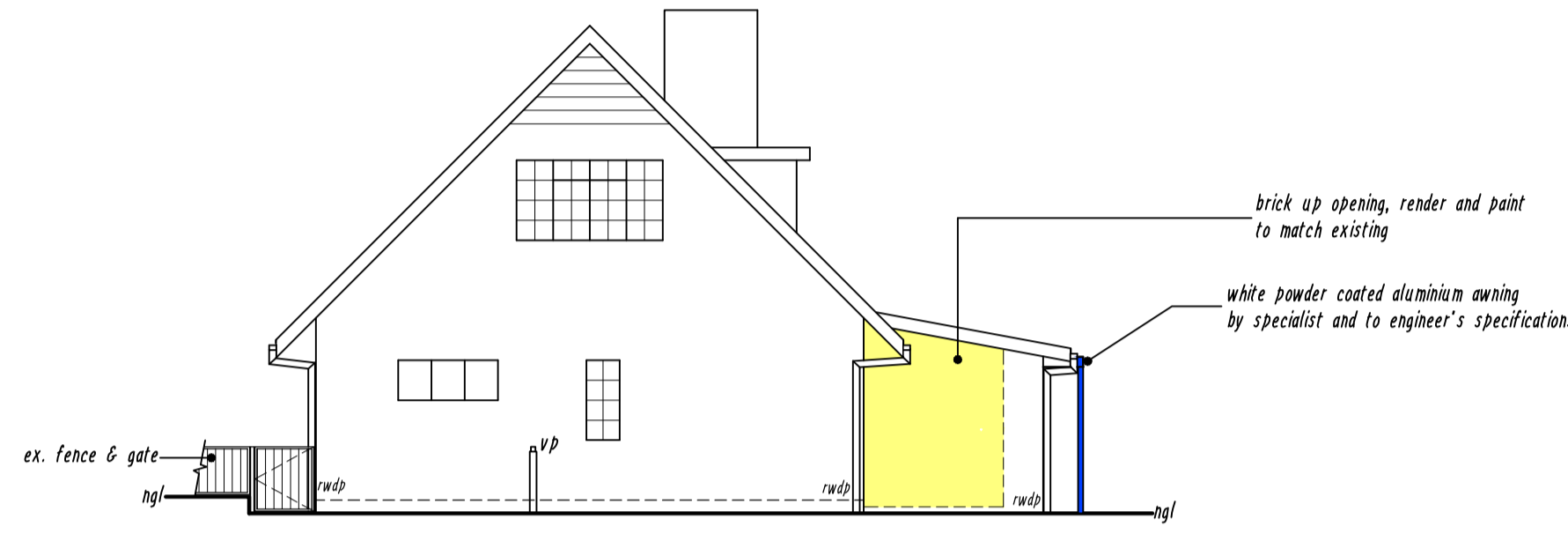
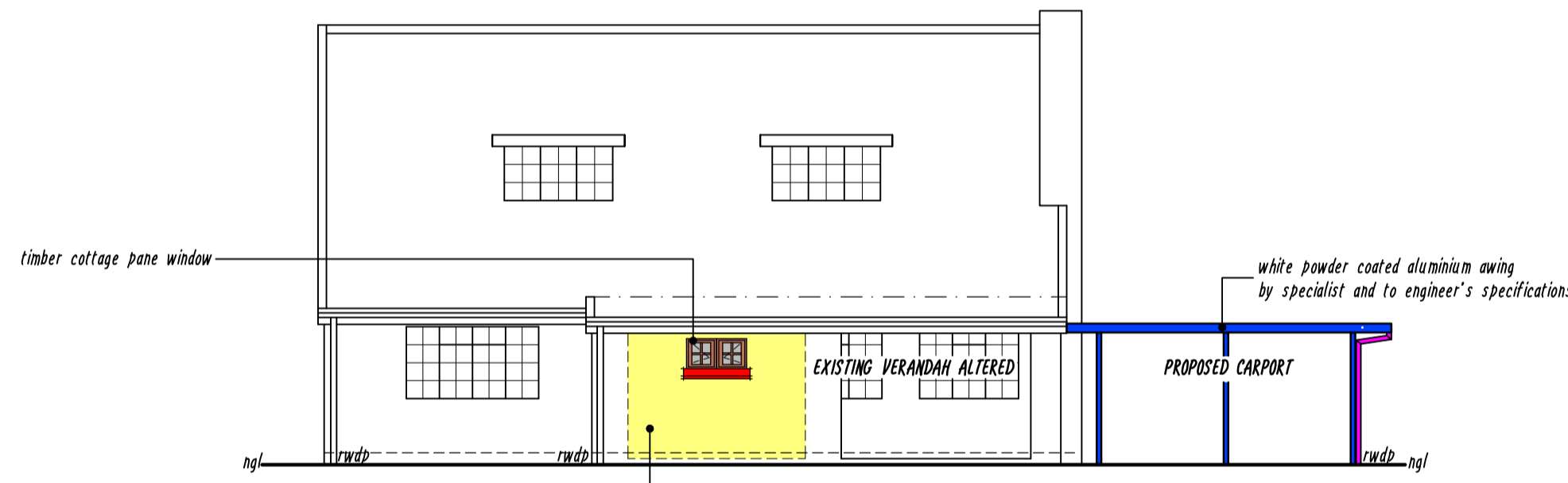


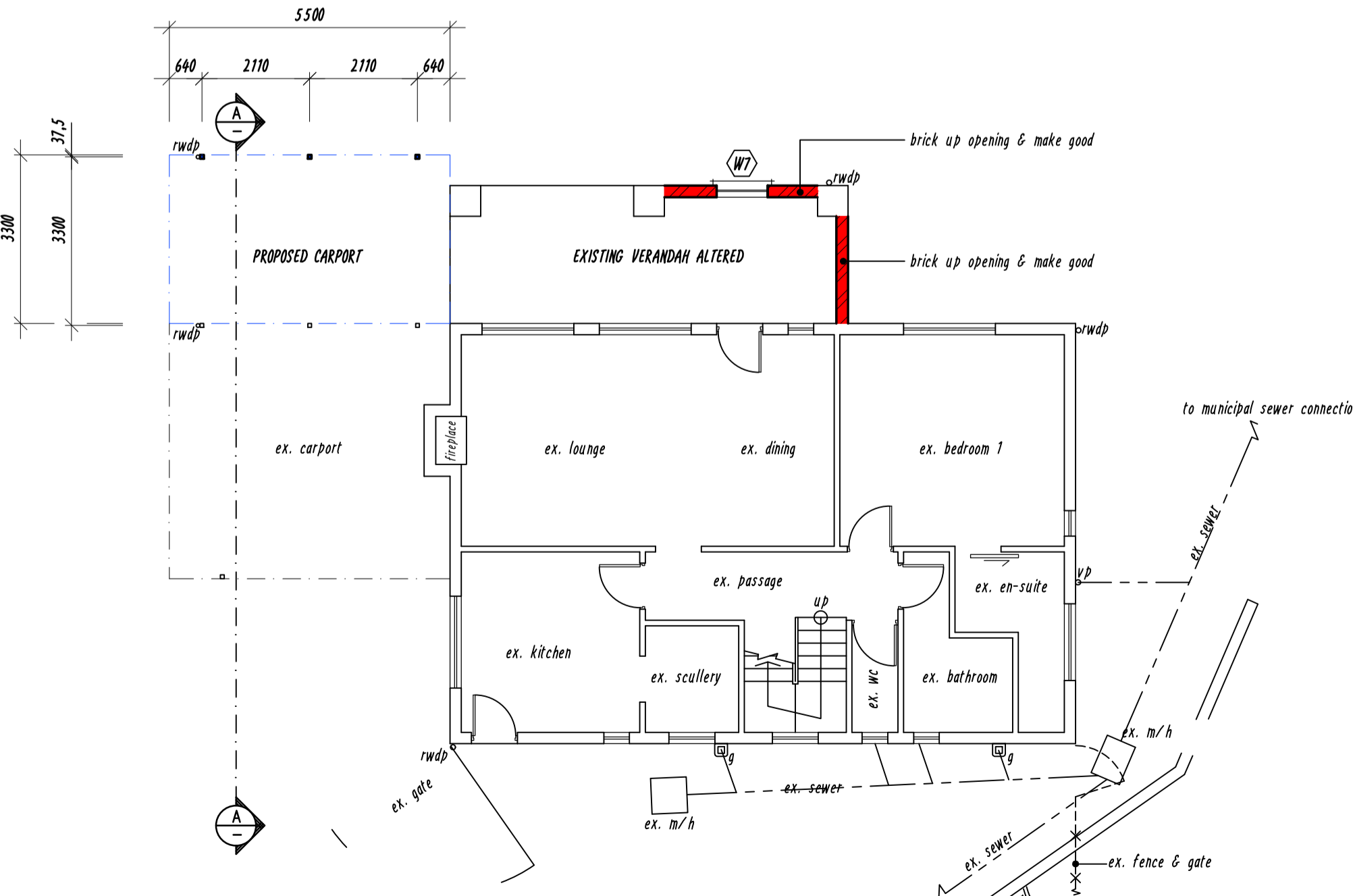
**NORTH WEST ELEVATION - DWELLING & SECTION 'A-A'**  
SCALE 1:100



**SOUTH EAST ELEVATION - DWELLING**  
SCALE 1:100



**NORTH EAST ELEVATION - DWELLING**  
SCALE 1:100



**GROUND STOREY - DWELLING**  
SCALE 1:100

**AWNING ROOF NOTES:**  
200 x 75 lip channel hot dipped galvanized/white powder coated boxed frame to engineer's specifications and erected by specialist  
Baked enamel Industrial 7 aluminium roof sheeting 3° pitch  
75 x 75 white epoxy coated aluminium posts frame connected to post and walls with stainless steel nuts and bolts

**GENERAL NOTES:**  
**Structural engineer:**  
All piling, footings, foundations, columns, beams and elevated slabs to structural engineer's specification and detail.  
All structures to comply with SANS 10400 - B, Structural Design.  
All to comply with SANS 10400 - T for fire protection and SANS 10400 - W for fire installation.  
All stormwater to comply with SANS 10400 - R (Stormwater Disposal)  
All sewers to comply with SANS 10400 - P (Drainage).  
**Public Safety SANS 10400 - D:**  
All public safety to comply with SANS 10400-D.  
**Demolitions SANS 10400 - E:**  
All demolitions to comply with SANS 10400-E.  
**Site Operations SANS 10400 - F:**  
Sanitary facilities to be provided for duration of contract to comply with SANS 10400-FA.2 and FIT.  
Soil poisoning to comply with SANS 10400-F 4.3 and FS in accordance with SANS 10124.  
**Public protection to comply with SANS 10400 - FI:**  
Control of dust and noise levels to comply with SANS 10400-F6  
Explorative cutting into, laying open or demolition to comply with SANS 10400 - F7.  
Waste material on site to comply with SANS 10400 - F8.  
Site cleaning to comply with SANS 10400 - F9.  
Site accommodation to comply with SANS 10400-F10.  
**Excavations SANS 10400 - G:**  
All excavations to comply with SANS 10400 - G1 and 2 and subject to engineer's specification and detail.  
**Foundations SANS 10400-H:**  
All foundations to structural engineer's specification and detail.  
**Floors SANS 10400 - J:**  
Concrete floors are to be concrete surface beds on 250 micron dpm on poisoned consolidated fill to comply with SANS 10400-J 4.4.  
All slabs to be designed by structural engineer to comply with SANS 10400-H.4.  
**Walls SANS 10400-K:**  
All walls to comply with SANS 10400 -K and structural engineer's specifications and detail.  
All lintels to comply with SANS 10400 -K6.2.3  
Full protection to be provided to comply with SANS 10400-M6.3  
**Lintels SANS 10400-K 6.2.3:**  
220 collar jointed wall with window & door openings less than 1,5m to use pre-cast pre-stressed concrete lintels and above a minimum 4 courses with brickforce with a minimum bearing of 150mm  
Brickforce secondary reinforcement to be provided in uppermost bed joint.  
Side cover min. 15mm & max. 30mm  
Lintels to be supported for not less than 7 days after completion.  
**Roofs SANS 10400-L:**  
Roofing to comply with SANS 10400-L and structural engineer's specifications and detail.  
Waterproofing & Flashing to comply with SANS 10400-LL 5  
**Glazing SANS 10400-N:**  
All glazing to comply with SANS 10400-N.  
Glazing installation to comply with SANS 10400-M.2.  
**Stormwater disposal SANS 10400-R:**  
All stormwater management systems to comply with SANS 10400-R.  
**Lighting and ventilation SANS 10400-O:**  
Lighting and Ventilation to comply with SANS 10400-O  
Category 1 building AS; glazed openings including frames and glazing bars, shall not be less than 5% of respective room's net area or 0,7 sqm.  
Bathroom Ancillary unit windows = 0,71 sqm or 12,63% of bathroom's net area.  
All windows have zones of space free of obstructions

**ENERGY EFFICIENT NOTES:**  
**Orientation:**  
Building orientation in accordance with SANS 204:2011 4.2  
**Floors:**  
Floor in accordance with SANS 204:2011 4.3.2  
Concrete surface bed with water proof membrane under. No under floor heating  
**Walls:**  
External walls in accordance with SANS 204:2011 4.3.3  
New 230 thick external wall to have a CR-value H of 0.40.  
**Fenestration:**  
Fenestration in accordance with SANS:2011 4.3.4  
See XA calculations  
Shading in accordance with SANS 204:2011 4.3.5  
Vertical blinds to be used as vertical shading  
New doors to be timber frame with 4mm clear toughened safety glass  
New windows to be timber frame with 4mm clear float glass U.R.O.  
See XA calculations  
**Roof:**  
Thermal break (Double reflective foil with necessary air space) on 38 x 38 battening at 600 c/c's.  
100 thick flexible polyester blanket thermal break to be installed in the roof above ceiling battens between the rafters to be installed to prevent downward movement heat flow insulation suitable to achieve a R value of 2,7mm for climate zone 5 (SANS 204 table 10 page 20 refers)  
**Sealing:**  
Building sealing to be in accordance SANS 204:2011 4.4  
All edges sealed with either cornice or skirting  
All edges for external doors & windows to be sealed  
**Services:**  
Lighting and power in accordance with SANS 204:2011 4.5.1 and SANS 10400-0  
Hot water services in accordance with SANS 204:2011 4.5.2  
Heat pumps to supply hot water for new service pipes.  
All new exposed hot water pipes to be 6" from cylinder & central heating system to be insulated with a min. R-value of 1.00

**FINISHES:**  
**ROOF:**  
-Cement fibre berge, fascias to match existing  
-aluminium rain water gutters & pvc down pipes to match existing  
**WALLS:**  
-Smooth plaster throughout to match existing  
-Tie window cills to match existing  
**GLAZING:**  
-Min. 6,38mm safety glazing to all glass within 300mm off ffl.  
-Tie window cills to match existing  
**PLUMBING:**  
-i.e.'s at all bends, junctions & changes in direction  
-Rwdp's to discharge to dish gullies.  
-Required Fire Resistance of Division Separating Elements as per SANS 10400 T6.6.2 Table 5 - 30 minutes.  
**DRAWING NOTES:**  
1. Do not scale this drawing.  
2. All dimensions and levels to be checked on site before commencing work.  
3. All discrepancies to be brought to author's notice.  
4. No foundations to encroach over boundaries/servitudes.  
5. Depth of foundations to be determined on site- min. 4 courses.  
6. All work to comply with SANS 10400 and L.A. building regulations.  
7. Contractor to locate and protect ex. services on site during construction.  
**ENGINEER'S NOTES:**  
THE FOLLOWING ARE TO BE THE ENGINEER'S RESPONSIBILITY:  
1. BEAMS  
2. COLUMNS  
3. FOUNDATIONS  
4. ROOF STRUCTURE

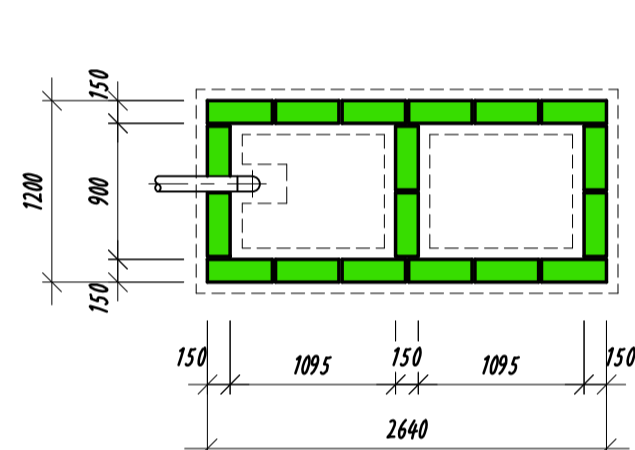
**SCHEDULE OF AREAS**

ERF 577 PINETOWN AREA	= 1335,00 m <sup>2</sup>
- SPECIAL RESIDENTIAL 1	= 2 STOREYS
HEIGHT RESTRICTION	FRONT = 7,5 m
BUILDING LINES	SIDES = 3m + 3m
	BACK = 3m
<b>FLOOR AREA RATIO</b>	
PERMISSIBLE F.A.R. 0.3	= 406,50 m <sup>2</sup>
EXISTING FLOOR AREA	= 165,80 m <sup>2</sup>
PROPOSED FLOOR AREA	= 0,00 m <sup>2</sup>
<b>TOTAL FLOOR AREA</b>	= 165,80 m <sup>2</sup>
F.A.R. IN HAND	= 240,70 m <sup>2</sup>
<b>COVERAGE</b>	
PERMISSIBLE 30% OF 1335,00 m <sup>2</sup>	= 406,50 m <sup>2</sup>
EXISTING COVERAGE AREA	= 187,70 m <sup>2</sup>
PROPOSED COVERAGE	= 0,00 m <sup>2</sup>
<b>TOTAL COVERAGE</b>	= 285,85 m <sup>2</sup>
COVERAGE IN HAND	= 200,65 m <sup>2</sup>
<b>ADDITIONAL DATA</b>	
EXISTING SUB-STATION	= 9,15 m <sup>2</sup>
EXISTING DWELLING GR. STOREY	= 101,57 m <sup>2</sup>
EXISTING DWELLING VERANDAH	= 21,06 m <sup>2</sup>
EXISTING DWELLING 1ST STOREY	= 52,23 m <sup>2</sup>
EXISTING CARPORT	= 27,50 m <sup>2</sup>
EXISTING GARAGE	= 20,69 m <sup>2</sup>
EXISTING DOMESTIC QUARTERS	= 15,43 m <sup>2</sup>
PROPOSED CARPORT	= 18,15 m <sup>2</sup>

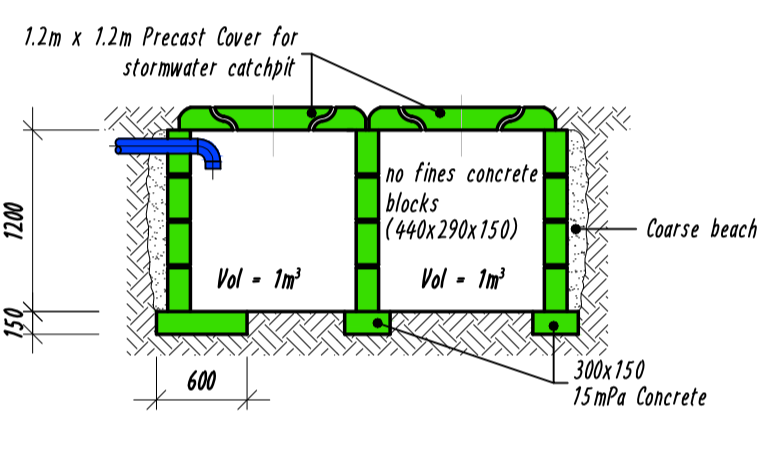
**Hardened Area Calculation:**

Site Area	= 1335,00 m <sup>2</sup>
Existing Roof area	= 187,70 m <sup>2</sup>
Proposed Roof area	= 18,15 m <sup>2</sup>
Paved & Tiled area	= 0,00 m <sup>2</sup>
<b>Total Hardened area</b>	<b>= 205,85 m<sup>2</sup></b>

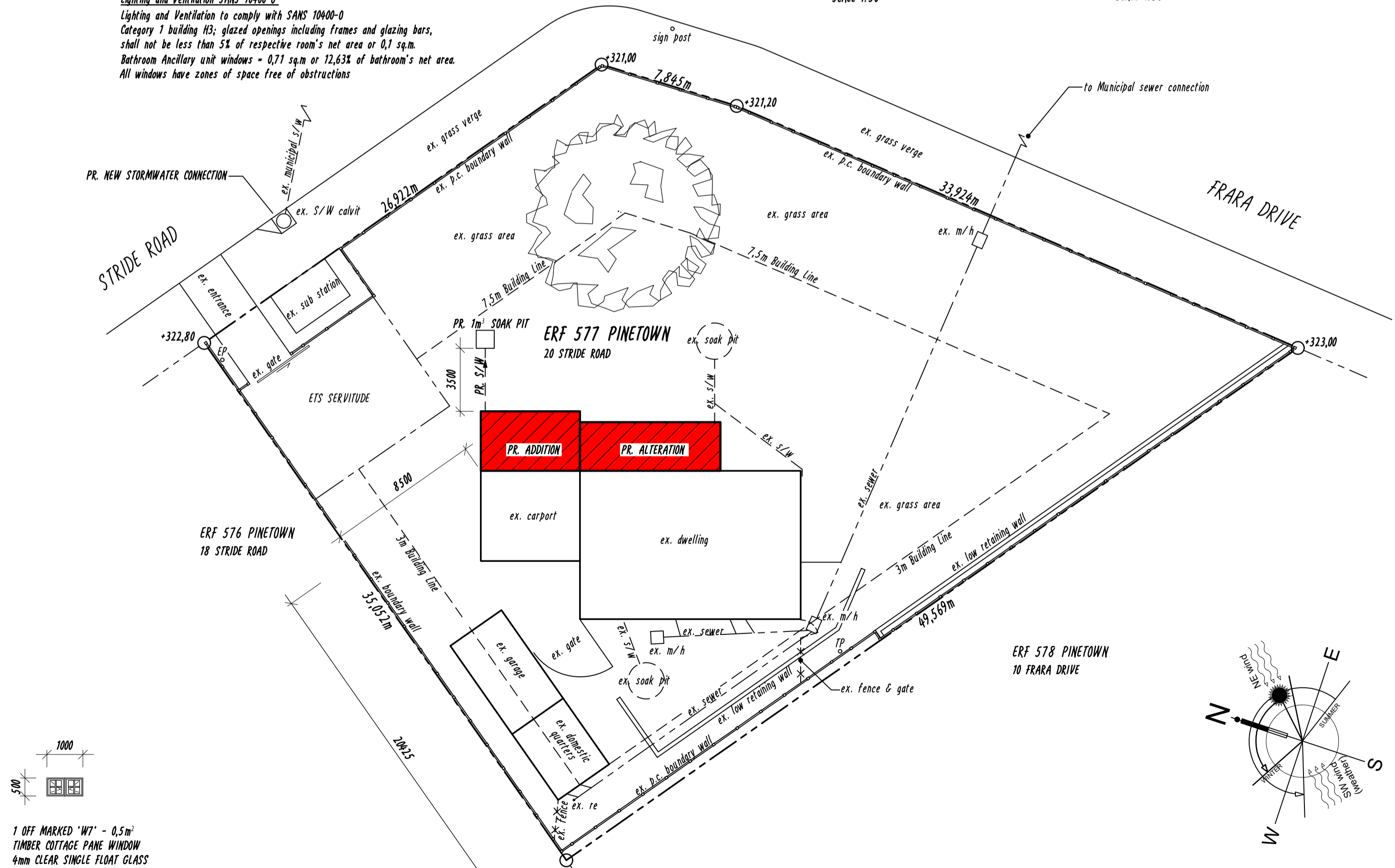
Stormwater control:  
New Stormwater to be controlled by 2m<sup>3</sup> & 7m<sup>3</sup> Soak pits



**TYPICAL PLAN - SOAKPIT**  
SCALE 1:50



**TYPICAL SECTION - SOAK PIT**  
SCALE 1:50



**SITE PLAN**  
SCALE 1:200

**WINDOW AND DOOR GLAZING SCHEDULE**  
SCALE 1:100

1 OFF MARKED 'W7' - 0,5m <sup>2</sup> TIMBER COTTAGE PANE WINDOW 4mm CLEAR SINGLE FLOAT GLASS LOCATION: DWELLING VERANDAH
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**NEIGHBOURS CONSENT**

ADDRESS	NAME	TEL: No	SIGNATURE
17 STRIDE ROAD	CHRIS ROYERS	082 898 8290	[Signature]
18 STRIDE ROAD	MICHAEL ROBINSON	078 881 0333	[Signature]
5 FRARA DRIVE	DYLAN NAIDOO	082 497 8915	[Signature]
7 FRARA DRIVE	GEORGE GROENEWALD	084 338 8768	[Signature]
10 FRARA DRIVE	ANDREW SCOTT	082 890 2110	[Signature]

HYPERASE SYSTEMS cc OK 94/13016/23 T/A  
**Ian Whitaker**  
Drafting Designs  
COMPUTER AIDED DRAWINGS  
REG. No. D0783  
PROFESSIONAL ARCHITECTURAL DRAUGHTS PERSON CELL No. 083 303 8863  
8 UP THE HILL, SUNNINGDALE, 4051 TEL: 031 5620310 FAX: 0866 499530

Owner:  
**D.S.A. SHIPP & L.C. SHIPP**  
Property Details:  
**20 STRIDE ROAD, ASHLEY**  
**ERF 577 PINETOWN**  
Proposal:  
**PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING**

OCCUPANCY: H3	CLIMATE ZONE: 5
DRAWING TITLE SUBMISSION - SITE PLAN, DWELLING GROUND STOREY, ELEVATIONS, SECTION & SOAK PIT	
PROJECT NO: WD21/49	DRAWING NO: WD21/49/ai/s01
SCALE: 1:100 & 1:200	DATE: 21 DECEMBER 2021

AUTHOR'S SIGNATURE : .....  
OWNER'S SIGNATURE : [Signature]