specifications: Construction Phase: This section includes environmental specifications relating to the construction phase of the project.

Chapter 4: Environmental Specifications: Operational Phase: This section includes environmental specifications relating to the operational phase of the project.

Chapter 5: Environmental Specifications: Decommissioning Phase: This section includes environmental specifications relating to the decommissioning of the site.

Chapter 6: Emergency Response Plan: This section provides a summary of responses to emergency situations

2 ADMINISTRATION AND REGULATION OF ENVIRONMENTAL OBLIGATIONS

2.1 Environmental Site Agent

The Environmental Site Agent (ESA) is the person, appointed by the Contractor on behalf of the Applicant or the Environmental Consultant appointed on behalf of the Applicant, involved with the project and all projects within the operational region of the Contractor and who is responsible for the implementation of the environmental management plan. This person is therefore responsible for the environmental issues involved with the construction phase of the project. The ESA will be required to oversee a number of sites at any given time and is required to manage his/her time effectively to ensure that he/she fulfils his/her environmental obligations in respect of all sites.

The ESA must be a person with adequate environmental knowledge to understand and implement this management plan. It is required that the ESA reports to the Applicant (MTN (Pty) Ltd) irrespective of who appointed the ESA. The ESA has the authority to stop works if in his/her opinion there is a serious threat to or impact on the environment, caused directly from the construction operations. This authority is to be limited to emergency situations where consultation with the HOD Implementation and/or Property Supervisor and/or National Property Manager is not immediately available. In all such work stoppage situations, the ESA is to inform the HOD Implementation and/or Property Supervisor and/or National Property Manager of the reasons for the stoppage as soon as possible thereafter.

Upon failure by the Contractor and/or his employees to show adequate consideration to the environmental aspects of this EMPR, the ESA may recommend the suspension of works pending an investigation by the HOD Implementation and/or Property Supervisor and/or National Property Manager.

2.2 Environmental Awareness Training for Site Personnel

All Contractor teams involved in work on the project are to be briefed on their obligations towards environmental controls and methodologies in terms of this EMPR prior to the commencement of work. The briefing will take the form of an on site talk, when an RFQ (Request for Quotation) site survey is set up, and shall be demonstrated by the ESA. The education / awareness programme should be aimed at all levels of employees within the Contractor team. (See "Do's and Don'ts" summary sheet).

2.3 On Site Communication Procedure

2.3.1 Environmental Awareness Training for Site Personnel

The Site Instruction book entries will be used for the recording of general site instructions as they relate to the work taking place on site. It will also be used for the issuing of stop work orders for the purposes of immediately halting any particular activities of the Contractor in lieu of the environmental risk that they may pose.

2.3.2 Record Keeping

All records relating to the implementation of this EMPR must be kept on site; on the MTN Operating System and archived at an adequate archive facility where it is safe and can be retrieved easily. These records should be kept for two years and should at any time be available for scrutiny by any relevant authorities.

2.3.3 Photographs

It is recommended that photographs are taken on the site prior to, during and immediately after construction as a visual reference. These photographs should be stored with other records related to this EMPR and on the MTN Operating System. If captured in digital format, hard copies must be kept with all other records relevant to the implementation of this EMPR. In particular, the Contractor and ESA are responsible for taking photographs of the environmental aspects of environmentally sensitive areas for use in rehabilitation processes.

2.3.4 Environmental Audit Report

An Environmental Audit Report is a report completed by the ESA and signed off by the HOD Implementation and/or the Property Supervisor and/or National Property Manager, and then sent to the relevant authorities, by the ESA, stating the completion of the project and compliance with the EMPR and conditions.

2.4 Basic Rules of Conduct

The following list represents the basic "Do's and Dont's" towards environmental awareness, which all participants in this project must consider whilst carrying out their tasks and duties. These are not exhaustive and serve as a quick reference aid. NOTE: All new site personnel must attend an

environmental awareness presentation. Please inform your foreman or manager if you have not attended such a presentation alternatively contact the ESA.

DO:

- ✓ Use the toilet facilities provided report dirty or full facilities;
- ✓ Clear your work areas of litter and building rubbish at the end of each day use the waste bins provided and ensure that litter will not blow away;
- ✓ Report all fuel or oil spills immediately and stop the spill continuing;
- ✓ Dispose of cigarettes and matches carefully. (Littering is an offence);
- ✓ Confine work and storage of equipment to the immediate work area and within the site boundary;
- ✓ Where possible use a drip tray under vehicles and machinery and empty drip trays after rain and throw away where instructed;
- ✓ Use all safety equipment and comply with all safety procedures;
- ✓ Ensure a working fire extinguisher is immediately at hand if any "HOT WORK" is undertaken e.g. welding, grinding, gas cutting etc;
- ✓ Try to avoid producing dust wet dry ground and soil;

DONT:

- Make any fires;
- * Enter any fenced off or marked area;
- * Allow cement or cement bags to blow around;
- * Allow waste, litter, oils or foreign materials into the stormwater channels;
- * Litter or leave food laying around;
- * Make loud noises around the site. Report or repair noisy vehicles
- * Damage or cut down any trees or plants without permission.

2.5 Internal Review and Auditing

The Contractor and ESA shall establish an internal review procedure to monitor the progress and implementation of the EMPR during the construction phase. All audits will be signed off by the HOD Implementation and/or Property Supervisor and/or National Property Manager.

Where necessary, and upon the recommendation of the ESA and/or the Contractor, procedures that require modification will be changed to improve the efficiency of the EMPR. All modifications to the EMPR shall be approved by the Department before; if possible, any changes or adjustments to the EMPR are implemented. Any material changes or adjustments to the EMPR shall be registered accordingly on MTN's operating system. Adjustment and update of the original EMPR document is not required when these *ad hoc* changes are made.

At the conclusion of the project an environmental audit report shall be compiled_by the ESA, and signed off by HOD Implementation and/or Property Supervisor and/or National Property Manager and submitted to the Department by the ESA. This report shall be compiled by the ESA, in collaboration with the Contractor and/or the Environmental Consultant and/or the Applicant.. It shall, as a minimum, outline the implementation of the EMPR during the construction phase, and highlight any problems and issues that arose during the construction period to report, on a formal basis, the lessons learnt from this project.

3 ENVIRONMENTAL SPECIFICATIONS: CONSTRUCTION PHASE

3.1 Site Demarcation

The "site" refers to the total area where the contract will take place and any other area reasonably required by the Contractor to undertake the construction activities in order to fulfil the contract. Areas where construction is prohibited are referred to as 'no-go' areas. 'No-go' areas identified on site include all areas outside of the footprint of the base station as well as environmentally sensitive sites. The environmental sensitivity of the area should be ascertained and then the position and orientation of the BTS site as per the approved drawings should be pegged out. 'No-go' areas should be demarcated to prevent environmental degradation thereto. This responsibility rests with the ESA and/or the Contractor.

The Contractor shall be responsible for any clean-up and/or rehabilitation of all areas impacted outside the site and within the 'no-go' areas.

3.2 Construction Facilities

3.2.1 Construction Camp

Construction crews may not stay on site overnight unless special permission has been obtained from the landowner. In the event that the landowner has given such permission, the position of the construction camp shall be agreed by the ESA and Contractor.

3.2.2 Toilet Facilities

The Contractor shall provide suitable sanitary arrangements (chemical toilets), which shall be located within the construction camp and/or in the construction footprint (where applicable) of the BTS. The siting of toilets shall be done in consultation with the ESA to ensure ease of access. Where required, toilet/s shall be secured to prevent them blowing over.

The Contractor shall be responsible for ensuring that all ablution facilities are maintained in a clean and sanitary condition to the satisfaction of the ESA. The Contractor shall provide toilet paper. The Contractor shall appoint a suitable sub-contractor to empty toilets on a regular basis. The sub-contractor and Contractor shall ensure that there is no spillage when the chemical toilets are cleaned and that the contents are properly removed from site.

The Contractor shall be responsible for enforcing the use of these facilities. Performing ablutions outside of established toilet facilities is strictly prohibited.

3.2.3 Water Provision

The Contractor shall be responsible for ensuring that there is access to clean drinking water for all employees on site. The use of water in rivers, dams, ponds etc. as drinking water is strictly forbidden.

3.2.4 General Aesthetics

All construction areas must be kept neat and tidy at all times. Different materials and equipment must be kept in designated areas and storing/stockpiling shall be kept orderly.

3.3 Site Clearing

3.3.1 Vegetation Clearing

Before clearing of vegetation, the Contractor shall ensure that all litter and non-organic material is removed from the area to be cleaned. All vegetation that may not be removed must be clearly identified and demarcated. Where the surrounding flora is required to be protected from traffic, the entire construction area should be fenced off with a temporary 1.8m fence. The fence should be removed upon completion of construction. This responsibility rests with the Contractor and the ESA. The use of herbicides is prohibited.

3.3.2 Site Access

All access to and from the BTS shall be on demarcated roads (where possible). The route for permanent access to the site shall be determined prior to construction, and shall be pegged out accordingly. Photographs shall be taken indicating the route detail. Rehabilitation of secondary roads must be conducted by the Contractor. No machinery may disturb any vegetation along side any road.

3.3.3 Trenching

All trenching must completed in such a manner as to limit damage to the surrounding environment. If required in the authorisation, trenching is to be done by hand.

3.4 Materials Handling and Storage

3.4.1 Handling

The Contractor shall ensure that all suppliers and their delivery drivers are aware of procedures and restrictions in terms of this EMPR. The Contractor (and suppliers) shall ensure that all materials are appropriately secured to ensure safe passage between destinations. Loads shall have appropriate cover to prevent spillage from the vehicle during transit. The Contractor shall be responsible for any clean-up resulting from the failure by his employees or suppliers to properly secure transported materials. The Contractor shall ensure that delivery drivers are supervised during offloading.

3.4.2 Storage of Construction Materials

The Contractor shall ensure that areas for storage of construction materials are determined in consultation with the ESA and adequately demarcated. All construction materials including but not limited to building material shall be stored on such demarcated areas.

3.4.3 Storage of Equipment

Drip trays shall be provided for stationary plant (such as compressors, pumps, generators etc.) and for "parked" plant (e.g. mechanised equipment).

3.5 Refuelling and Maintenance

3.5.1 Refuelling

Where reasonably practicable, plant and vehicles shall be refuelled using suitable equipment (e.g funnels) and the necessary drip trays.

3.5.2 Maintenance

All vehicles and equipment shall be kept in good working order and serviced regularly. Leaking equipment shall be removed from the site. All maintenance of equipment and vehicles shall be performed off site. No washing of plant and equipment shall be undertaken on site.

3.6 Accidental Leaks and Spills

The Contractor shall ensure that his employees are aware of the procedure to be followed for dealing with spills and leaks. Any accidental leak or spill of fuel, oil or any other hazardous substance must be reported immediately to the ESA to ensure that the best remediation method is quickly implemented.

In the event of a hydro-carbon spill, the source of the spillage shall be isolated and the spillage contained. The area shall be cordoned off and secured. The Contractor shall ensure that there is always a supply of absorbent material readily available to absorb / breakdown spills.

The Contractor shall be liable to arrange for professional service providers to clear the area affected by the spill, if required.

3.7 Waste Management

3.7.1 Solid Waste

Solid waste includes all construction waste (cement bags, tags, wrapping materials, cans, wire, nails, etc.) and surplus food, food packaging, organic waste etc. The Contractor shall be responsible for the establishment of a solid waste control and removal system that is acceptable to the ESA in order to prevent the spread of waste in, and beyond, the construction area. An integrated waste management approach shall be used, based on the principles of waste minimisation, reduction, reuse and recycling of materials. Containers for glass, paper, metals and plastics shall be provided, if sufficient solid waste is generated. The construction camp area (if applicable) is particularly suited for this purpose.

The Contractor shall provide vermin and weatherproof bins (with lids) of sufficient number and capacity to store solid waste produced on a daily basis. The lids shall be kept firmly on the bins at all times. Bins shall be located in areas where there is a concentration of labour and shall be easily

accessible. Bins shall be emptied regularly as required, preferably every second day. The general cleanliness of the site shall form part of the ESA inspections.

All solid waste may be temporarily stored on site in a demarcated area, which meets the satisfaction of the ESA. All solid waste shall be disposed of off site at a licensed landfill site. The stockpiling of construction rubble, cut vegetation or other material shall only be permitted in areas approved by the ESA. No waste material or litter shall be burnt or buried on site.

Erosion Control

The Contractor shall, as an ongoing exercise, provide erosion control to the satisfaction of the ESA. During construction, the Contractor shall protect areas susceptible to erosion by installing necessary temporary and permanent draining works as soon as possible.

Any runnels or erosion channels developed during the construction period shall be backfilled and compacted, and the areas restored to an acceptable condition (as determined by the ESA). Stabilisation of cleared areas to prevent and control erosion shall be actively managed.

During construction, the Contractor shall implement measures to prevent the migration of materials (fines) from the construction site into river courses, drainage lines, stormwater and sewerage systems.

3.8 Fire Control

No fires shall be allowed on site. At least one 12.5kg type ABC (all purpose) fire extinguisher shall be kept on the construction site.

3.9 Protection of Natural Features, Flora and Fauna

3.9.1 Protection of Natural Features

The Contractor shall not deface, paint, damage or mark any natural features outside the site for any purpose unless agree beforehand with the ESA. The Contractor shall not permit his employees to make use of any natural water sources situated on or near the site for purposes of swimming, personal washing and/or the washing of machinery or clothes.

3.9.2 Protection of Flora

The removal, damage or disturbance of flora, fauna or avifauna is forbidden. The clearing of vegetation within the construction area shall be undertaken in accordance with that specified in section 3.3.1.

The Contractor shall be familiar with any Ordinances, Acts, By-laws and/or regulations pertaining to the protection of natural features, flora and fauna on site. Where applicable, the Contractor shall apply for the necessary permits prior to removing any plants listed in the relevant schedules promulgated in terms of the legislation.

3.9.3 Protection of Fauna

The Contractor shall ensure that no hunting, trapping, shooting, poisoning or other disturbance of any fauna takes place. The feeding of wild animals is prohibited. No domestic pets or livestock are permitted on site.

3.10 Protection of Heritage and Cultural Features

The Contractor shall not, without a permit issued by the relevant heritage resources authority, destroy, damage, excavate, alter, deface or otherwise disturb archaeological finds. Archaeological finds can take the form of buried walls, old bottles, porcelain fragments, earthenware fragments, accumulations of bone and ash dumps.

If any archaeological or paleontological artefacts and/or human burials or remains are uncovered during construction, work in the vicinity of the find shall cease. The Contractor shall immediately notify the HOD Implementation and/or Property Supervisor and/or National Property Manager, who shall contact the South African Heritage Resources Agency (SAHRA). The Contractor will be required to abide by the specifications as set out by SAHRA or the heritage specialist appointed to investigate the find or burial.

3.11 Dust Control

The Contractor shall ensure that the generation of dust is minimised and shall implement a dust control programme to maintain a safe working environment, minimise nuisance and protect damage to natural vegetation.

The Contractor shall ensure that all exposed soil and material stockpiles are adequately protected against the wind. Where possible, dust suppression shall take place by way of spraying.

3.12 Noise Control

The Contractor shall be familiar with and adhere to, any local by-laws and regulations regarding the generation of noise and hours of operation. Working hours shall be confined to the hours between [insert time as per EA/ROD] and [insert time as per EA/ROD]. The Contractor shall be held responsible for any complaints received from the department and/or public with respect to any contravention of agreed noise conditions.

3.13 Cement

Cement and concrete mixing directly on the ground shall not be allowed. Where possible, ready mix concrete shall be utilised in all site construction. Mixing of cement, if applicable, shall take place on impermeable surfaces to the satisfaction of the ESA.

Unused cement bags shall be stored out of the rain where they will not be affected by run-off. Used (empty) cement bags shall be collected and stored in weatherproof containers to prevent wind blown cement dust and water contamination. Used cement bags shall not be used for any other purpose and shall be disposed of on a regular basis via the solid waste management system.

All excess concrete shall be removed from site on completion of concrete works and disposed of at a licensed landfill site. Washing of the excess concrete or washing of concrete pump trucks into the ground is prohibited.

3.14 Mast Colour

The mast shall be painted red & white in accordance with that stated in ROD/EA and in accordance with Civil Aviation Authority requirements.

3.15 Complaints Register

The ESA shall have accessible on the construction site a complaints register in terms of which all complaints received from interested and affected parties shall be recorded. The Complaints register shall be kept on site for the duration of construction activities and all complaints received shall be reported to the ESA.

3.16 Site Rehabilitation and Landscaping

On completion of the project, the Contractor shall ensure that all structures, equipment, materials, waste, rubble, notice boards and temporary fences used during the construction operation are removed with minimum damage to the surrounding area. The Contractor shall clean and clear the site to the satisfaction of the ESA.

In the case of accidental spills of oils, the affected soils shall be dug out and removed from the site for disposal at a licensed hazardous waste site and replaced with fresh topsoil.

Rehabilitation shall especially focus on all scarred and open areas, in order to reduce visual impacts as a result of the construction phase. Stored topsoil, if applicable, shall be used for rehabilitation purposes.

4 ENVIRONMENTAL SPECIFICATIONS: OPERATIONAL PHASE

The following responsibilities will be met to prevent negative environmental impacts:

- · Providing a budget for maintenance;
- Maintaining all approved infrastructure in good working order to effectively fulfill its intended purpose and to prevent negative environmental impacts;
- Not construct any additional buildings, infrastructure etc. contrary to the approved Environmental Authorization, without performing an environmental impact assessment to evaluate alternatives and environmental impacts;
- To immediately remedy any factors that contribute to negative environmental impacts:
- [Where the ROD requires this insert this clause] To do an annual environmental audit and to have the results in writing available at the administration offices of MTN.

4.1.1 Maintenance

Procedure to be followed to ensure the high standards of appearance and quality are maintained on the BTS sites to ensure that environmental issues are adequately addressed and that BTS sites are effectively maintained.

- All BTS sites must be maintained and cleaned as per the schedule set by the Field Maintenance Supervisor responsible;
- 2. The items that must be checked will be as per the list below and as reflected in detail in the Site Maintenance Report and Statement of Work reference documentation;
 - a. Fence and Gate: Secure and rust treat as necessary:
 - b. Signage: Check all signs as per the BTS Site Infrastructure Specification;
 - c. Terrain:
 - i. Clean and de-weed inside and outside the BTS site and clean a 1m perimeter area around the fence. In areas susceptible to soil erosion, cut weed perimeter in such a way as to protect soil from erosion;
 - ii. De-weed invasive vegetation in the surrounding area of the BTS site;
 - iii. Check for any rubble that could have accumulated from previous maintenance work or during the BTS site build and remove and dump and a registered waste disposal site.
 - d. Equipment Room: De-rust, wash walls and floor and dust interior:

- e.BTS Cabinet: Replace filter
- f. Container: Replace blown fluorescent lights (discard used lights in safe manner to ensure no mercury exposure), clean roof and cut away branches hanging over the site;
- g. Air Conditioner: Wash, dry and seal;
- h. Mast Navigation Lights: Replace blown globes
- Mast: Check foundation, bolts, bolt torque, cable tray, cage and contact specialist to remove nests;
- j. Road: Check condition i.e. check for signs of soil erosion, potholes and general sturdiness;
- k. Power Source: Check condition i.e. still safe and insulated:
- I. Maintenance Waste: All waste generated from the maintenance work must be removed from the area and disposed of at an approved landfill.
- 3. Invasive vegetation can easily be recognized as it is found in the immediate vicinity surrounding the site, but does not grow in the natural environment in the surrounding area. Normally the seeds of invasive vegetation are brought in an area with sand used during BTS site construction. Every effort must be made to remove invasive vegetation before it produces seeds.
- In non environmentally sensitive areas, MTN approved weed killers may be used, under controlled conditions, to minimize weed growth. Soil erosion must be considered and prevented prior to using any weed killers.
- Problems or non-compliance, such as poor road maintenance or erosion, mast paint peeling and poor mast condition, must be reported immediately. The necessary corrective action must be implemented to rectify the situation.

5 ENVIRONMENTAL SPECIFICATIONS: DECOMMISSIONING PHASE

The objective to provide guidelines is to prevent structures being left to deteriorate. Therefore it is imperative that non-functional structures are removed as soon as possible and the area is rehabilitated. If non-functional structures are no longer required, it must be maintained as if it is in use to prevent the environmental degradation of the area.

The Applicant will be responsible for the following:

- · Removal of the construction building rubble to a suitable licensed disposal facility;
- Ensuring that suitable arrangements are made to protect the environment against long term negative impacts;
- · Minimize negative visual impacts;
- · Maintain the storm water channels in a working condition;
- · Clean up contaminants of the environment;
- · Prevent erosion through regular monitoring and rehabilitation of degraded areas.

5.1.1 Procedure

Procedure to be followed when decommissioning a BTS site.

- A Work Authorisation must be issued by the Planning and Optimisation Division instructing
 the Implementation Division to decommission a particular site. In most cases, there will be a
 replacement BTS site issued at the same time. This may involve more than one BTS site to
 achieve the same coverage, largely depending on the site location and the Planning
 Engineer;
- 2. The BTS site will only be decommissioned once the replacement site has been activated (this is preferred, but not always possible), otherwise the replacement site must have at least been approved by the Property division and an instruction to proceed with the replacement BTS site build has been given to the Implementation Division;
- 3. When the site is decommissioned, the following areas should be considered as detailed further below:
 - a. Slab and concrete work;
 - b. Tower;
 - c. Antennas;
 - d. Feeder System;
 - e. Fencing and Guardrails;

- f. Container:
- g. Site Rehabilitation;
- h. Dumping
- i. Power connection to be disconnected

Slab and Concrete Work

- 4. All the concrete, cement and reinforcing on site must be removed and disposed of in a Registered dump by the Contractor. All land must be filled with landfill and compacted as necessary. (refer to owners requirements). If the landlord agrees, the concrete, cement and reinforcing can remain as is.
- All stone or site fill must be removed and disposed of in an approved landfill by the Contractor.

Tower

- The tower must be dismantled in a controlled manner and transported to the original tower manufacturer for inspection. The tower must be inspected for conformance to the current MTN specification. If the tower meets MTN's current tower specifications it must be packed for redistribution to another BTS site.
- 7. If the tower does not meet MTN's current tower specification it must be sent to the central warehouse or a location specified by the warehouse. The tower will then be retained until it can be removed (depreciated) from the asset register and sold as scrap metal.
- 8. All accessories associated with the tower such as booms, antenna poles, cat ladders, cables etc must be inspected and returned to the central warehouse for inspection, packaging and redistribution to another BTS site.
- All antennas shall be returned to the warehouse for testing to ensure that they still meet the
 manufacturers specification. The central warehouse will identify whether they are on MTN's
 accepted antenna list. If so, they will be placed back in stock and redistributed to another
 BTS site.
- 10. If the antenna is not on MTN's current accepted antenna list, it will be sent to the central warehouse until it is removed from the asset register (depreciated) and scrapped.
- 11. Antenna brackets will be returned to the central warehouse for inspection and redistribution.

Feeder System

- 12. Connectors will be cut off the feeder cable, the open ends will be weather sealed, rolled and sent to the central warehouse for inspection, evaluation and redistribution.
- 13. The warehouse will dispose of unusable feeder cable according to the approved disposal procedure.

- 14. All feeder brackets and clamps must be packed and sent to the central warehouse for distribution.
- 15. Earthing materials must be returned to the central warehouse for redistribution or disposal. Waterproofing should be disposed of by the Contractor in an approved landfill.

Fencing and Guardrails

- 16. All fencing must me removed in a controlled manner for reuse. Concrete must be removed and dumped in an approved landfill by the Contractor.
- Gates and access ways must be returned to the central warehouse for inspection and redistributed to another BTS site.
- 18. All electric fencing must be removed and returned to the central warehouse for inspection and redistribution.

Container

- 19. The container must be stripped of all equipment, returned to the manufacturer for inspection and refurbished if necessary. The container is then redistributed to another BTS site, preferably in the same region.
- 20. All other equipment must be sent to the Central Warehouse for evaluation and redistribution, if applicable.
- 21. All the equipment above must go through acceptance testing as per the acceptance procedure relating to that specific piece of equipment.

Site Rehabilitation

22. The BTS site, access roads and any trenches must be rehabilitated, conforming to ISO standards and to a level accepted by both the ESA and the landlord and must meet legal obligations that may be imposed or apply to that particular BTS site.

Dumping

- 23. No Contractor or Sub-contractor will dispose of any (dump) material or product without the approval from the responsible ESA.
- 24. All materials or products must be disposed of in the correct manner, in approved dumping site by the Contractor or Sub-Contractor. MTN must ensure that this procedure is followed for all sites decommissioned.

Records

Records of such decommissioning shall be kept electronically on the MTN Operating System.

6 EMERGENCY RESPONSE PLAN

The objective of this section is to provide a brief summary of options available to the ESA. The details of the design will reside with the designers, but cognizance should be taken of the design philosophy and key aspects given in the guidelines to problem solving given below.

6.1 Typical remedial work options

The following table is provided to assist the Contractor and ESA with problem solving:

Observation or Event	Action by ESA	Action by Contractor			
Spillage of diesel or	Report to ESA and continue	Action will be required asap by following the			
hydrocarbons on soil	observations.	next steps:			
	Also check:	> Dig down into the soil to see how far down			
	> That the source causing the	the pollution has penetrated;			
	spillage is decommissioned,	> If penetration is less than 300mm:			
	and that the affected area is	a. Turn the soil over to expose it to the air:			
	isolated to prevent spreading	b. Apply Mono Ammonium Phosphate			
	of the hazardous substance	(MAP) at a rate of 58gr/m² to the dug up soil			
		c. Water enough to keep the soil moist			
		> If penetration is greater than 300mm:			
		a. Remove the affected soil and spread in			
	a layer not more than 300mm thick;				
		b. Apply MAP at a rate of 50gr/m²			
		c. Water enough to keep the soil moist			
		> Repeat the above steps every 6 weeks or			
		until the soil is clean			
General Surface	Report to ESA and continue	Action will be required asap:			
Erosion	observations.	> Implement erosion protection works at			
	Also check:	identified problem areas;			
	> In respect of erosion of roads	> Implement remedial works to be done at			
	that all vehicular movement	affected areas in order to restore the area			
	is restricted to the existing	to its previous or better status.			
	access routes to prevent				
	criss-crossing of tracks				
	through undisturbed areas.				

This EMPR has been assessed/re	viewed and agreed with
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HOD - Implementation	SUPERVISOR - Property
Name:	Name:
Region:	Region:
Date:	Date:
Environmental Consultant (ESA)	
Name:	
	Name:
Company:	Region:
Date:	Date:

Appendix G1: Public Participation and Other Information

G1(a) - Public Participation - Proof of Site Notice

G1(b) - Public Participation - Proof of Written Notices to I&AP

G1(c) - South African Civil Aviation Authority Information

G1(d) - Public Participation - Proof of Newspaper Advertisement

G1(e) - Register of Interested and Affected Parties

G1(a) - Proof of Site Notice



Site Notice 1affixed to temporary stand next to entrance



Site Notice Site Notice 1affixed to temporary stand next to entrance



Site Notice 1affixed to temporary stand next to entrance



Site Notice 2 affixed to Temporary stand next to gate.



Site Notice 2 affixed to Temporary stand next to gate.



Site Notice 2 affixed to Temporary stand next to gate.



Site Notice 3 affixed to temporary stand on corner of R33 and Road to Naudesbank



Site Notice 3 affixed to temporary stand on corner of R33 and Road to Naudesbank



Site Notice 3 affixed to temporary stand on corner of R33 and Road to Naudesbank

G1(b) - Proof of Written Notices

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Our Reference: T8949 / 17/2/3/GS-81

Your Reference:



The Municipal Manager Albert Luthuli Local Municipality P O Box 24 Carolina 1185

Reg. No. 2001/080535/23

PO Box 32017, Totiusdal, 0134

414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504/ 6

Fax: (012) 804 7072

e-mail: admin@torbiousesolutlons.co.za

Attention:

Mr V N Mpila

Environmental Management Section

Facsimile:

(017) 843 4001

E-mail:

Dear Sir / Madam.

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (gg) IN REGULATION 546: ESTABLISHMENT OF A VODACOM (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

In terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

WA VAN'T FOORT

Comments:

For: Torbiouse Solutions cc

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Our Reference: T8949 / 17/2/3/GS-81

Your Reference:

The Municipal Manager Albert Luthuli Local Municipality P O Box 24 Carolina 1185

Attention:

Mr V N Mplia Environmental Management Section

Facalmile: E-mail:

(017) 843 4001



Reg. No. 2001/080535/23

PO Box 32017, Totluedal, 0134

414 Rustic Road Silvertondale, 0164 Pretoria

Tel: (012) 804 1504/ 6 Fax: (012) 806 7072 e-mail: admin@torbiousesolutions.co.za

Dear Sir / Madam.

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) II (gg) IN REGULATION 848: ESTABLISHMENT OF A VODACOM (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

in terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

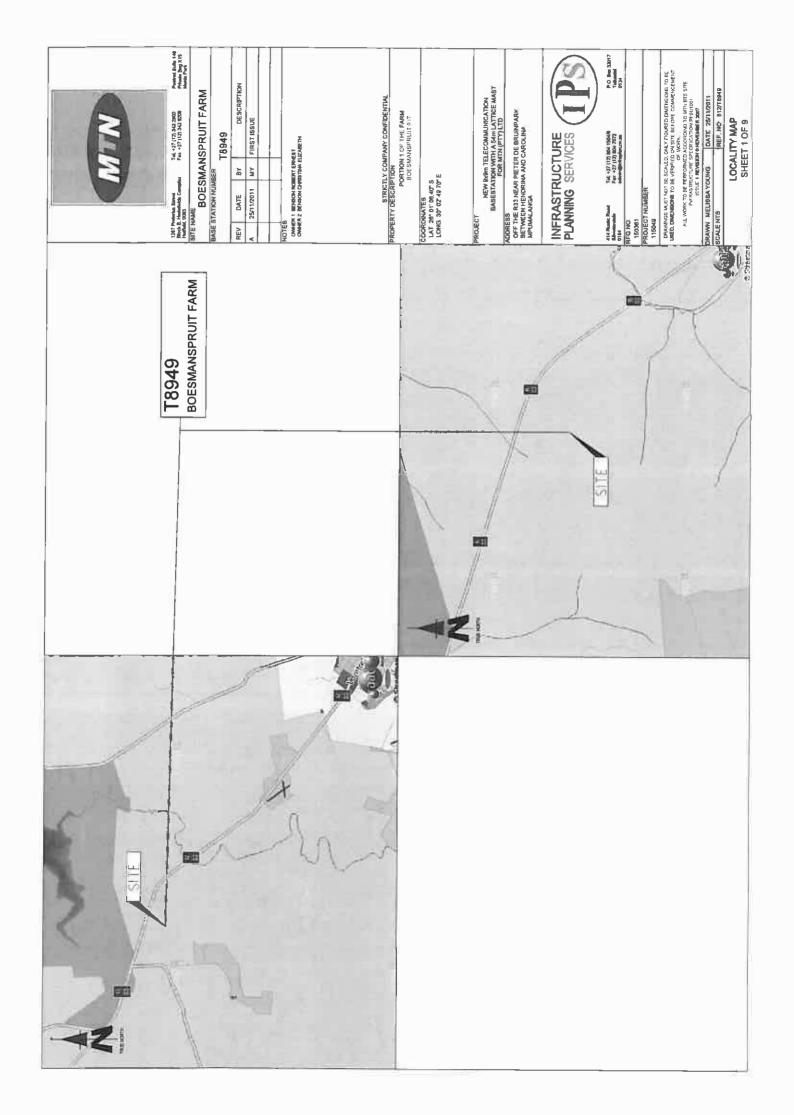
We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

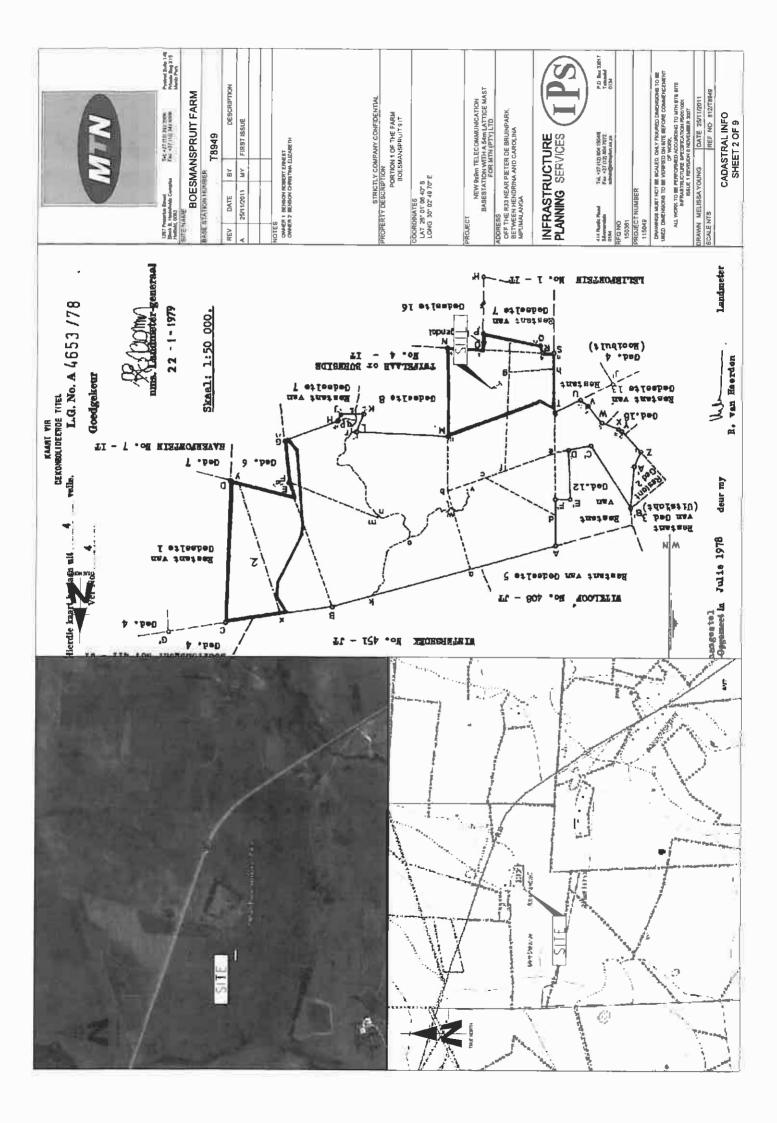
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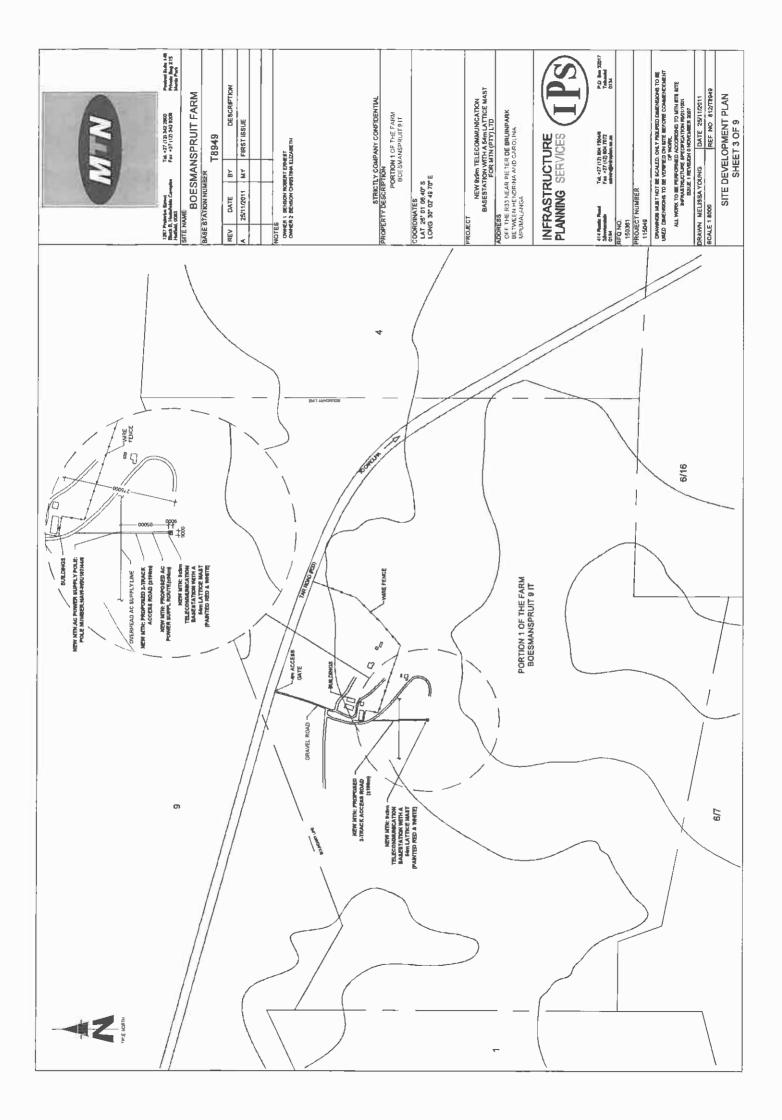
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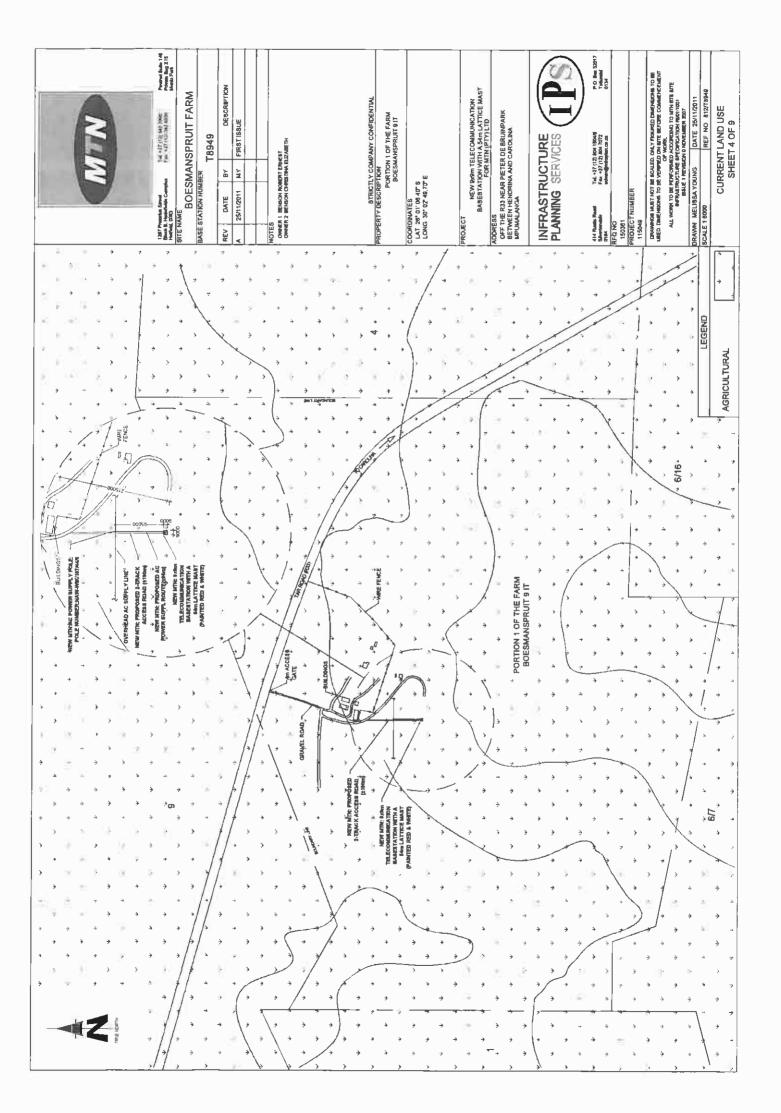
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Comments:		
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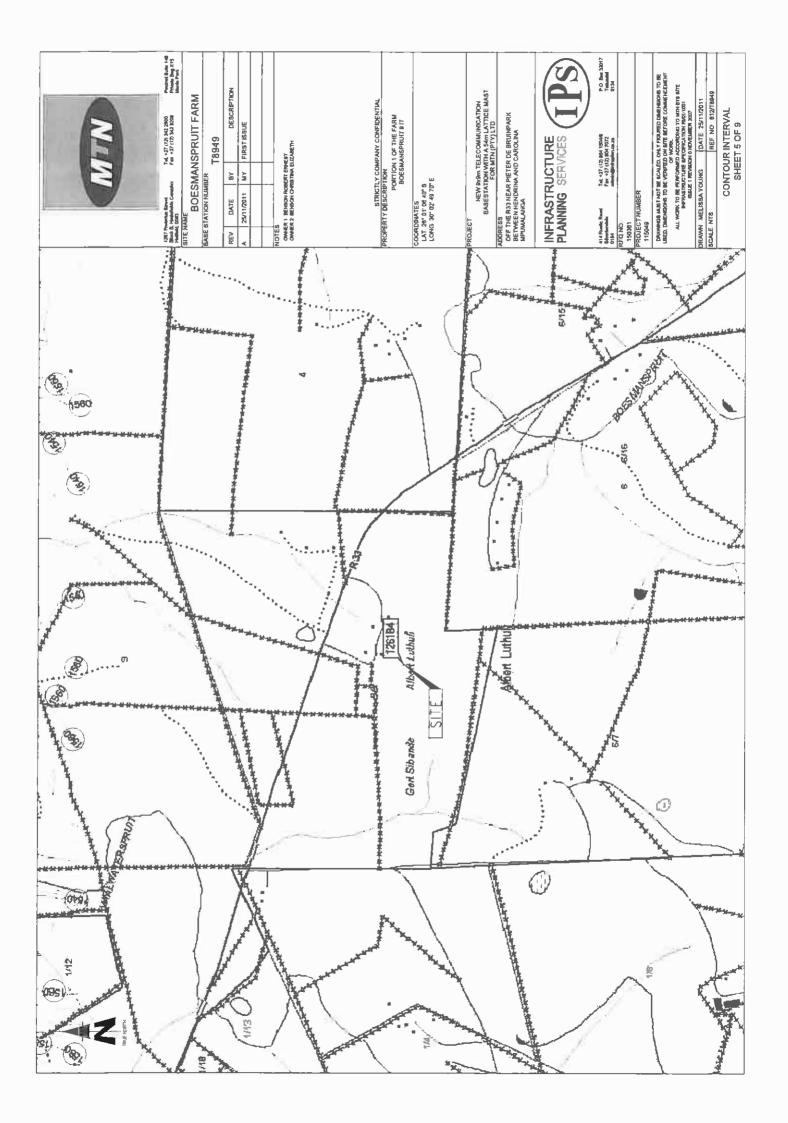
Members: KW Anholts: GA Anholts

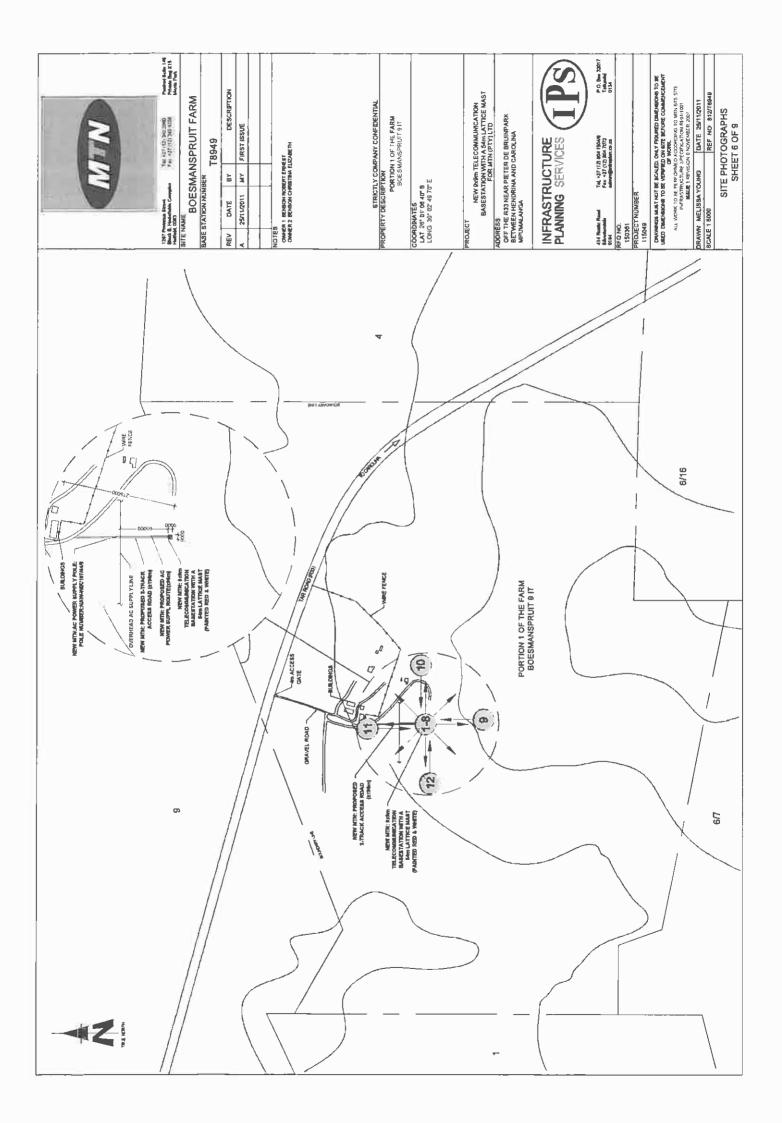


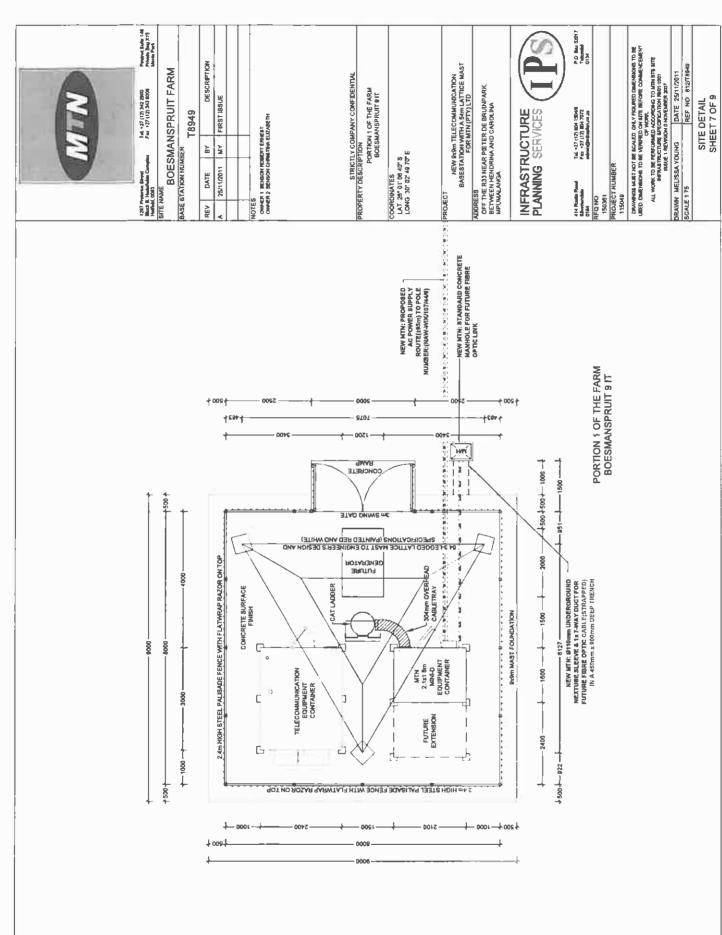






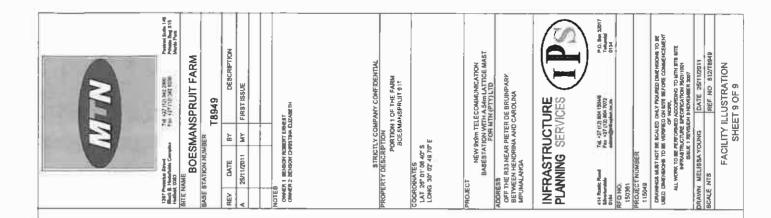




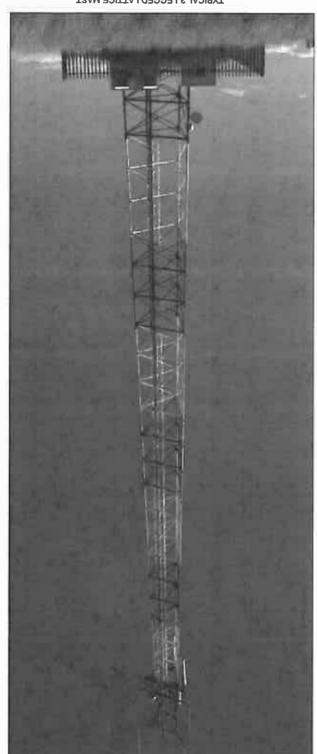




				1.53° Problem Street BOOE SIMPLE Conceiled FINANCIONAL SITE NAME BASE STATION NUMBER T8949 REV DATE BY FIRST ISSUE	NOTES OWER'S BENCON CHRISTIE ENERS TO OWER'S BENCON CHRISTIE ELECARETH	PROPERTY DESCRIPTION PROPERTY DESCRIPTION TO THE FARM POCHONITE IT COORDINATE LAT 26 '01' 00' 05 LONG 30' 02' 49 70' E	NEW 968M TELECOMMUNACATION BASESTATION WITH A GAIN WITH A GAIN CODRESS OFF THE R33 NEAR PIETER OF BRUINDARK BETWEEN HENDRINA AND CAROLINA NOUMLANGA	THE PLANNING SERVICES TO BE 2007 141 PARAMETER AND THE ACT THE SERVICES TO BE 2007 150.00 1	UNED DIRECHBORS TO BE REPURED ON HIT BEFORE COMMENCEMENT ALL WORST OF BE REPURED ON HITTER BEFORE ADMINISTRATION HONORING BEALE S FORMACH ON SAVEMER 2007 DRAWN MELISSA YOUNG DREE NO 812/115/2011 SCALE 1 100 WEST ELEVATION SHEET 8 OF 9
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TYPICAL 3-LEGGED LATTICE MAST (PAINTE)



Our Reference: T8949 / 17/2/3/GS-81

Your Reference:

16 February 2012

The Municipal Manager Gert Sibande District Municipality P O Box 550 Secunda 2302



Reg. No. 2001/080535/23

PO Box 32017, Totiusdal, 0134

414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504/ 6

Fax: (012) 804 7072

e-mail: admin@torblousesolutions.co.za

Attention:

Mr M A Ngcobo

Environmental Management Section

Facsimile:

(017) 631 1607

Dear Sir / Madam,

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b): (a) ii (gg) IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

In terms of the Act and related regulations and guidelines Local Authorities are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

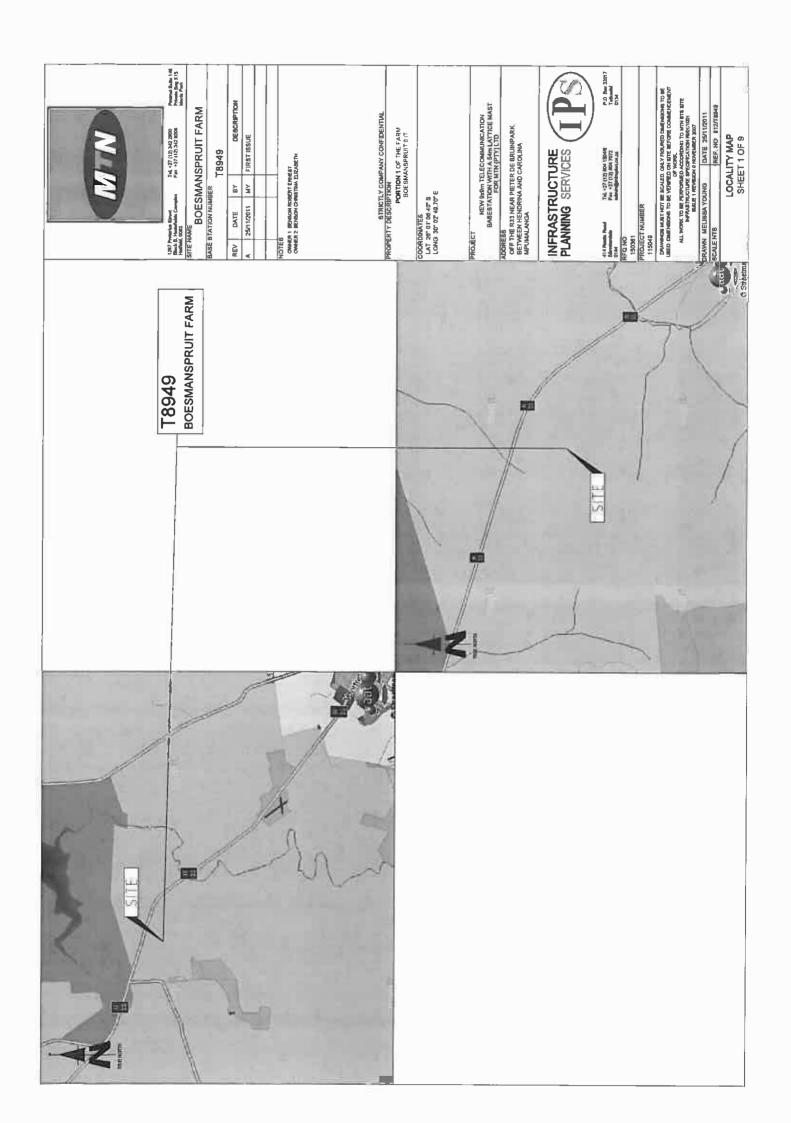
Should you have any further queries please do not hesitate to contact us.

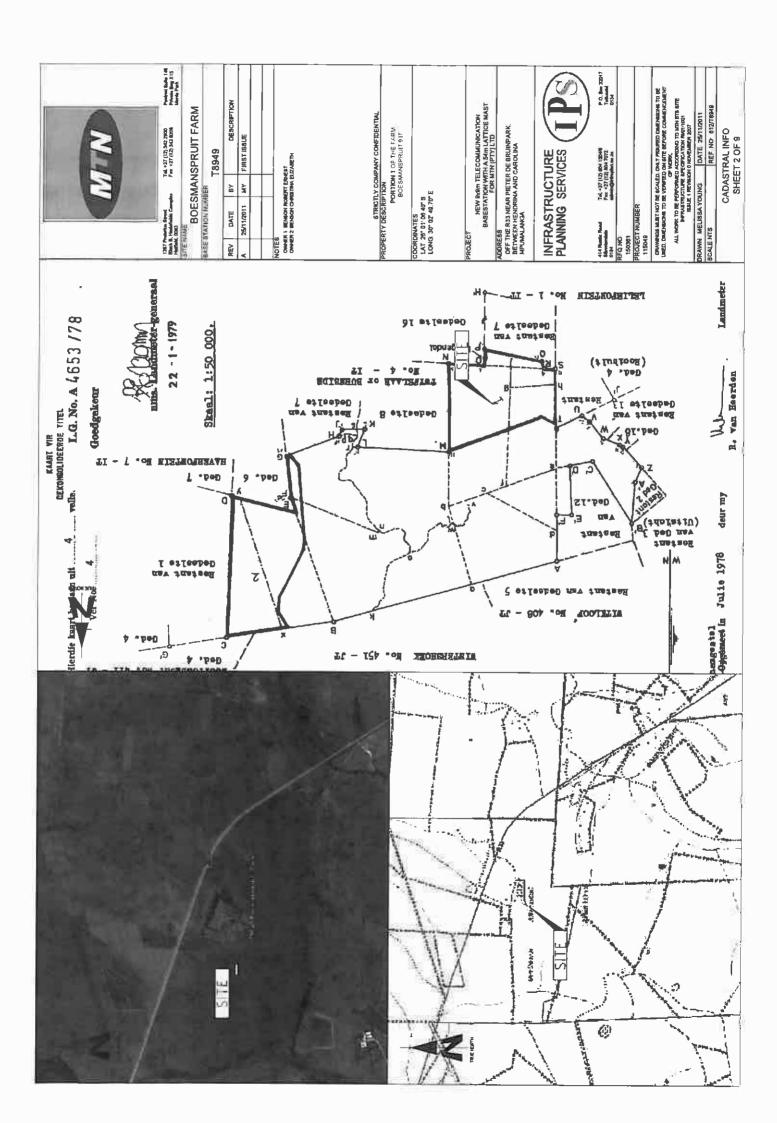
Kind Regards,

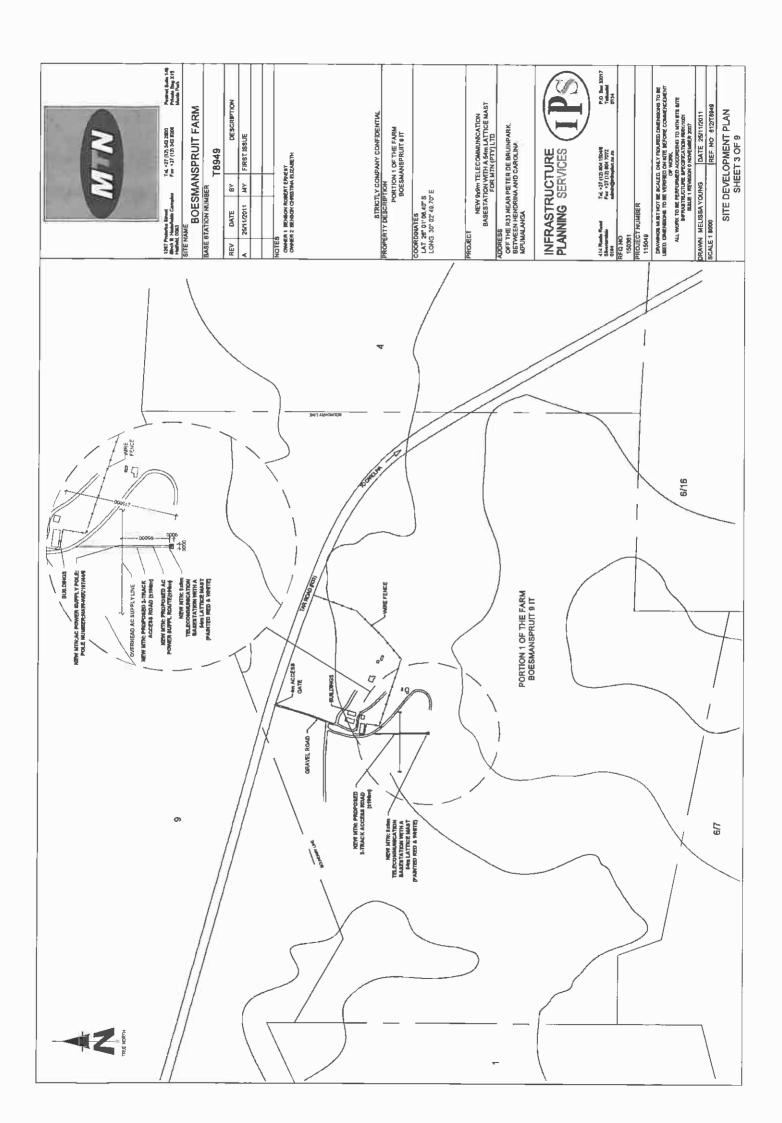
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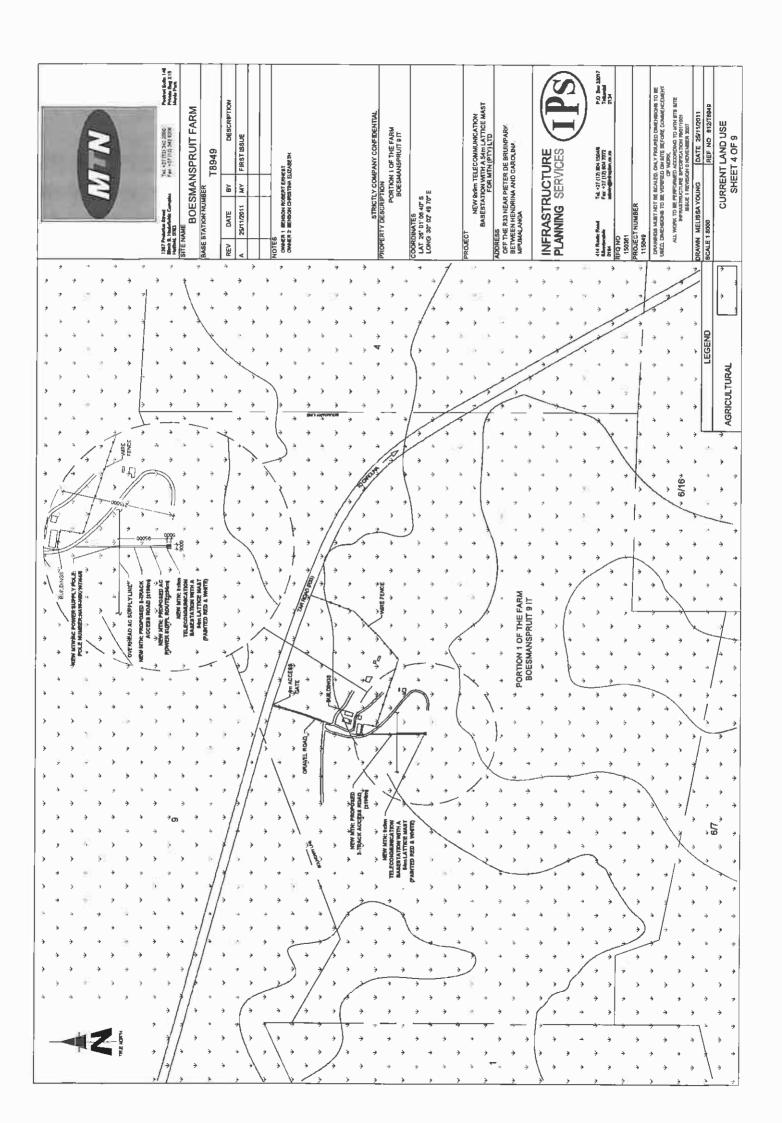
For: Torbiouse Solutions cc

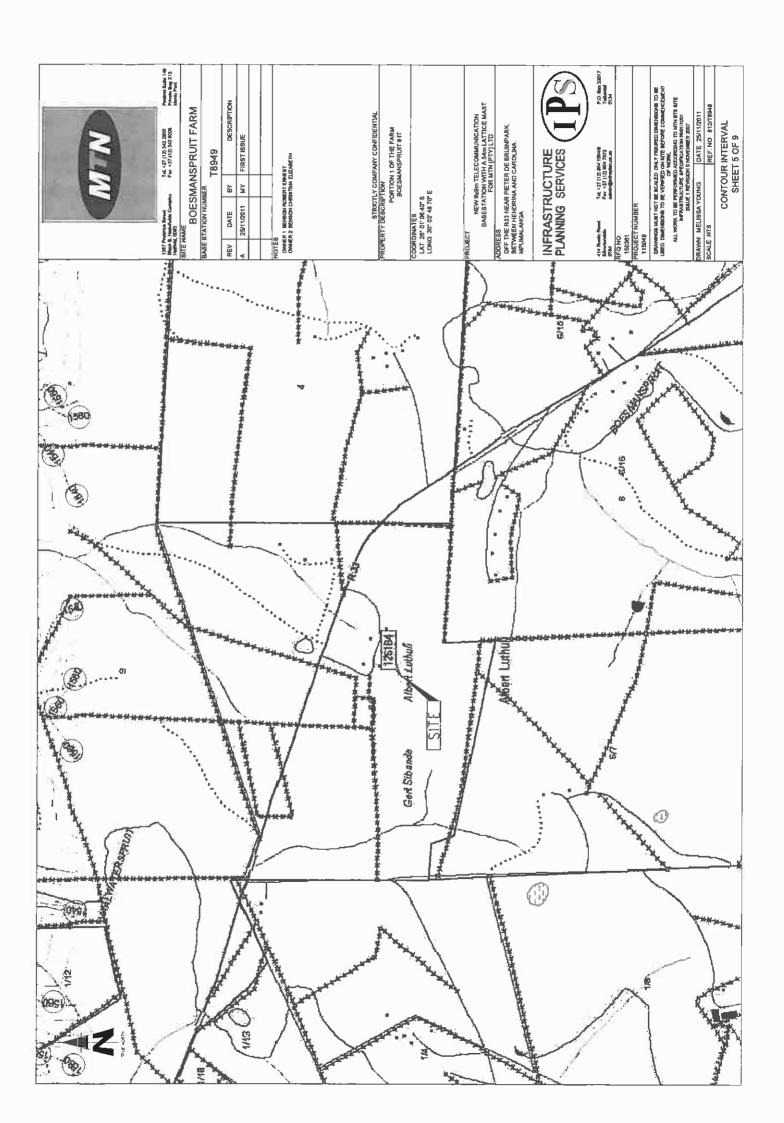
Comments:

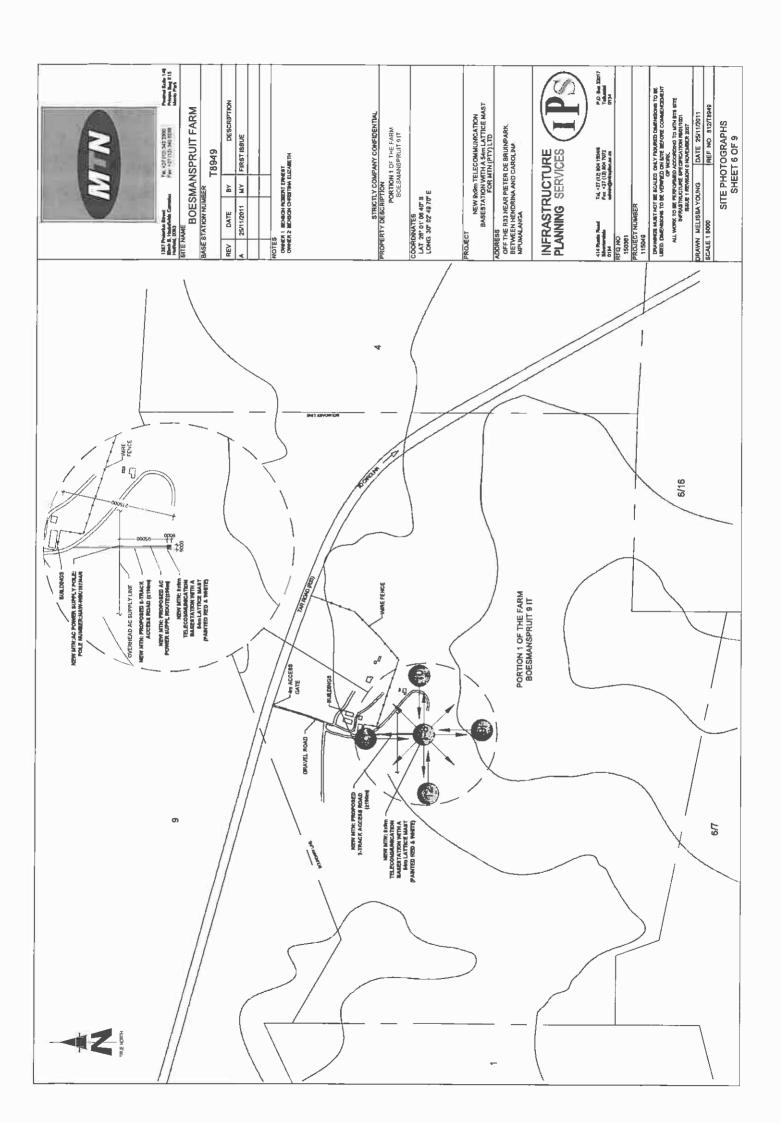


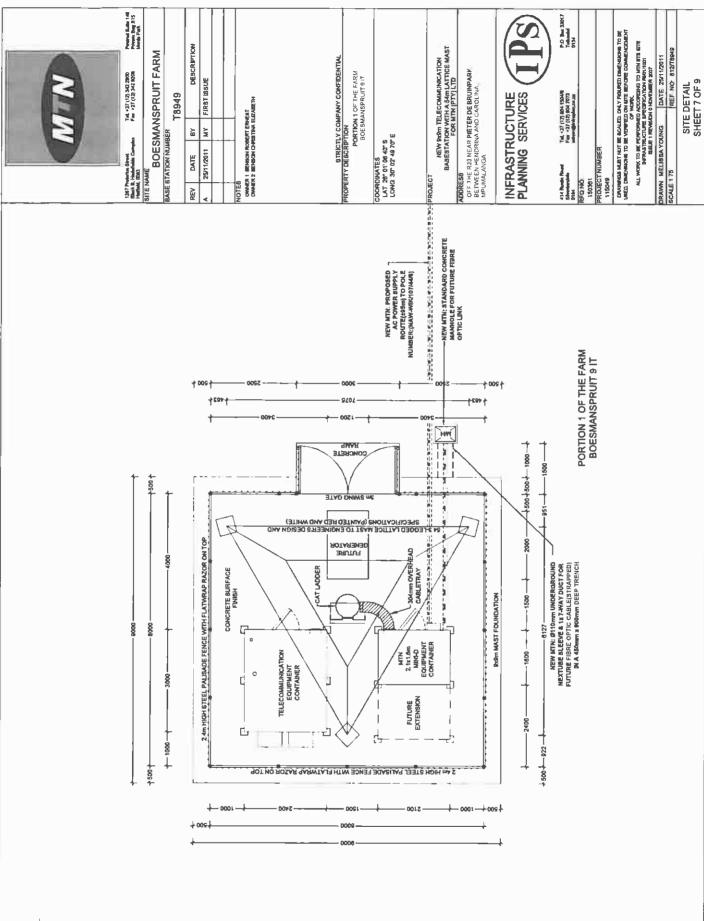




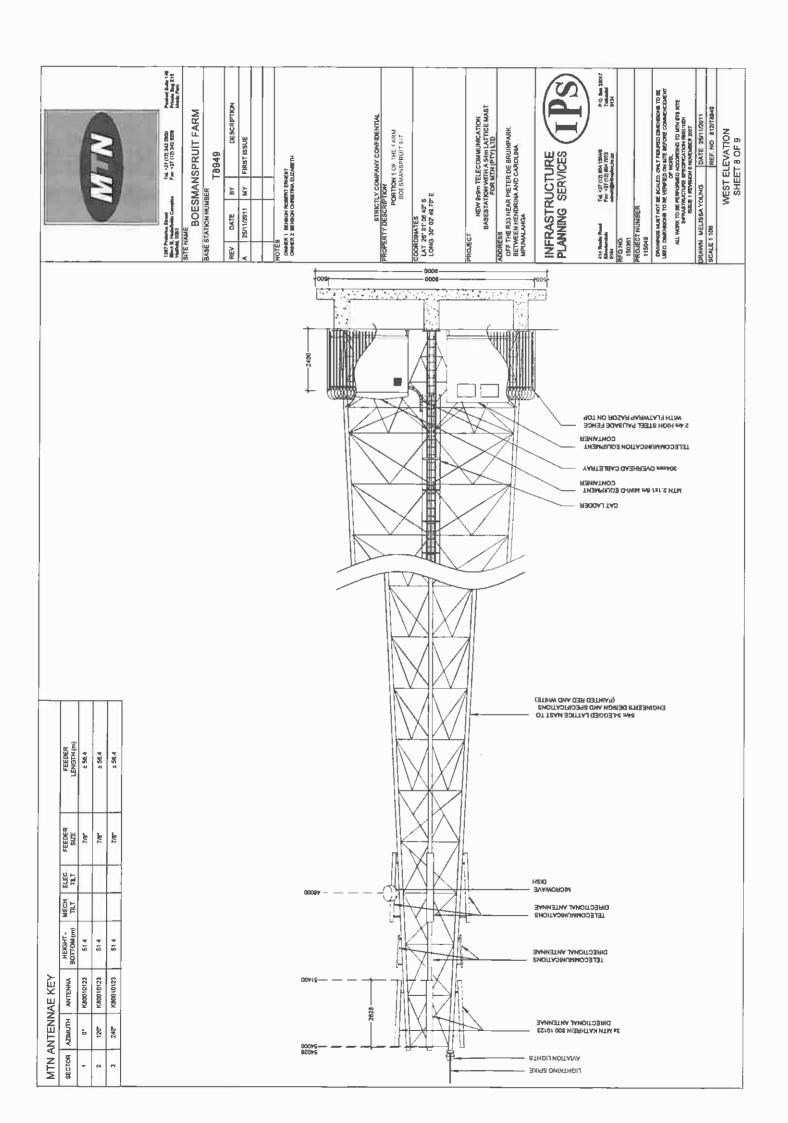


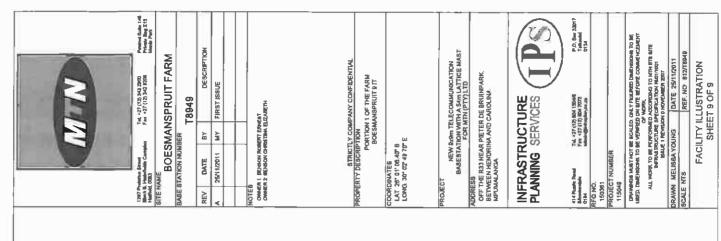




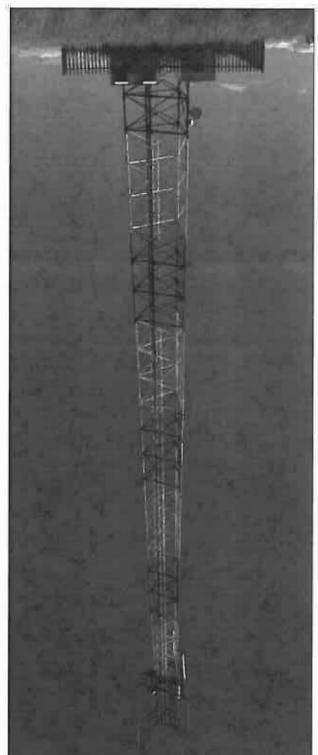








TYPICAL 3-LEGGED LATTICE MAST (PAINTE)



Our Reference: T8949 / 17/2/3/GS - 81

Your Reference:



Reg. No. 2001/080535/23

PO Box 32017, Totiusdal, 0134

414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504/ 6

Fax: (012) 804 7072

e-mail: admin@torbiousesolutions.co.za

The Ward Councillor Albert Luthuli Local Municipality P O Box 24 Carolina 1185

Attention:

Clr M L Thete

Councillor: Ward 21

Facsimile:

(017) 843 4001

E-mail:

Dear Sir / Madam,

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b): (a) ii (gg) IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

In terms of the Act and related regulations and guidelines ward councillors are identified as key interested and affected parties (I&AP).

We request you to evaluate the attached information on the proposed project and provide us with your written comments and/or inputs, if any, by faxing or e-mailing such within 30 days from the date of this notification. It will be assumed that you do not have any comments on the Environmental Application of the proposed project on the expiry of the 30 day response period.

Please forward the attached documentation to the relevant Resident Association or provide us with their contact details.

Should you have any further queries please do not hesitate to contact us.

Kind Regards,

Comments:

WA VAN'T FOORT

TC: 832126

Destination	Start Time	Time	Prints	Result	Note
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0178434001	03-06 15:34	00:04:57	003/010	OK	

Note

mer TX, POL! Polling, ORG: Original Size Setting, FME: Frame Erase TX, xed Original TX, CALL: Manual TX, CSRC: CSRC, FOD: Forward, PC: PC-Fax, wble-Sided Binding Direction, SP: Special Original, FCODE: F-code, RTX! Re-TX, MBY, MBY! Confidential, BUL: Bulletin, SIP: SIP Fax, IPADR! IP Address Fax, Internet Fax

Result OK: Communication OK, S-OK: Stop Communication, PW-OFF: Power Switch OFF, TEL: RX from TEL, NG: Other Error, Cont: Continue, No Ans: No Answer, Refuse: Receipt Refused, Busy: Busy, M-Full: Memory Full, LOVR: Receiving length Over, POVER: Receiving page Over, FIL: File Error, DC: Decode Error, MDN: MDN Response Error, DSN: DSN Response Error.

Our Reference: T8949 / 17/2/3/GS - 81

The Ward Councillor Albert Luthull Local Municipality P O Box 24 Cárolina 1185

Your Reference:



Reg. No. 2001/080535/23

PO Box 32017, Totlundal, 0134

Tel: (012) 804 1504/ 6 Fax: (012) 804 7072 a-mail: admin@torbiousesolutions.co.za

Attention:

Cir M L Thete Councillor: Ward 21

Facelmile: E-mail:

(017) 843 4001

Dear Sir / Madam.

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (gg) in regulation 846: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM (PTY) LTD TELECOM BOESMANSPRUIT 9 IT.

In terms of the Act and related regulations and guidelines ward councillors are identified as key interested and affected parties (I&AP).

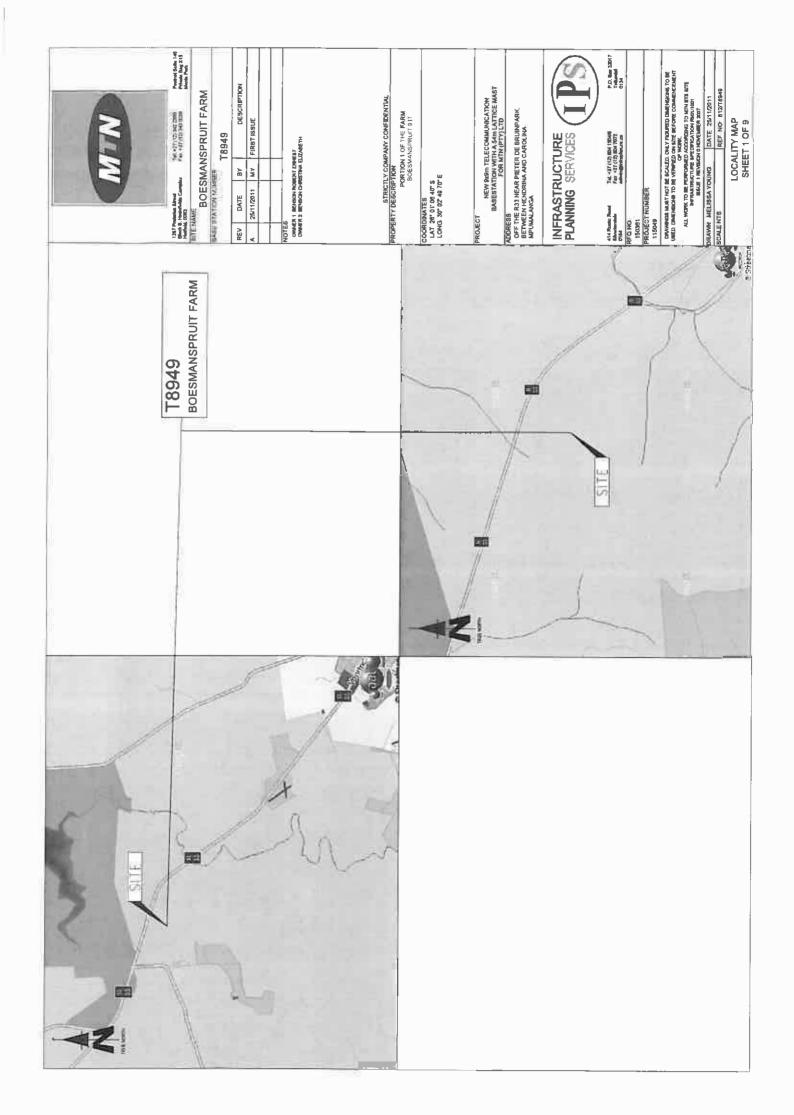
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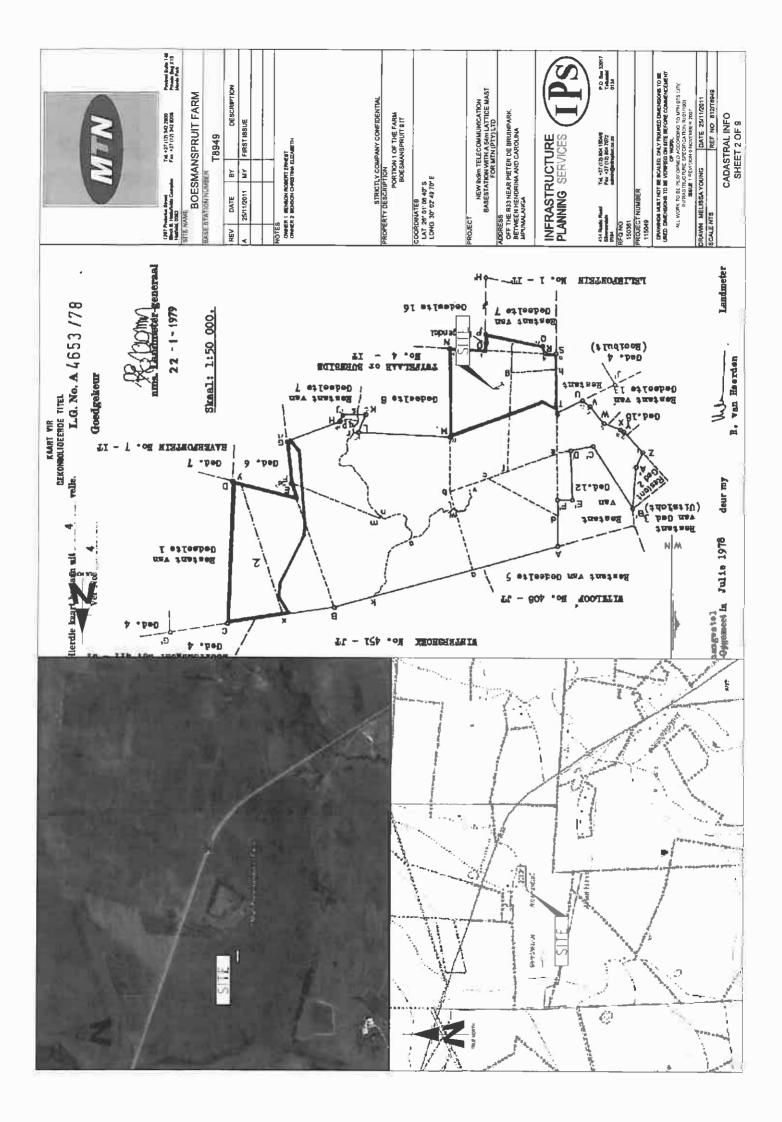
Please forward the attached documentation to the relevant Resident Association or provide us with their contact details.

Should you have any further queries please do not hesitate to contact us.

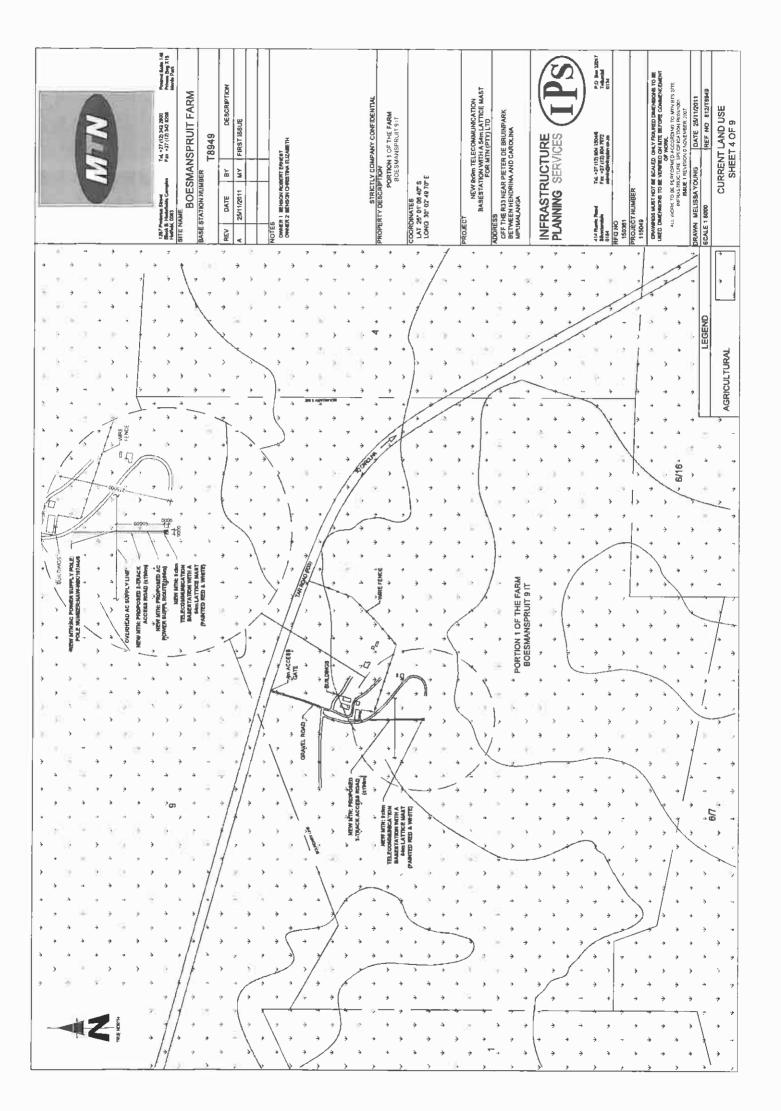
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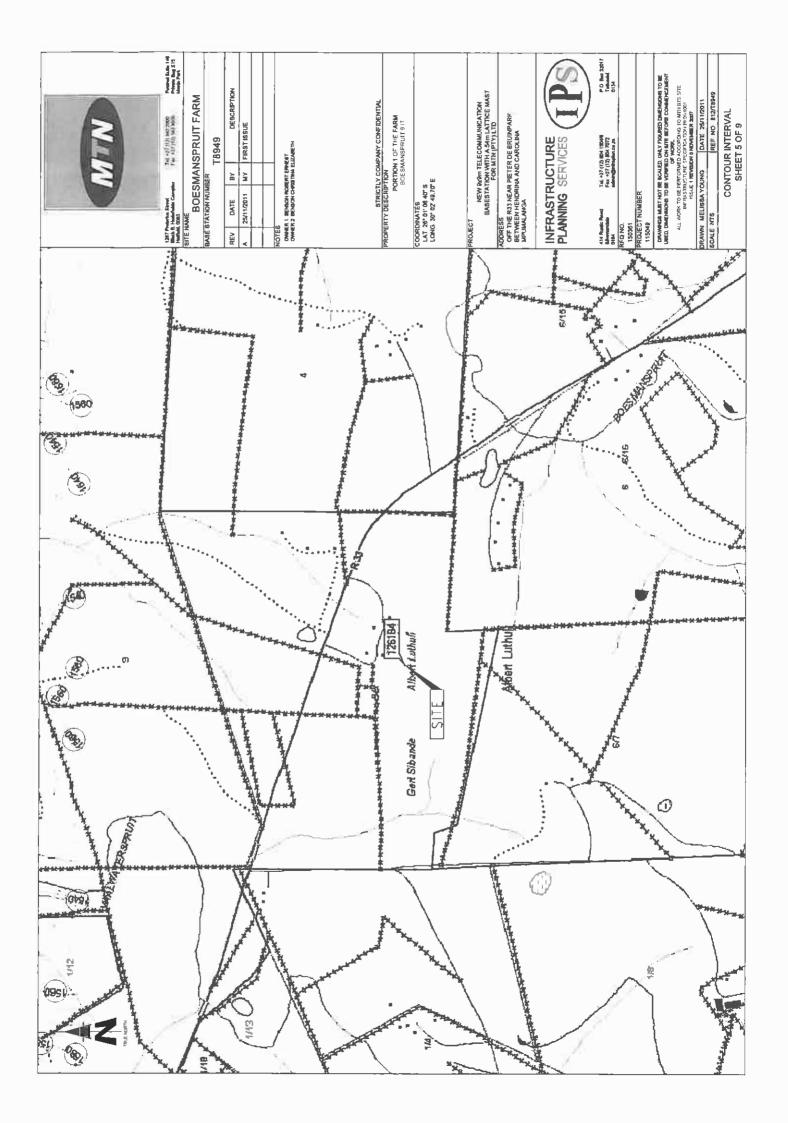
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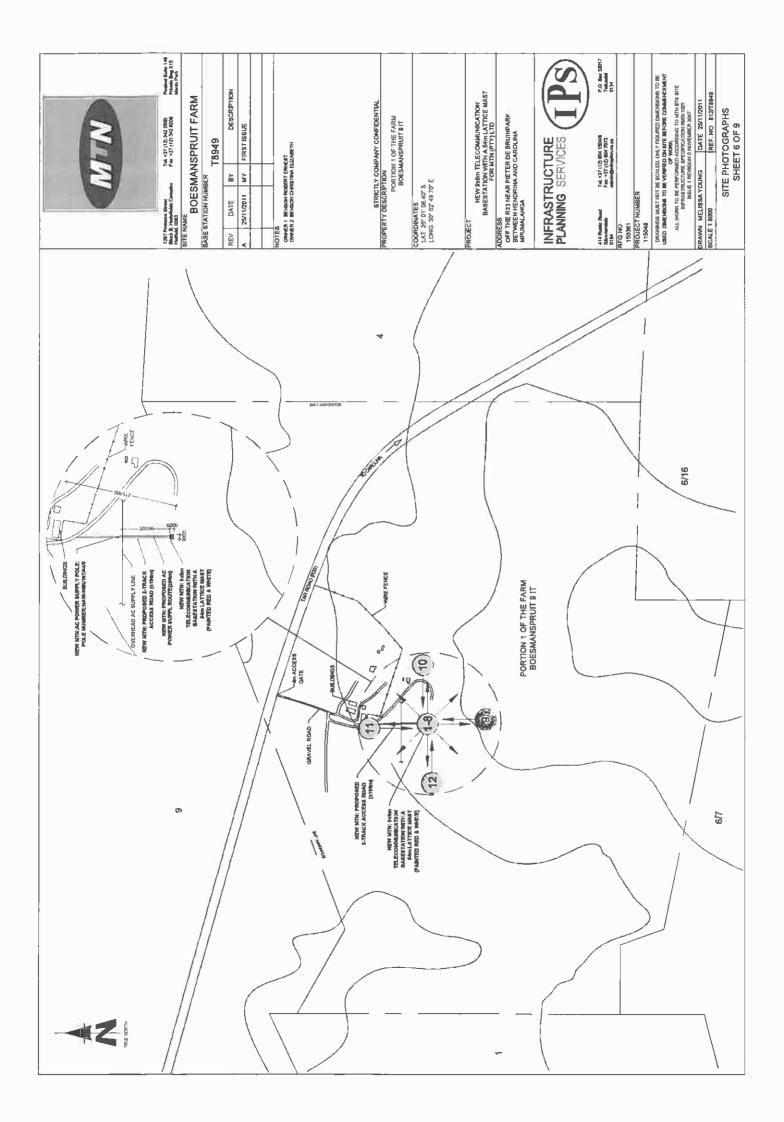


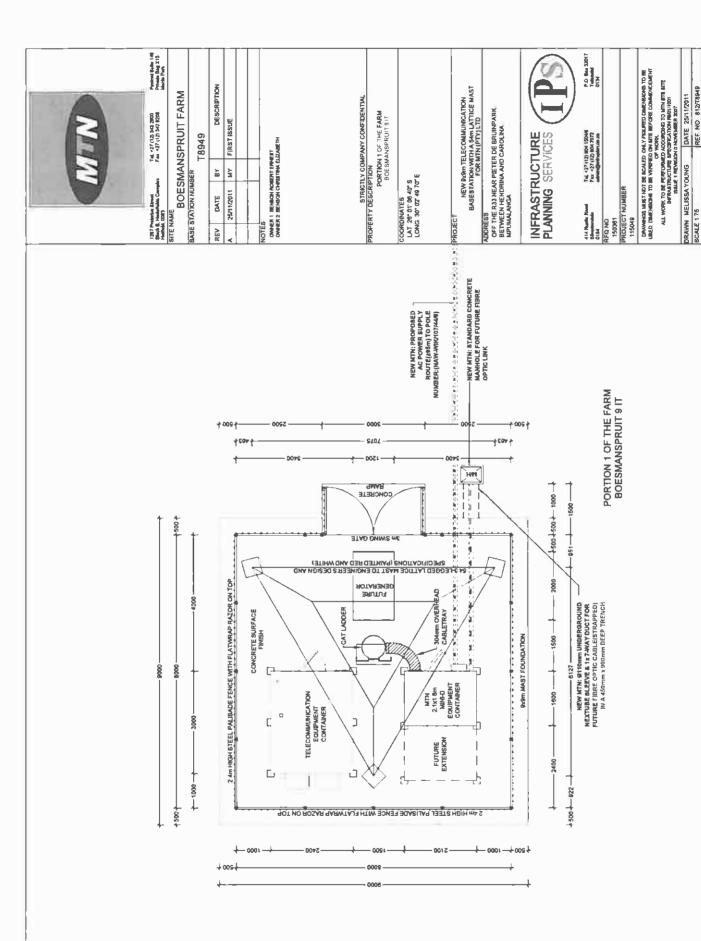






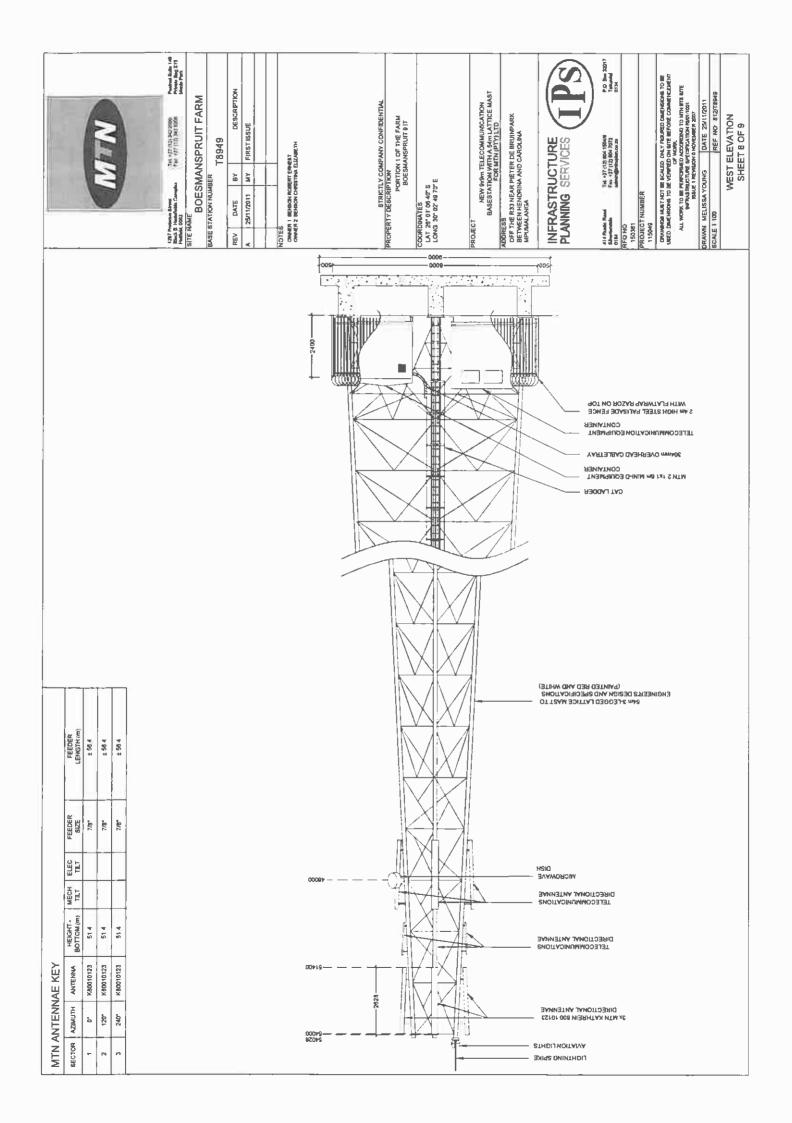


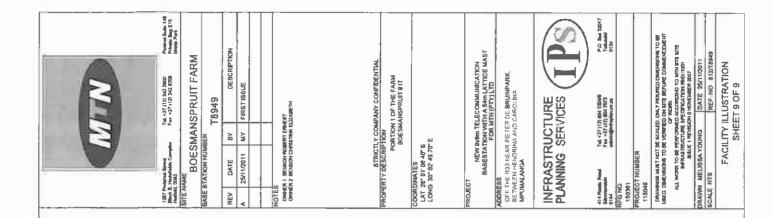




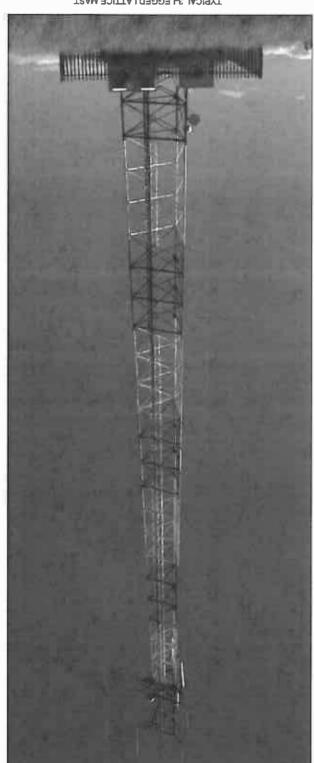
SITE DETAIL SHEET 7 OF 9







TYPICAL 3-LEGGED LATTICE MAST (PAINTE)



The Executive Officer
South African Heritage Resources Agency
P O Box 4637
Cape Town
8000



Reg. No. 2001/080535/23 PO Box 32017, Totiusdal, 0134 414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504 / 6 Fax: (012) 804 7072 e-mail: admln@torbiousesolutions.co.za

Via Registered Mail

DEAR SIR/MADAM

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3(a) & (b): (a) ii (gg) IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

We are acting on behalf of MTN (Pty) Ltd in order to apply to the Mpumalanga Department of Economic Development, Environmental and Tourism to establish a telecommunication base station on **Portion 1 of the Farm Boesmanspruit 9 IT**

Attached hereto find:

- 1. Public Participation notice
- 2. Site Development plan
- 3. Facility Illustration

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully

M NIEHOF

PUBLIC PARTICIPATION PROCESS

REFERENCE NUMBER: 17/2 / 3 / GS - 81

Regulation 546 activity 3 (a) & (b) : (a) ii (gg) : Establishment of an enclosed telecommunication base station with a 54m mast for MTN (Pty) Ltd: T8949

Boesmanspruit Farm

Location:

Portion 1 of the Farm Boesmanspruit 9 IT

Co-ordinates (WGS84 format) of the alternatives on the above property.

Latitude:26° 01' 06.4" S Longitude: 30° 02' 49.70" E (Lattice type mast painted red and white) Alternative 1:

mpact Assessment Regulations 2010 (R543) as amended promulgated in terms of the National Environmental Management Act 1998 (Act No. 107 of 1998) as Notice is hereby given of a public participation process in terms of the Environmental amended ("NEMA").

an application is to be submitted to the Mpumalanga Department of Economic Basic assessment procedures will be applied in accordance with regulation 543 and Development, Environment and Tourism. The applicant furthermore intends to apply to the Mpumalanga Department of Economic Development, Environment and Tourism for exemption in terms of Chapter 5 of the Environmental Impact Assessment Regulations 2010 (R543) to assess alternatives with regard to the planned activity.

Applicant:

MTN (Pty) Ltd, P.O. Box 4559, Northcliff, 2115.

Environmental Assessment Practitioner (EAP):

Torbiouse Solutions CC.

P.O. Box 32017, Totiusdal, 0134

Telephone: (012) 804 1504/6; Facsimile: (012) 804 7072 Attention: Wilbert van't Foort

E-mail: admin@infraplan.co.za

Further information regarding the proposed activity can be obtained from the EAP.

Any interested and affected party may, In writing, make representations on the physical & postal addresses (including facsimile & e-mail where possible) and contact number(s) and quoting the activity reference number, to the EAP within 30 proposed activity or request to be registered as an interested and affected party, by submitting the written representations or registration request, including their name, calendar days from the publication of this notice.

Notice publication date:

16 February 2012

UHLELO LOKUHLANGANYELA KOMPHAKATHI

17/2 / 3 / GS - 81 NOMBOLO YEREFERENSI: Umyalelo womthetho 546 umsebenzi 3 (a) & (b) : (a) ii (gg) : Isakhiwo esiyisizinda sezokuxhumana ngocingo esivalekile se-MTN (Pty) Ltd ene-*mast* engama-**54m** kanye nendawo (nezindawo) yokubeka impahla: **T8949 Boesmanspruit Farm**

Indawo: Portion 1 of the Farm Boesmanspruit 9 IT

izindawo zezizinda ezihlukile ezifana nalesi esingenhla (WGS84 isimo sokwakheka) Ezinye

Ubude: 30° 02' 49.70"E Induku ye-lattice ependwe ngokubomvu nokumhlophe Ububanzi:26° 01' 06.4"S Esihlukile 1:

njengoba ichibiyelwe yamenyezelwa Ngalokhu kunikezwa isaziso senqubo yokubamba iqhaza komphakathi ngokuhambisana Nemithetho Yokuhlola Umthelela Wamandla Kwezenhlalo (i-Environmental Impact (i-National Environmental Management Act) ka-1998 (Umthetho weNombolo-107 ka-1998) Ezenhlalo Kuzwelonke ngokuhambisana Nomthetho Wokuphatha Assessment Regulations) ka-2010 (R543) njengoba uchibiyelwe (i-"NEMA").

ukuze akhululwe ngokwemibandela yomthetho 5 weMithetho Yokuhlolwa Kokuthinteka Kwemvelo ka-2010 (R543) ukuze ahlole ezinye izindlela zokuqhubeka nomsebenzi yomthetho 543 bese kufakwa islcelo eMnyangweni Wezolimo, Ukunakekelwa kanye neZemvelo WaseMpumalanga. Umenzi wesicelo uhlose futhi ukwenza isicelo kuMnyango Wezolimo waseMpumalanga, Ukulondolozwa Kwamagugu Nezemvelo eziyisisekelo zokuhlola zizosetshenziswa ngokuvumelana nemiyalelo Izingubo ohleliwe.

Umuntu ofaka Isicelo:

MTN (Pty) Ltd, P.O. Box 4559, Northcliff, 2115.

sisebenzi Esihlola Ezemvelo (Environmental Assessment Practitioner (EAP)):

Torbiouse Solutions CC., P.O. Box 32017, Totiusdal, 0134

kuqondiswe ku- Wilbert van't Foort

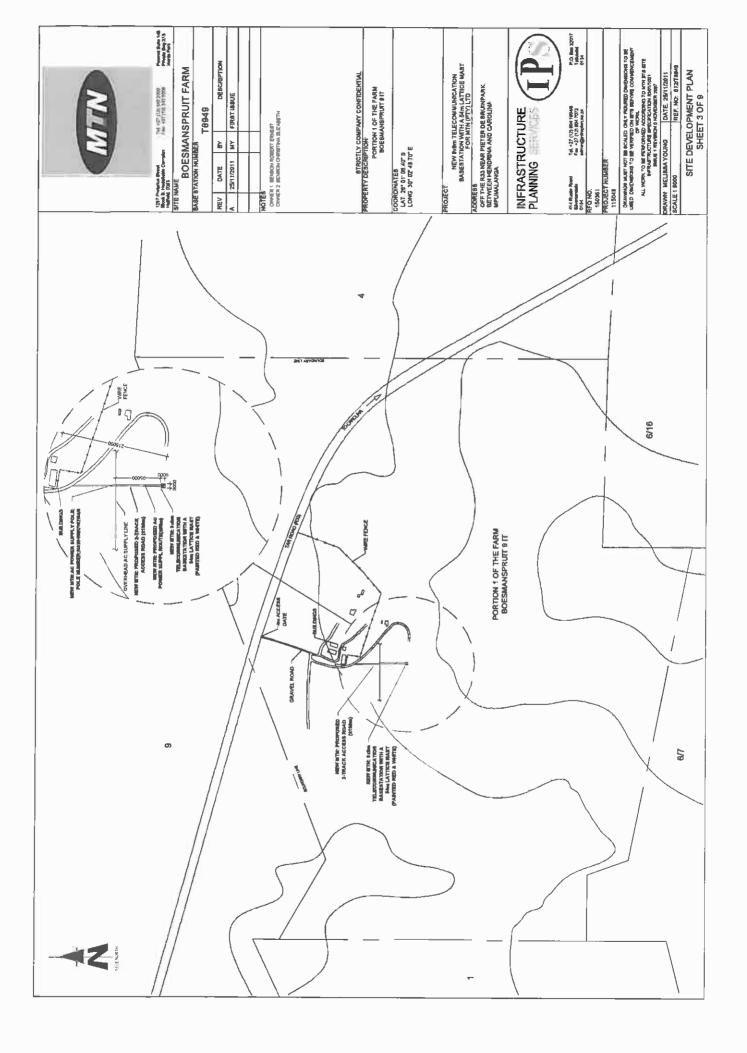
Ucingo: (012) 804 1504/6, Ifeksi: (012) 804 7072,

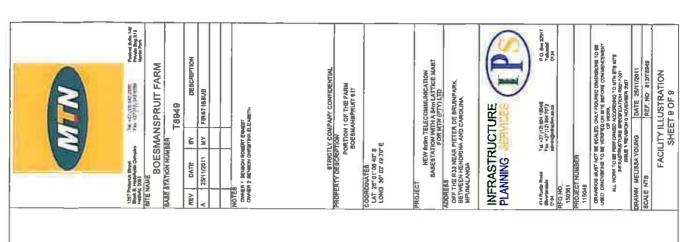
i-e-meyili: admin@infraplan.co.za

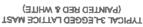
Nanoma ubani omunye othandayo nothintekayo, ngokubhala, makenze isitatimende ngomsebenzi ohlongozwayo noma isicelo sokubhaliswa njengomuntu onothando noma namagama abo, ikheli lendawo neleposi (kufakwe ifeksi ne-e-meyili uma kunokwenzeka) kanye nezinombolo zokubathinta futhi basho nenombolo yereferensi yomsebenzi, kungokuthi alethe isitatimende esibhaliwe noma isicelo sokubhalisa, EAP ezinsukwini zekhalenda ezingama-30 kusukela ekushicilelweni kwalesi saziso. Olunye ulwazi maqondana nalo msebenzi ohlongozwayo lungatholakala ku-EAP. othintekayo,

Usuku lokushicilelwa kweSaziso:

16 February 2012









Owner Remaining Extent of the farm Boesmanspruit 9 IT National Government of the Republic of South Africa Private Bag X3 BRAAMFONTEIN 2017



Reg. No. 2001/080535/23 PO Box 32017, Totiusdal, 0134 414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504 / 6 Fax: (012) 804 7072 e-mall: admin@torbiousesolutions.co.za

Via Registered Mail

DEAR SIR/MADAM

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b) : (a) ii (gg) IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

We are acting on behalf of MTN (Pty) Ltd in order to apply to the Mpumalanga Department of Economic Development, Environmental and Tourism to establish a telecommunication base station on **Portion 1 of the Farm Boesmanspruit 9 IT**

Attached hereto find:

- 1. Public Participation notice
- 2. Site Development plan
- 3. Facility Illustration

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully

M NIEHOF

PUBLIC PARTICIPATION PROCESS

REFERENCE NUMBER: 17/2 / 3 / GS - 81

Regulation 546 activity 3 (a) & (b) : (a) ii (gg) : Establishment of an enclosed telecommunication base station with a 54m mast for MTN (Pty) Ltd: Boesmansprult Farm

Portion 1 of the Farm Boesmanspruit 9 IT Location:

Co-ordinates (WGS84 format) of the alternatives on the above property.

Latltude: 26° 01' 06.4" S Longitude: 30° 02' 49.70" E (Lattice type mast painted red and white) Alternative 1:

impact Assessment Regulations 2010 (R543) as amended promulgated in terms of Notice is hereby given of a public participation process in terms of the Environmental the National Environmental Management Act 1998 (Act No. 107 of 1998) as

Basic assessment procedures will be applied in accordance with regulation 543 and an application is to be submitted to the Mpumalanga Department of Economic Development, Environment and Tourism.

\$ ₽ ō The applicant furthermore intends to apply to the Mpumalanga Department Economic Development, Environment and Tourism for exemption in terms Chapter 5 of the Environmental Impact Assessment Regulations 2010 (R543) assess alternatives with regard to the planned activity.

Applicant:

MTN (Pty) Ltd, P.O. Box 4559, Northcliff, 2115.

Environmental Assessment Practitioner (EAP):

Torbiouse Solutions CC.

P.O. Box 32017, Totiusdal, 0134

Telephone: (012) 804 1504/6; Facsimile: (012) 804 7072 Attention: Wilbert van't Foort

E-mail: admin@infraplan.co.za

Further information regarding the proposed activity can be obtained from the EAP.

Any interested and affected party may, in writing, make representations on the proposed activity or request to be registered as an interested and affected party, by physical & postal addresses (including facsimile & e-mail where possible) and contact number(s) and quoting the activity reference number, to the EAP within 30 submitting the written representations or registration request, including their name, calendar days from the publication of this notice.

16 February 2012 Notice publication date:

UHLELO LOKUHLANGANYELA KOMPHAKATHI

NOMBOLO YEREFERENSI: 17/2/3/GS-81

Umyalelo womlhetho 546 umsebenzi 3 (a) & (b) : (a) ii (gg) : Isakhiwo esiyisizinda sezokuxhumana ngoclngo esiyalekile se-MTN (Pty) Ltd ene-*mast* engama-**54m** kanye nendawo (nezindawo) yokubeka impahla: **T8949 Boesmansprult Farm**

Indawo: Portlon 1 of the Farm Boesmansprult 9 IT

Ezinye izindawo zezizinda ezihlukile ezifana nalesi esingenhla (WGS84 isimo sokwakheka):

Ubude: 30° 02' 49.70"E Induku ye-lattice ependwe ngokubomvu nokumhlophe Ububanzl:26° 01' 06.4"S Esihlukile 1:

Ngalokhu kunikezwa isaziso sengubo yokubamba iqhaza komphakathi ngokuhambisana Nemithetho Yokuhlola Umthelela Wamandla Kwezenhlalo (i-Environmental Impact njengoba ichibiyelwe yamenyezelwa Ezenhlalo Kuzwelonke (i-National Environmental Management Act) ka-1998 (Umthetho weNombolo-107 ka-1998) Assessment Regulations) ka-2010 (R543) ngokuhambisana Nomthetho Wokuphatha njengoba uchibiyelwe (i-"NEMA").

yomthetho 543 bese kufakwa isicelo eMnyangweni Wezolimo, Ukunakekelwa kanye kuMnyango Wezolimo waseMpumalanga, Ukulondolozwa Kwamagugu Nezemvelo Jkuze akhululwe ngokwemibandela yomthetho 5 weMithetho Yokuhlolwa Kokuthinteka Kwemvelo ka-2010 (R543) ukuze ahlole ezinye izindlela zokuqhubeka nomsebenzi zinqubo eziyisisekelo zokuhlola zizosetshenziswa ngokuvumelana nemiyalelo neZemvelo WaseMpumalanga. Umenzi wesicelo uhlose futhl ukwenza

Umuntu ofaka islcelo:

MTN (Pty) Ltd, P.O. Box 4559, Northcliff, 2115.

sisebenzi Esihlola Ezemvelo (Environmental Assessment Practitioner (EAP)):

Torbiouse Solutions CC., P.O. Box 32017, Totiusdal, 0134 rugondiswe ku- Wilbert van't Foort

Jeingo: (012) 804 1504/6, Ifeksi: (012) 804 7072,

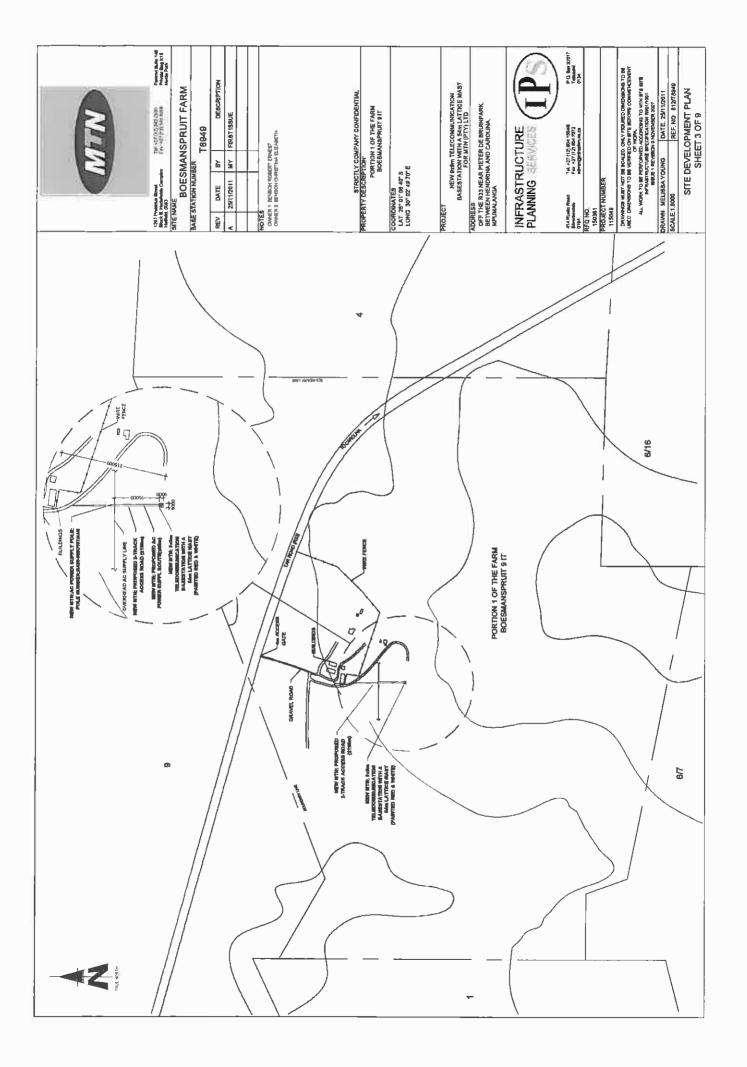
-e-meyill: admln@infraplan.co.za

ngomsebenzi ohlongozwayo noma isicelo sokubhaliswa njengomuntu onothando noma Nanoma ubani omunye othandayo nothintekayo, ngokubhala, makenze isitatimende namagama abo, ikheli lendawo neleposi (kufakwe ifeksl ne-e-meyili uma kunokwenzeka) kanye nezinombolo zokubathinta futhi basho nenombolo yereferensi yomsebenzi, kuothintekayo, ngokuthi alethe isitatimende esibhaliwe noma isicelo sokubhalisa, EAP ezinsukwini zekhalenda ezingama-30 kusukela ekushicilelweni kwalesi saziso. Olunye ulwazi maqondana nalo msebenzi ohlongozwayo lungatholakala ku-EAP.

Jsuku lokushicilelwa kweSaziso:

16 February 2012





Owner Remaining Extent of the farm Leliefontein 1IT E J H Roux Trust P.O Box 116 CAROLINA 1185



Reg. No. 2001/080535/23 PO Box 32017, Totiusdal, 0134 414 Rustic Road Silvertondale, 0184 Pretoria

> Tel: (012) 804 1504 / 6 Fax: (012) 804 7072

e-mail: admin@torbiousesolutions.co.za

Via Registered Mail

DEAR SIR/MADAM

INTENTION TO SUBMIT AN APPLICATION IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 AS AMENDED ("NEMA") TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 (a) & (b): (a) ii (gg) IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION BASE STATION ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

We are acting on behalf of MTN (Pty) Ltd in order to apply to the Mpumalanga Department of Economic Development, Environmental and Tourism to establish a telecommunication base station on **Portion 1 of the Farm Boesmanspruit 9 IT**

Attached hereto find:

- 1. Public Participation notice
- 2. Site Development plan
- 3. Facility Illustration

Should you have any further queries, please do not hesitate to contact us.

Yours faithfully

M NIEHOF

Owner Remaining Extent Portion 7
Of the farm Roodepoort 6 IT
Mr. C.M.J Papenfus
P.O Box 71
CAROLINA
1185



Reg. No. 2001/080535/23 PO Box 32017, Totiusdal, 0134 414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504 / 6 Fax: (012) 804 7072 e-mail: admin@torbiousesolutions.co.za

Via Registered Mail

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Of the farm Leliefontein 1IT
C.M.J Papenfus Trust
P.O Box 71
CAROLINA
1185



Reg. No. 2001/080535/23 PO Box 32017, Totiusdal, 0134 414 Rustic Road Silvertondale, 0184 Pretoria

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Yours faithfully

M NIEHOF

Owner Remaining Extent Portion 15
Of the farm Roodepoort 6 IT
U B Trust
P.O Box 285
NELSPRUIT
1200



Reg. No. 2001/080535/23 PO Box 32017, Totiusdal, 0134 414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504 / 6 Fax: (012) 804 7072 e-mail: admin@torbiousesolutions.co.za

Via Registered Mail

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Yours faithfully

M NIEHOF

G1(c) - SACAA Approval

SOUTH AFRICAN



AUTHORITY

Physical Address: lkhaya Lokundiza

Treur Close

Bekker Street

Midrand

Waterfall Park

Postal Address: Private Bag X1 Halfway House

1685

Telephone Number: +27 11 545 1232

E-mail Address: obstacles@caa.co.za

Fax Number: +27 11 545 1451 Website Address:

www.caa.co.za

OBSTACLE FOR APPROVAL CAA Obstacle ID:

CAA 2012 1 087

APPLICANT

Contact Person: Nelmarie Els

Company Name: MTN (PTY) LTD

Phone Number; (011) 912-3245

Cell Number: (083) 200-4930

Email address: els_ne@mln.co.za

VATNumber: 4360140434

Address: MTN Head Office, 216 14th Avenue

Roodepoort City: State: Gauteng ZipCode: 2195

OWNER

MTN (PTY) LTD CompanyName:

ContactPerson: Nelmarie Els PhoneNumber: (011) 912-3245

CellNumber: (083) 200-4930

> Email: els_ne@mtn.co.za

DETAILS OF PROPOSED STRUCTURE

DETAILS OF FAC	Project Structure
Type of Structure Tower Site ID Number: 8949	Construction Start Dat Construction End Date:
Site Name: Boesmanspruit Farm	
	seconds: 3.9 Lseconds: 49.4
Site Elevation_m: 1619	Coordinate Data Source Handheld GPS (non surv
Structure Height_m: 54	Coordinate Other
Sub Structure Heigh_m: 0	
Height to top of Structure_m 1673	Elevation Data Source Handheld GPS (non surv
GuyWireJib_m:	Elevation Other
Dalum:	
Type of Application: Replacement Shared New Conditions: None DayMarkings NightMarkings	Received Date: 31/01/2012 Attached Documents: SurveyReport SketchDiagram
DayNightMarkings (2)	☐ GISCoverage
OtherSpecial	Other
Approved	Not Approved
SOUTH AFRICAN CITIL APACTION AUTHORITY	
Koos Pretorius Act.Manager: A.O.G	. Date
Name: July Land Land Land	
APPROVED V	

G1(d) - Proof of Newspaper Advertisement



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Rogers: 013-754-1671

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Adjustments & errors

Display adverts:

paper sceepts no responsibility for more incorner insertion of any classified ment or any costs beyond the costs of the

Cancellations
When cancelling an advent you

How to advertise

Esterhuizen: 013-754-1667 led switchboard: 013-754-1669 3-753-2422

isa Brunette: 013-754-1664
yann Lombard: 013-754-1670
iness/Holiday Accommodation/
ne Improvements/Property
retika Meiring: 013-754-1695
vices, Motoring
la Stassen: 013-754-1666
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0363 Personal

FOR WOMEN Menstrual problems

Services

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SECURITY SECURITY SOLUTIONS • CCTV Systems • Intruder Alarm

Systems
- Fire alarm
Installations
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ort/ Taxis/

0339 Financial / Loans

LOANS
R1000 - R100 000
Black listed welcome
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Classified Marketplace

Phone 013-754-1669

3 Bed, 2 bath, d/garage R630,000

Brooklyn City College
DEPT OF EDUCATION
Reg No 2009/FE07/018

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With approved plans R120,000

013-754-1669 Classifieds 0420 Business

CLASSIFIED ADVERT BOOKINGS - TEL 013-754-1669 OR FAX: 013-753-2422

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605 Farms & Plots 610 Flats & Units

0615 Houses

WEST

0645

SALE fully licensed take vay and bottle store

Jaco: 082-387-4975

CASH FOR



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NOTICE

SPACIOUS
HOUSES IN
SECURE COMPLEX
1.) House -301sqm.
Dbi stand -1200sqm
4 Bed with builtin
Saligna cupboards,
4 bath, open plan
living area dining
room & kitchen with
separate scullery,
laundry, electrical
d/garage, wooden
deck. High quality
finishes
R1 850 000

3.) House - 173sqm Corner stand -486sqm 3 Bed with bulltin cupboards, 2 bath, open plan living area diring room &

486sqm
3 Bed with builtin
cupboards, 2 bath,
open plan living area
dining room &
kitchen with separate
scullery, laundry,
outside braai,
digarage, High
quality finishings
R920 000
Johan
082-557-6199 /
082-829-7912
• Private sale
• No agents •

0910
Public / Legal
Notices

LOWVELD BUILDING SUPPLIES WHITE RIVER RIVER RIVER The following areas:

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LIC PARTICIPATION

Fax CV to: 086-559-2832

FIGURES

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regulation 546 activity 3 (a) 8

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Notice publication date 16 February 2012

Legals

0905 Auctionecrs 0910 Public & Legal Notices

G2: Motivation for Exemption of assessing alternatives

Our Reference:

Your Reference:

T8949 Boesmanspruit Farm

17/2/3/GS-81

29 May 2012

Mpumalanga Department of Economic Development, Environment and Tourism The Deputy Director Environmental Impact Management Gert Sibande District Office 13 de Jager Street Ermelo 2350 TORBIOUSE SOLUTIONS

Reg. No. 2001/080535/23

PO Box 32017, Totiusdal, 0134

T8949

414 Rustic Road Silvertondale, 0184 Pretoria

Tel: (012) 804 1504/ 6

Fax: (012) 804 7072

e-mail: admin@torblousesolutlons.co.za

Attention:

Mr Bheki Mndawe

Fax No:

072 814 5409

Dear Sir,

MOTIVATION FOR EXEMPTION FROM ASSESSING ALTERNATIVES IN TERMS OF THE NATIONAL ENVIRONMENTAL MANAGEMENT ACT 1998 ("NEMA") AS AMENDED TO THE COMPETENT AUTHORITY FOR LISTED ACTIVITY 3 IN REGULATION 546: ESTABLISHMENT OF A MTN (PTY) LTD TELECOMMUNICATION MAST ON PORTION 1 OF THE FARM BOESMANSPRUIT 9 IT.

In terms of Regulation 50 of the EIA Regulations, August 2010, as contemplated in subregulation 22 (2)(h), we hereby apply for exemption from assessing alternatives in this application.

Motivation:

(a) The property on which or location where it is proposed to undertake the activity:

Portion 1 of the farm Boesmanspruit 9 IT, where the establishment is proposed was identified by the radio planners of MTN as the best position to place the mast to reach the transmission coverage on the MTN network. The property is already developed and the site is on utilised grazing. Environmental impact at this site and on this property will be limited to the visual aspect, as well as the grass that need to be removed from the $81m^2$ footprint area. The development is planned on open grassland where no large trees or any endangered plants will need to be removed. The neighbouring properties were not regarded as feasible site alternatives due to more limitations on the network coverage, as well as possible increased impact on the site footprint area where more indigenous vegetation would have to be removed. The environmental impact on the footprint area would most probably be of much higher significance if the site was moved to another locality within a certain radius from the proposed site.

(b) The type of activity to be undertaken:

There are no type alternatives available or feasible to replace the establishment of telecommunication masts.

(c) The design or layout of the activity:

The proposed design of the activity is a 54m high lattice telecommunication mast. The 54m height is required to reach the transmission network coverage on the MTN network. The lattice type mast is the only design alternative

Members: GA Anholts; KW Anholts

that provides the required equipment capacity and wind-load capacity. A monopole type mast is not considered a feasible option for this specific development because of more restrictions with regard to the equipment and wind-load capacity. Further disadvantage of a monopole type mast is increased visibility due to the more solid type structure against the sky background. The SACAA (South African Civil Aviation Authority) prescribed day and night markings, meaning the mast has to be painted red and white with red lights on top for maximum visibility to aircraft to prevent aircraft accidents. Therefore, no other colour alternatives are considered to be feasible due to the red and white colour requirement of the SACAA.

(d) The technology to be used in the activity:

MTN Kathrein directional antennae (x3) to be placed at top of mast. Telecommunications directional antennae to be placed underneath the Kathrein antennae by possible future share parties. Microwave dish to be placed at 48m height on the mast. MTN mini-D equipment container (with future extension for possible share parties) to be placed on ground level under the mast. New MTN standard concrete manhole for future fibre optic link with 110mm underground nextube sleeve & 1x7-way duct for future fibre optic cable (strapped) in a 450mm x 90mm deep trench from the manhole to the equipment container. The proposed technology used for this mast will have minimum impact on the environment and there is no alternative technology available to reach the required network coverage.

(e) The operational aspects of the activity:

- Increased electricity consumption on the existing supply grid: The infrastructure is designed to operate on
 economical electricity consumption. A generator will be installed as a backup electricity supply in the event of
 a power failure. There are no feasible alternatives available to replace electrical power supply.
- Noise generation by air conditioning units and by backup generator if electricity supply fails: The air conditioning units and backup generator operate at very low and well accepted noise levels. There are no feasible alternatives to replace the air conditioning units or the backup generator.
- Non-ionising electromagnetic fields on allocated frequency: The electromagnetic fields are well below the
 accepted level to prevent any damage to living organisms (within International Commission on Non-ionising
 Radiation Protection, ICNIRP, and World Health Organisation, WHO, guidelines) and are restricted within the
 allocated frequency. There are no feasible alternatives to obtain the required network coverage within the
 allocated frequency.
- Increase in potential air traffic obstacles: Lower mast options are not feasible alternatives to reach the
 required network coverage as this would require multiple mast applications to reach the same network
 coverage with increased environmental impact on the footprint area of several masts as well as increased
 visual impact on each separate mast development.
- Visual impact of the 50m lattice mast painted red & white on short, medium and long distance observation: Other design, height or colour alternatives are not feasible as prescribed above.

We trust that the above motivation is sufficient to consider and approve this application for exemption from assessing several site alternatives.

Kind Regards,

Wilbert van't Foort

114. Fl+

Addendum A:
Proof of submission to State Departments & I & AP's

REGISTERED LETTER GEREGISTREERDE BRIEF (with an insurance option/met 'n versekeringsopsie)	Postage paid R
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Carolina Postcode Poskode	0800 111 502 2012-0r
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Addressed tolgandresseer aan Mr. R.E Benson

Carolina

Postcode Poskode

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	Name: D. Devereux Date: 4/06/2012 Signature: (1)
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