

16

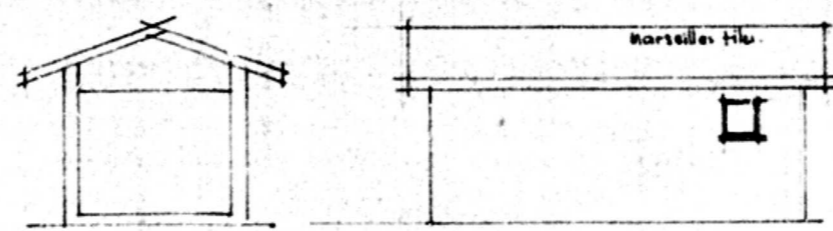
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12

16

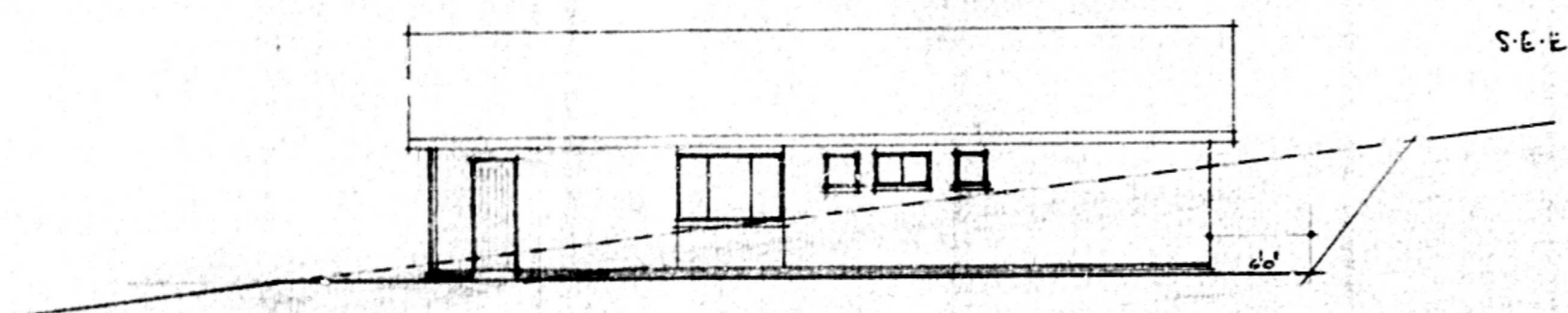
5 DAVALLEN AVE. G.A.

190

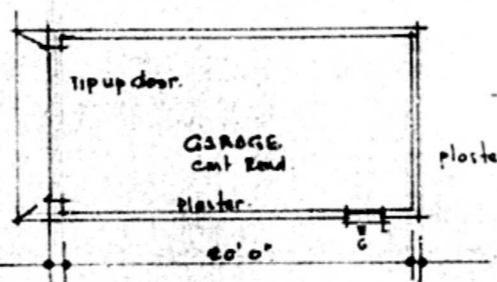


S.E. ELEV.

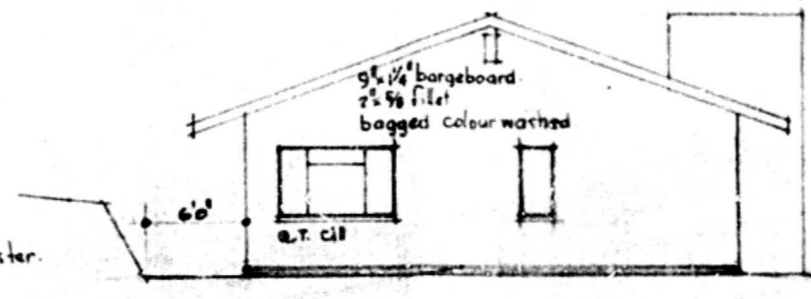
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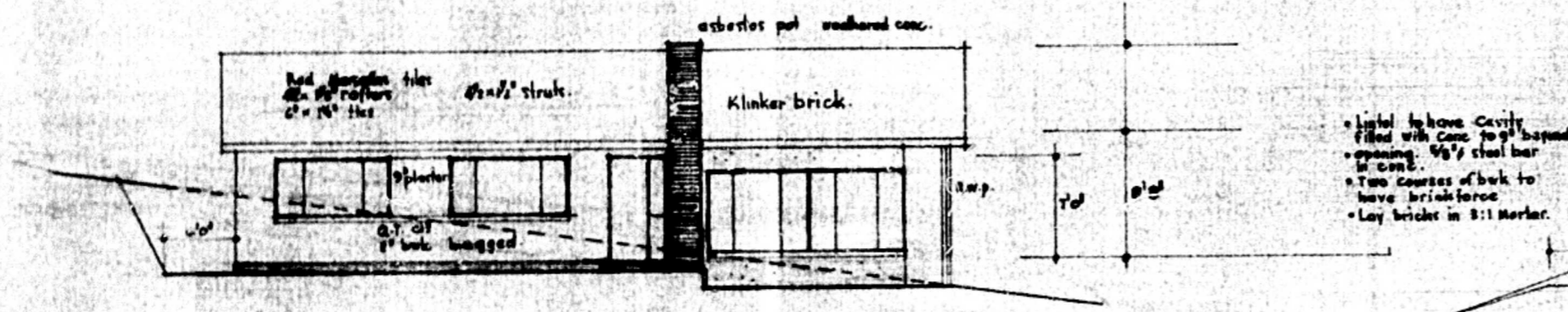
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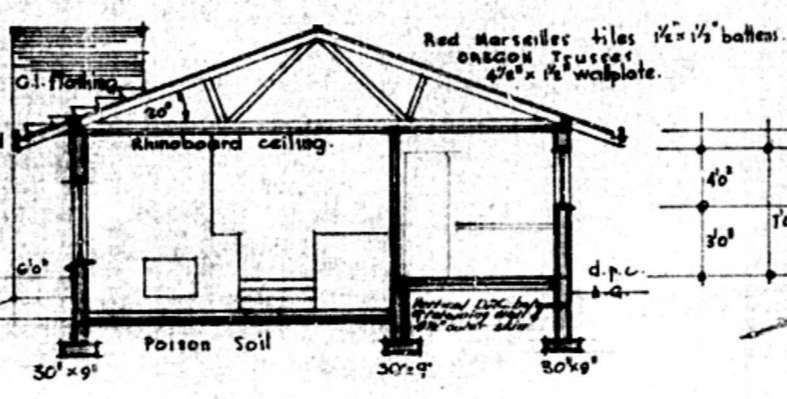
GARAGE PLAN  
SEE SITE PLAN.



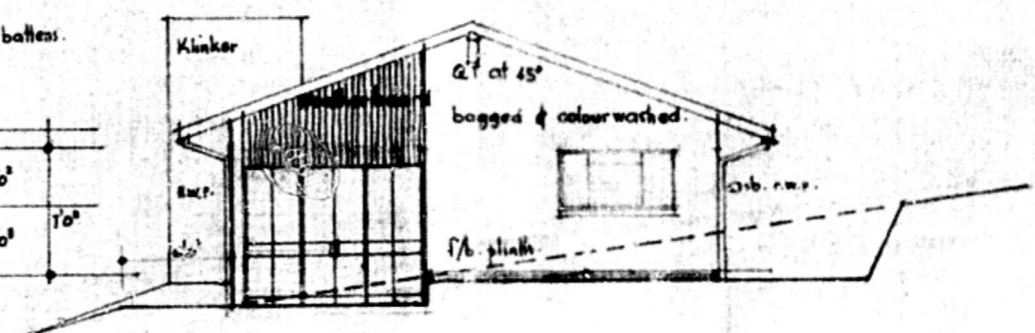
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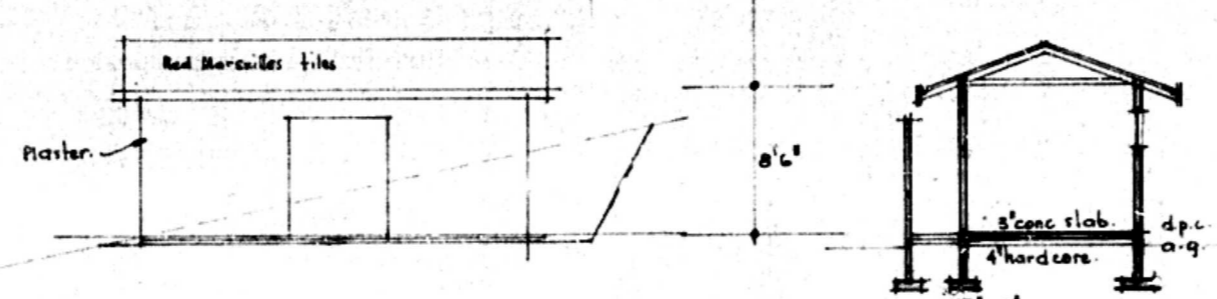
S.W. ELEV.



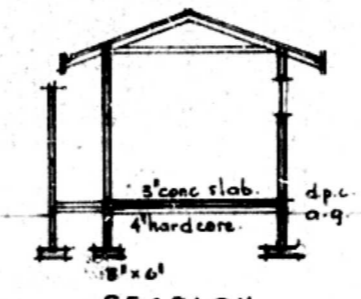
SECTION AA



S.E. ELEV.



N.E. ELEV.

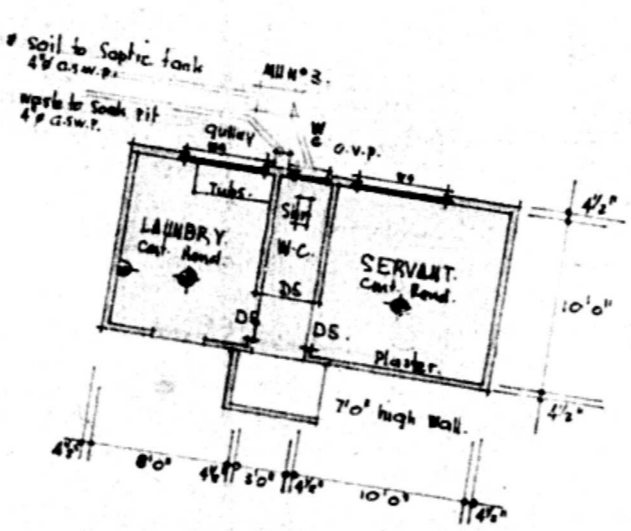
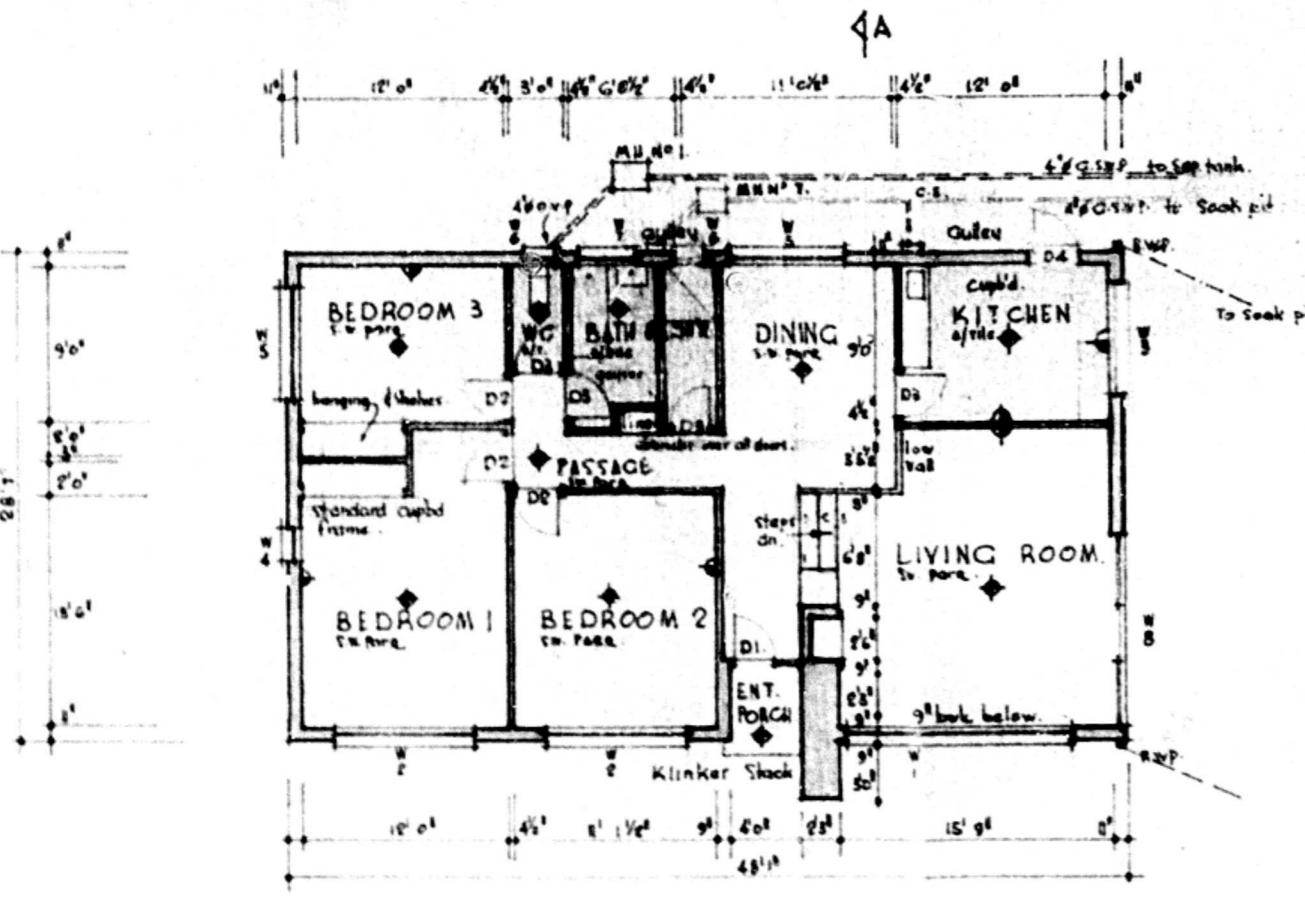


SECTION

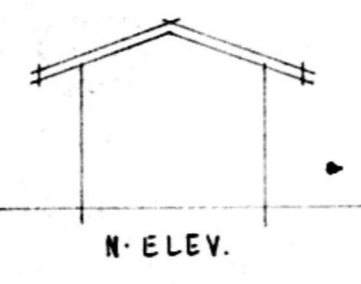


|    |             |            |                |   |
|----|-------------|------------|----------------|---|
| D1 | 2'0" x 6'0" | HARDWOOD   | SIDE LIGHT     | 1 |
| D2 | "           | TOLU FACED | "              | 3 |
| D3 | 2'6" x 6'6" | "          | PAINT ONE SIDE | 3 |
| D4 | 2'6" x 6'6" | DEAL       | WATER BAR.     | 1 |
| D5 | 2'6" x 6'6" | "          | FIXED LOWURE   | 3 |

**GLEN ASHLEY HEALTH COMMITTEE**  
 SEPTIC TANKS TO BE 10 FEET FROM BUILDINGS  
 10 FEET FROM BOUNDARIES  
 W.C. SITS TO BE 18 FEET FROM BUILDINGS  
 12 FEET FROM BOUNDARIES



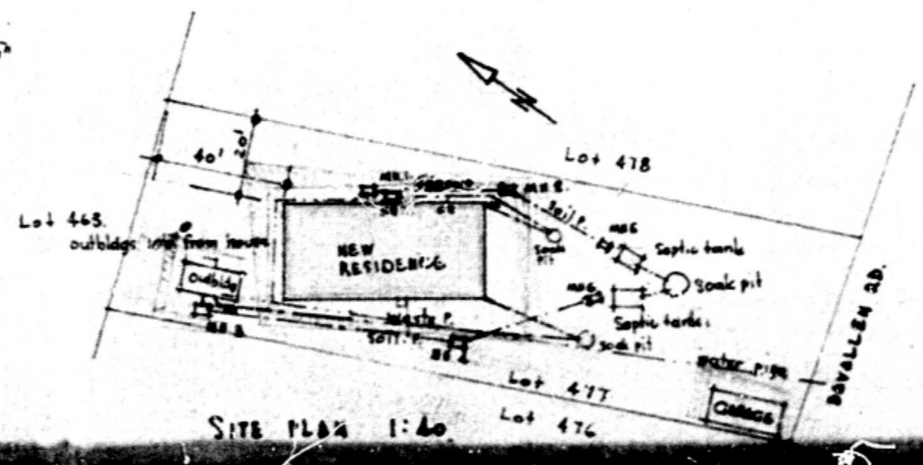
OUTBUIDGS PLAN  
SEE SITE PLAN.



N. ELEV.

|    |                |   |
|----|----------------|---|
| W1 | ND512/ND512    | 1 |
| W2 | ND12           | 2 |
| W3 | ND17           | 1 |
| W4 | ND1            | 1 |
| W5 | ND17           | 2 |
| W6 | ND17           | 4 |
| W7 | RE2            | 1 |
| W8 | WATER BAR/WALL | 1 |
| W9 | RES            | 2 |

DO NOT SCALE THIS DRAWING. WORK ONLY TO THE FIGURED DIMENSIONS.



SITE PLAN 1:40

**NEW RESIDENCE FOR F. D. WILDING ESQ**  
 ON LOT 477, GLENASHLEY.

FREDERIC C LEE ARCHT. R.I.A. H.A. CHARTERED ARCHITECT.  
 BOARD'S PERMANENT BUILDING, SMITH STREET, DUBLIN.

JOHN C PARKIN CIVIL ARCHT. H.A. ASSOCIATED ARCHITECT  
 EAST LONDON.

DRAWN BY: A. W. L. CALLED BY: DATE: 8.10.58 SCALE: 1/4" = 1'-0" REFERENCE: 265/10

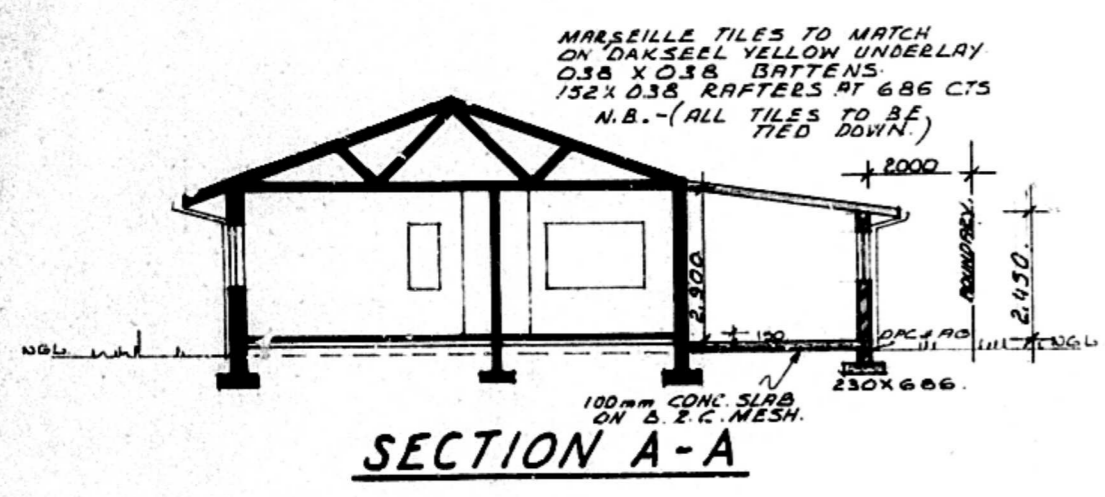
220/2/7

**IMPORTANT**  
 APPLICATION FOR REFUND OF PORTION OF BUILDING FEES ON ABANDONED PLANS MUST BE RECEIVED BY THE CITY ENGINEER'S DEPARTMENT SEVENTEEN (17) DAYS PRIOR TO THE EXPIRY DATE OF APPROVAL OF THIS PLAN.

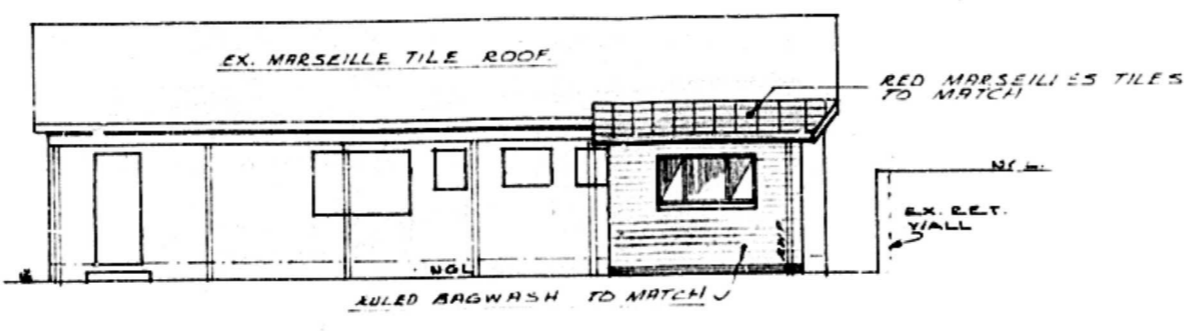
**STRUCTURAL STEEL DETAILS**

PLAN SUBSTITUTED 17.2.77  
 SHEET SUBSTITUTED  
 SHEET ADDED

N/C DETAILS REQUIRED



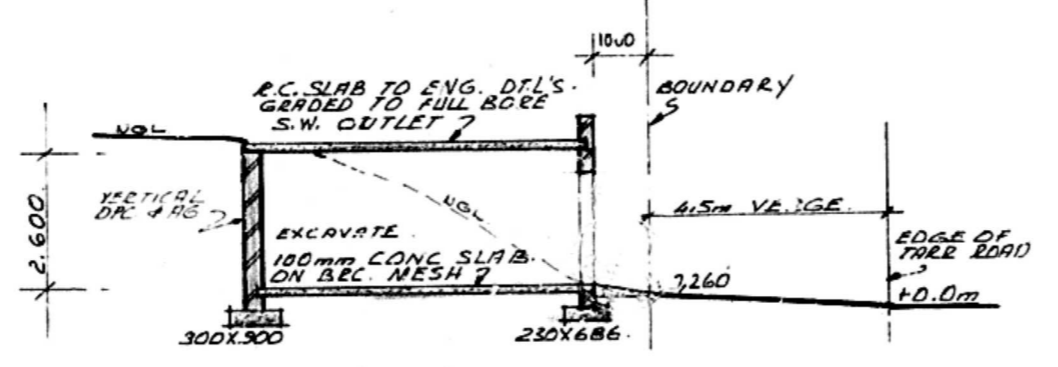
**SECTION A-A**



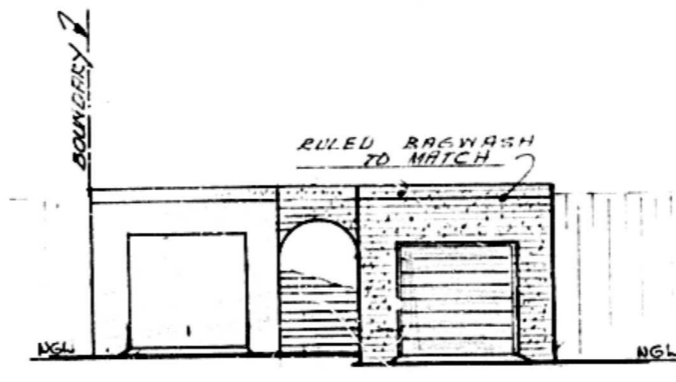
**NORTH EAST ELEVATION.**



**NORTH WEST ELEVATION.**



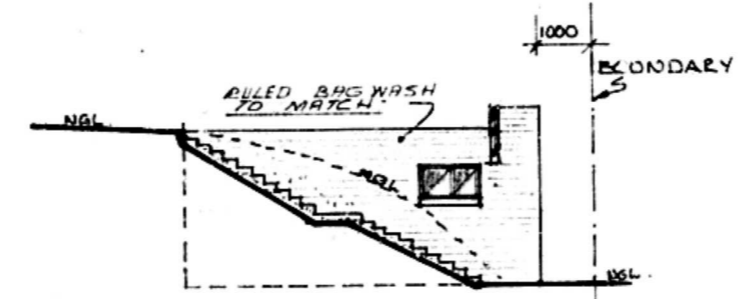
**SECTION B-B.**



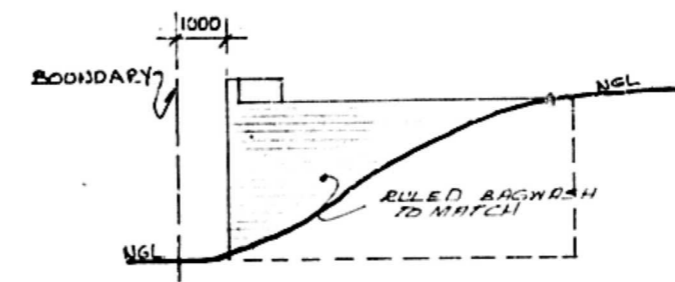
**SOUTH EAST ELEVATION**



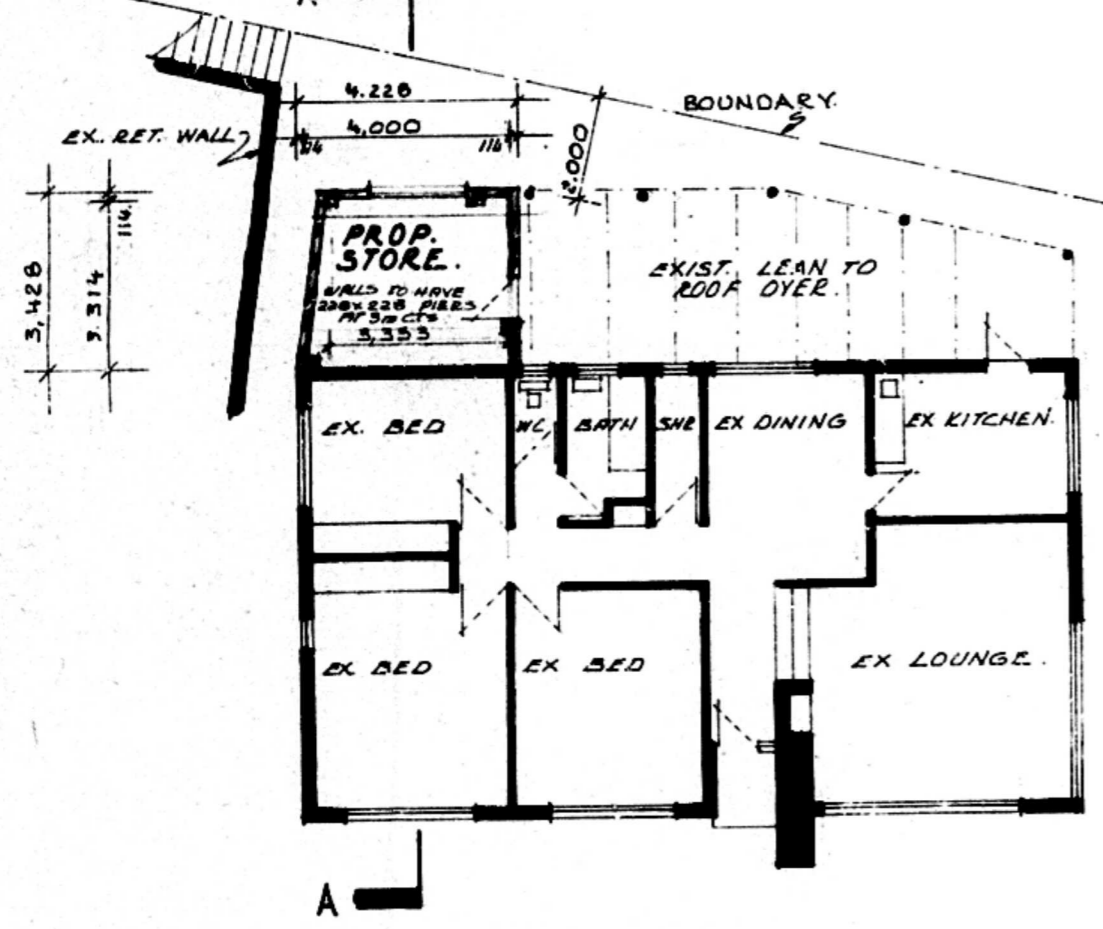
**SOUTH EAST ELEVATION**



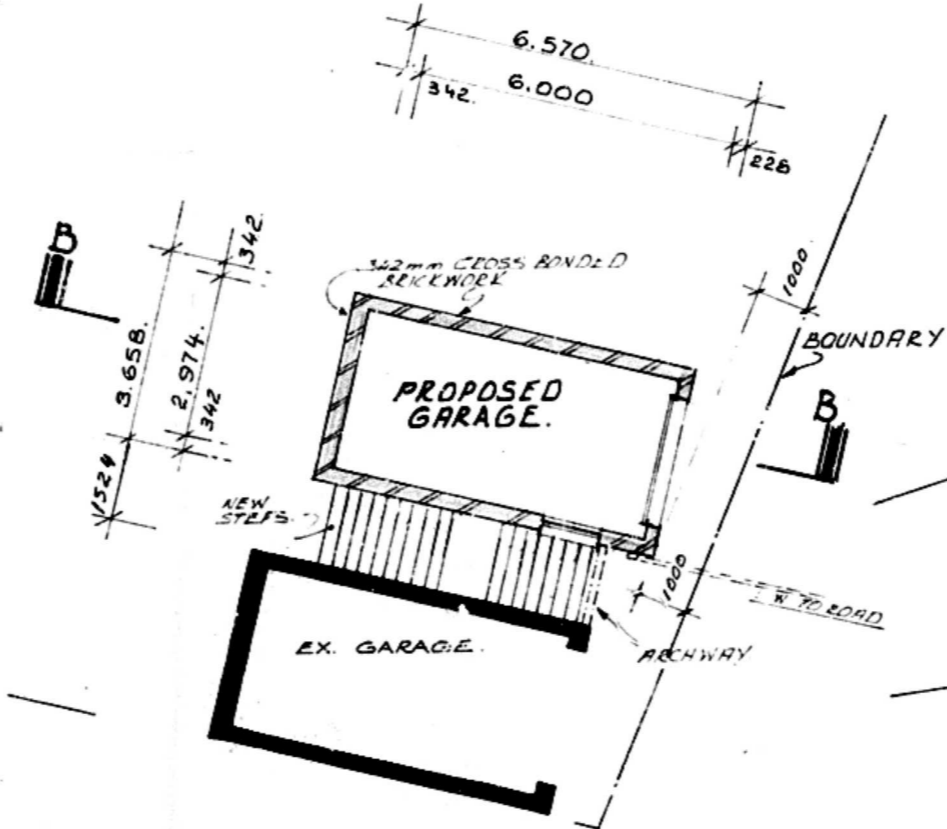
**SOUTH WEST ELEVATION.**



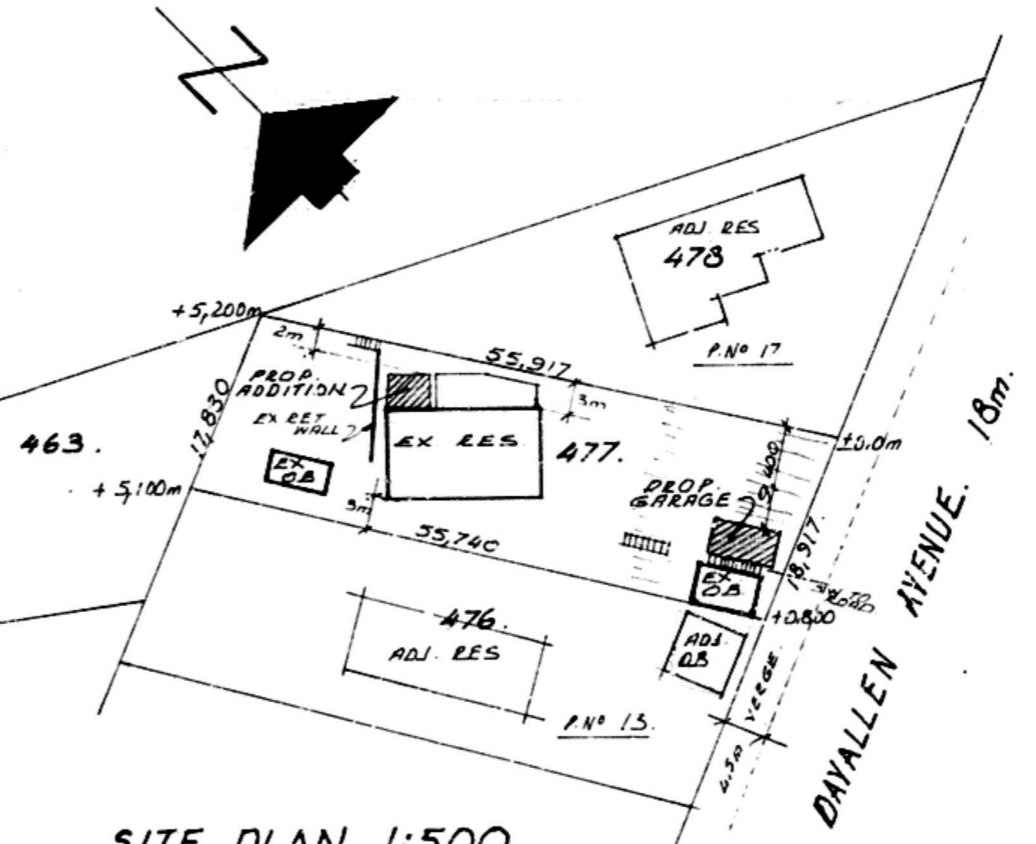
**NORTH EAST ELEVATION.**



**PLAN**



**PLAN**



**SITE PLAN 1:500.**  
 LOT 477 OF GLENASHLEY T/SHIP.  
 RATE NO 952320.

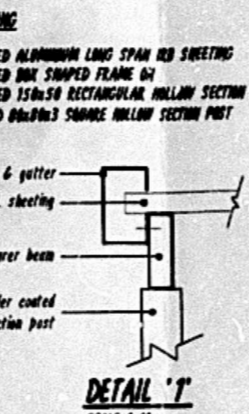
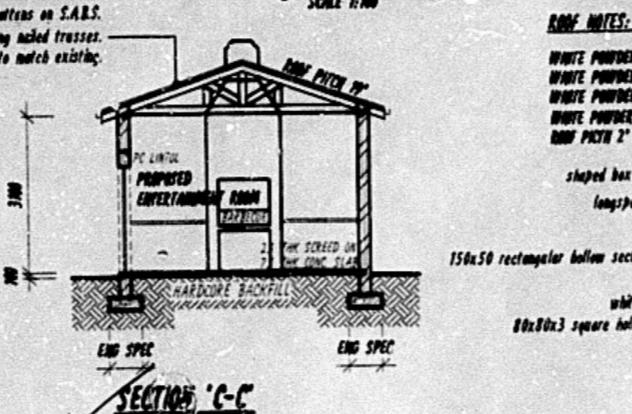
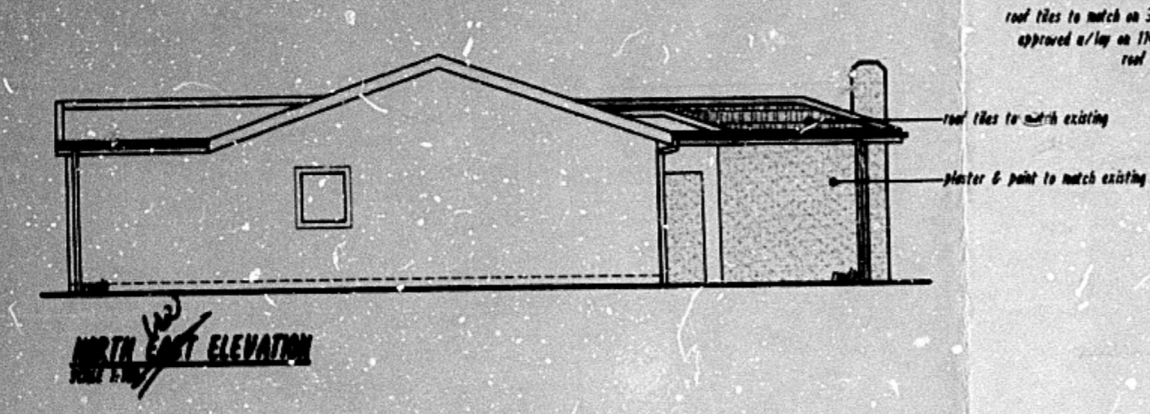
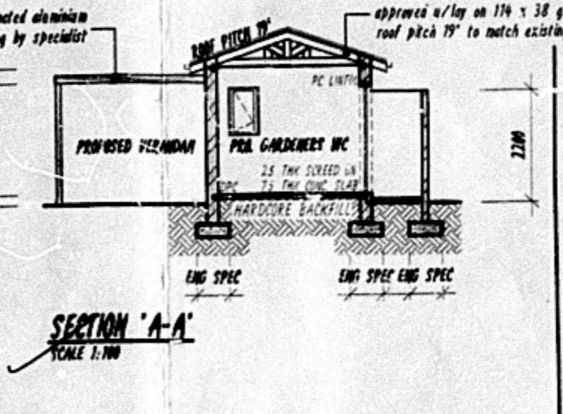
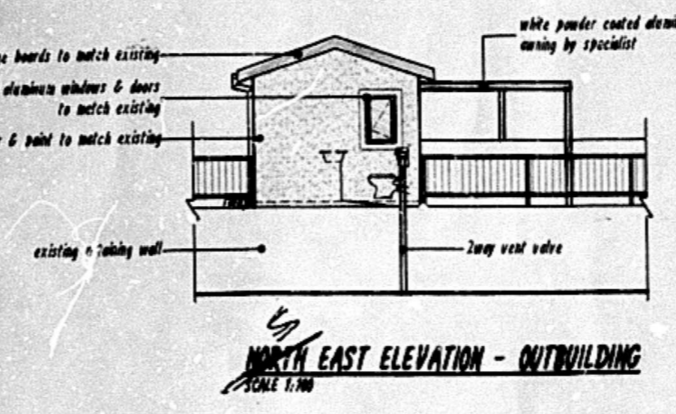
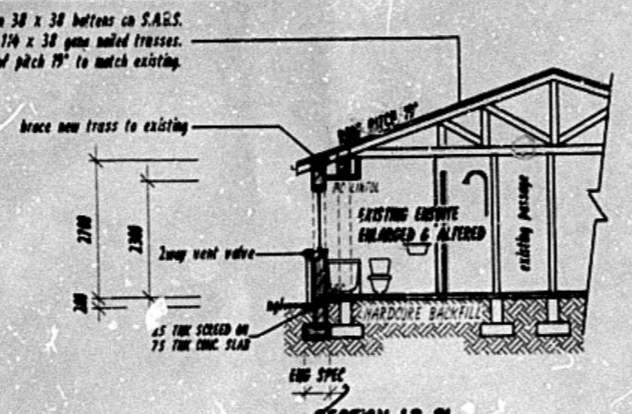
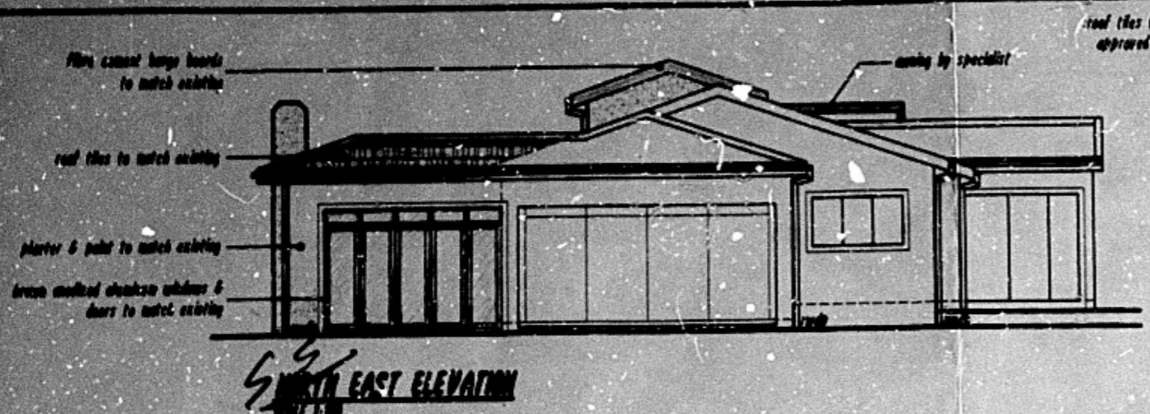
**GENERAL NOTES**  
 Contractor to use figured dimensions and not to scale drawing.  
 All work to conform to current by-laws.  
 Contractor to make good all existing work effected by alterations.  
 Contractor is to check levels of excavation and build up prior to tending.  
 No claims for extras will be considered unless after quotation has been agreed and signed for.  
 The contractor is to inspect the approved plan and to note local authority requirements.

**SPECIAL NOTES**  
 All quotes to be referred to consultant.  
 Vehicular entrance levels and boundary wall foundation levels to be obtained from town engineer.  
 All walls retaining earth over 1.5m high to building to be in English bond, built on concrete foundation to the satisfaction of the local authority.  
 All truss intersections to be washed and rafters, all timberwork to be treated with preservative and nails.  
 All walls above on flat surface shall be to be finished with every clean plaster.

|           |               |                                |
|-----------|---------------|--------------------------------|
| DRAWN     | J.J.M. Murphy | SPECIAL NOTES                  |
| CHECKED   | A. BOYS       | NEW AREA                       |
| SCALE     | 1:100 1:500   | ADDITION 13,808 m <sup>2</sup> |
| DATE      | 16. 11. 76.   | GARAGE 24,033 m <sup>2</sup>   |
|           |               | TOTAL 47,841 m <sup>2</sup>    |
| NO.       |               |                                |
| CONC. NO. | 3106          |                                |

**DRAWING SERVICE**  
 508 PAYNE BUILDING • WEST STREET • DURBAN • TEL. 312737 / 312738

**PROPOSED ADDITION TO RESIDENCE & NEW GARAGE FOR MR. N. RAISON, 15 DAYALLEN AVENUE, GLENASHLEY.**

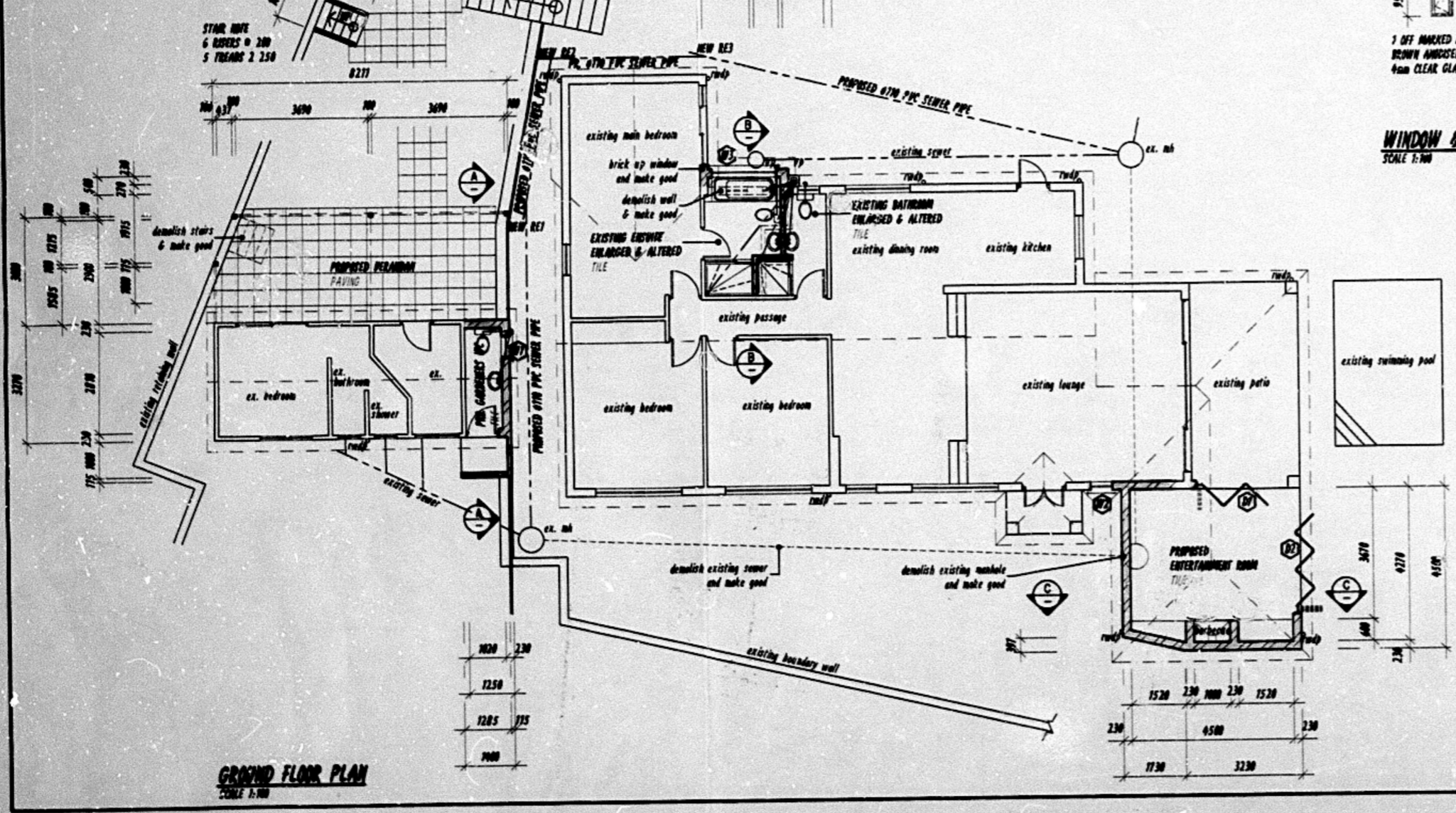
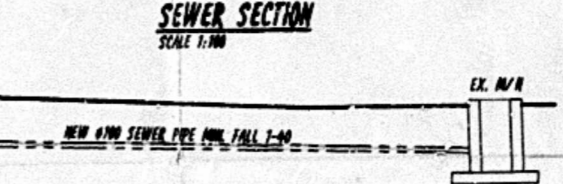
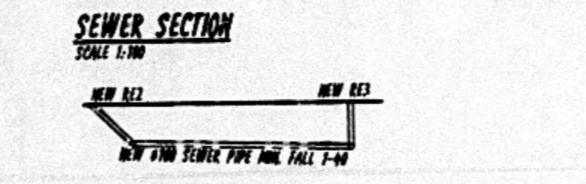
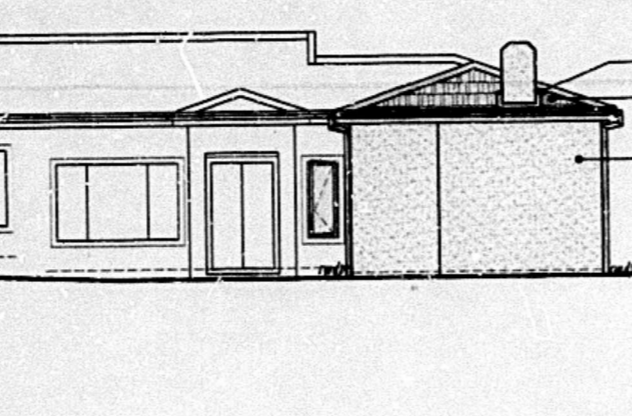
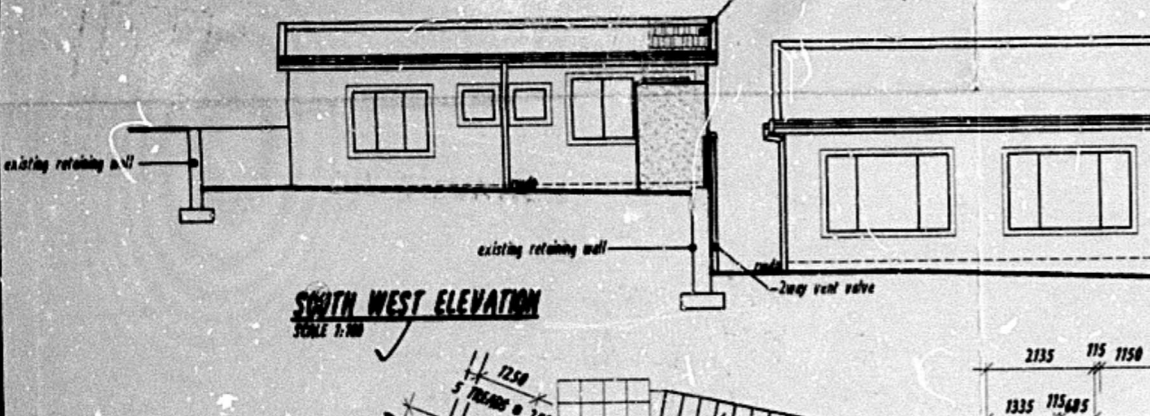
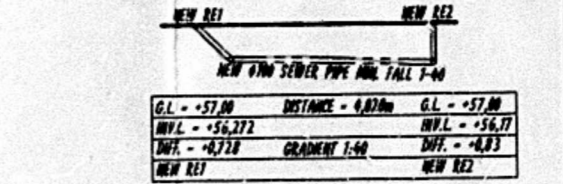
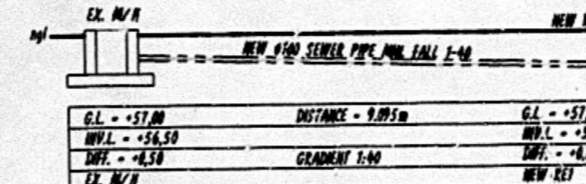
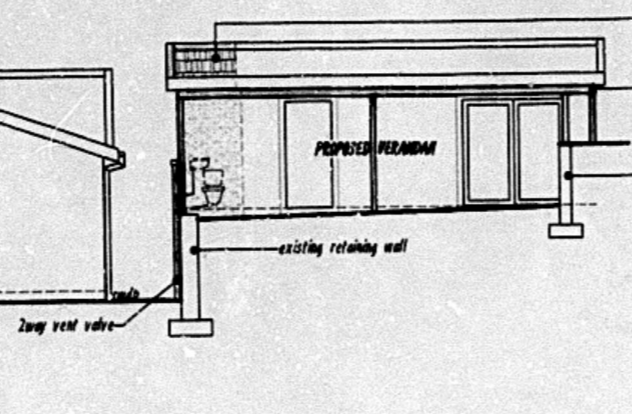
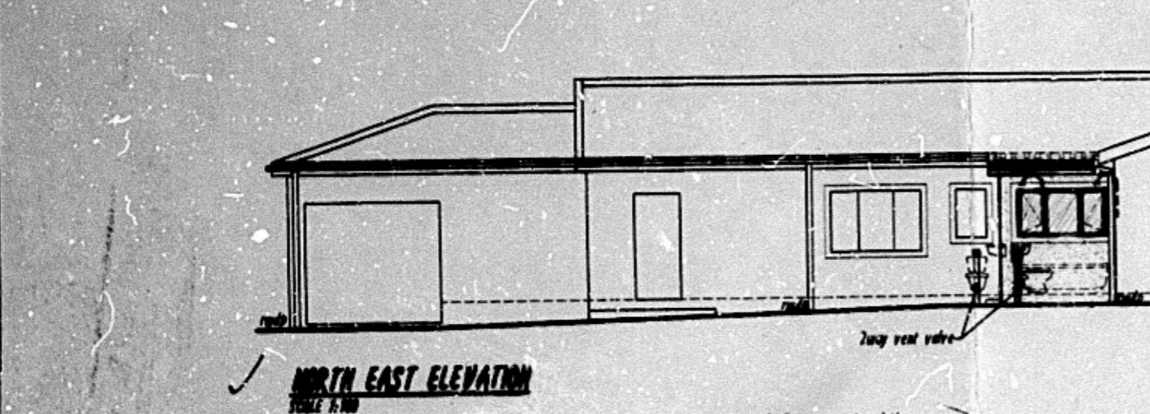


**ROOF NOTES:**  
 CEMENT ROOF TILES TO MATCH EXISTING AT 7% SLOPE ON 38 x 34 TILE BATTERS AT 350 CDS ON "WHITE" TILE PARAPETS TO 500mm TYPICAL AND GRAB AT FINISH TO BE AS PER PART J OF SANS 1040 TABLE 1 AND 2  
 RAFTERS 170x35 AD 6 TO BEAD  
 TRUSS BRACE & BRACE 170x35 CSD 4  
 3 x 100x100x100 WASHES AND NUTS PER CONNECTION  
 TRUSS SPACING 600mm C/CS  
 ON 75 x 75 WALL PLATES, 2 x 40 GALVANIZED TRUSS TIES BUILT IN TO BRACKETWORK AND CORUSSES PER TRUSS END AS PER SANS 1040 SPECIFICATION  
 200 x 200 TYPICAL RESISTION FASTENERS AND BRACE BRACKETS, ACCESSORY CEMENT GUTTERS & DOWNPIPES  
 38 x 38 SA PINE CEILING BATTERS AT 400 CDS TO SUPPORT ROOFLINE OR SIMILAR CEILING BOARD SYSTEMS, BRACKETS CEILING CORNICES TO OWNERS SPECIFICATION  
 FIREWALLS TO UNDERSIDE OF ROOF TILES

**BUILDERS NOTES:**  
 ALL FOUNDATIONS TO ENGINEER'S DETAILS. CONCRETE "BENCH MARK" D.P.C. TO BE PROVIDED AT TOP OF FLOOR SLAB LEVEL, UNDER CELL AND PARAPETS.  
 GLAZING TO COMPLY WITH PART K OF SANS 1040  
 ALL WINDOWS TO COMPLY WITH SANS 1040 & TO LOCAL AUTHORITY BYLAW.  
 SMC POSTINGS TO SANS 1040  
 2 ANCHORS PER: ALL DOORS AND WINDOWS SAFETY GLASS TO COMPLY WITH S.A.S. 8.2.2. ALL PROPOSED GLASS TO COMPLY WITH S.A.S. 8.2.2. FURNISH TO BE TREATED IN ACCORDANCE WITH S.A.S. 8.5 AND TO COMPLY WITH THE RELEVANT REQUIREMENT OF S.A.S. 1288 (4.7.1)  
 DECREASE EVERY THIRD COURSE  
 2 COURSES OF BRICKWORK TO BE REINFORCED WITH BRICKFORCE IN SOLID CEMENT MORTAR JOINTS BELOW WALLPLATE LEVEL. ABOVE WINDOW HEAD LEVELS AND BELOW WINDOW SILL LEVEL. WALLS TO COMPLY WITH PART K OF SANS 1040  
 LIGHTING & VENTILATION TO COMPLY WITH PART L OF SANS 1040  
 FLASHING TO COMPLY WITH PART L.5.2 OF SANS 1040  
 FLOORS IN ACCORDANCE OF PART J OF SANS 1040  
 EXTERNAL DOORS & THEIR FRAMES TO BE HARDWOOD.

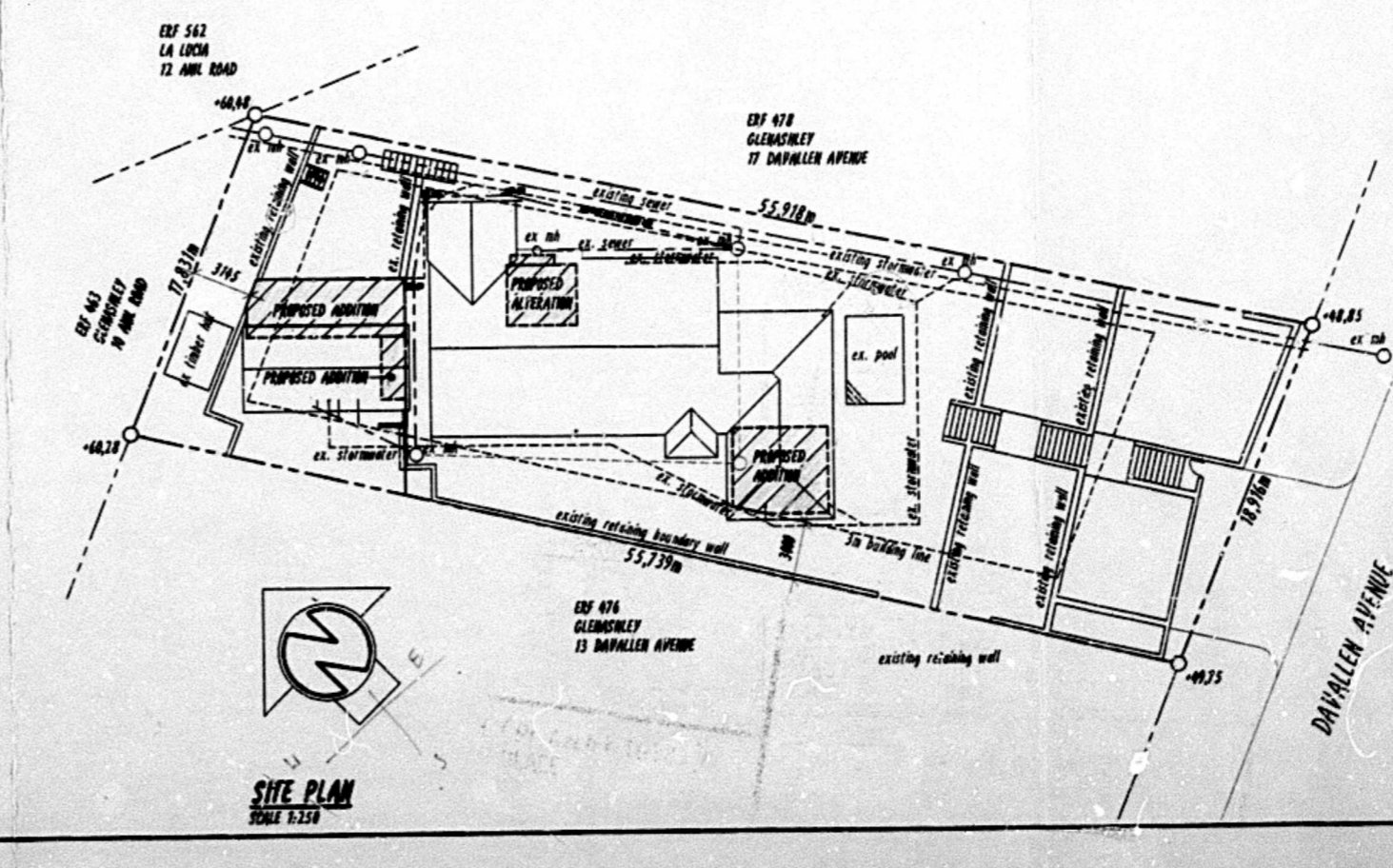
**PLUMBERS NOTES:**  
 NEW FALL TO BE 10-40  
 NEW COVER TO BE 10-40  
 ALL DRAIN PIPES AND FITTINGS TO BE SANS APPROVED  
 ALL WASTE PIPES TO BE 100 PVC  
 PIPING TO BE TO ENDS OF ROOF  
 TERMINATE AS PER DRAWING  
 PROVIDE 10% TO ALL JUNCTIONS AND BENDS AS PER DRAWING.  
 PROVIDE 10% TO END OF RUN & AS PER DRAWING.

**GENERAL NOTES:**  
 EX 477 GLENASHLEY, AREA - 1072,00 m<sup>2</sup>  
 FLOOR AREA RATIO - 0,044 m<sup>2</sup>  
 EXISTING FLOOR AREA - 236,52 m<sup>2</sup>  
 PROPOSED FLOOR AREA - 57,66 m<sup>2</sup>  
 TOTAL FLOOR AREA - 301,94 m<sup>2</sup>  
 COVERAGE - 400,00 m<sup>2</sup>  
 PROPOSED COVERAGE AREA - 236,52 m<sup>2</sup>  
 PROPOSED COVERAGE - 57,66 m<sup>2</sup>  
 TOTAL COVERAGE - 301,94 m<sup>2</sup>  
 PROPOSED ENTERTAINMENT ROOM - 21,97 m<sup>2</sup>  
 PROPOSED EXISTING ADDITION - 2,13 m<sup>2</sup>  
 PROPOSED GARDENERS WC - 4,00 m<sup>2</sup>  
 PROPOSED ANNEX - 26,28 m<sup>2</sup>



**WINDOW & DOOR SCHEDULE**  
 SCALE 1:50

| NO. | DESCRIPTION  | NO. | DESCRIPTION  |
|-----|--|-----|--|
| 1   | 1000x1500 MARKED AS "W1" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS | 1   | 1000x1500 MARKED AS "W1" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS |
| 2   | 1000x1500 MARKED AS "W2" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS | 2   | 1000x1500 MARKED AS "W2" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS |
| 3   | 1000x1500 MARKED AS "W3" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS | 3   | 1000x1500 MARKED AS "W3" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS |
| 4   | 1000x1500 MARKED AS "W4" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS | 4   | 1000x1500 MARKED AS "W4" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS |
| 5   | 1000x1500 MARKED AS "W5" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS | 5   | 1000x1500 MARKED AS "W5" BROWN ANODISED ALUMINIUM FULL PANE WINDOW 6mm CLEAR GLASS |



**SITE INSPECTION IN ORDER**  
 D. O. L. [Signature]  
 DATE 20/11/21

**BUILDING APPLICATION**  
 APPROVED IN TERMS OF Sec. 7 of The National Building Regulations and Building Standards Act No. 103/1977

23/1/22  
 LOCAL AUTHORITY  
 APPROVED IN TERMS OF Sec. 7 of The National Building Regulations and Building Standards Act No. 103/1977

**AS BUILT**  
 [Signature]

**NEIGHBOUR CONSENT**

| ADDRESS        | NAME    | TEL. No     | SIGNATURE   |
|----------------|---------|-------------|-------------|
| 15 DAVALL ROAD | A. Goss | 082 558 860 | [Signature] |

**Ian Whitaker**  
 Draughting Designs  
 COMPUTER AIDED DRAUGHTING  
 REG. NO. D0783

PROFESSIONAL ARCHITECTURAL DRAUGHTS PERSON  
 8 UP THE HILL, SUNNINGDALE, 4051 TEL: 031 5620310 FAX: 0866 499530  
 CELL No. 083 303 665

Proposed Alterations and Additions to Existing Dwelling For A.E. Labuschagne At 15 Davallen Avenue ERF 477 Glenashley TEL - 082 773 2985

DRAWING TITLE  
 SUBMISSION DRAWING - SITE PLAN, FLOOR PLAN, SECTION AND ELEVATIONS

PROJECT NO: WD11-129 DRAWING NO: WD11/129/501 REV. NO.: C

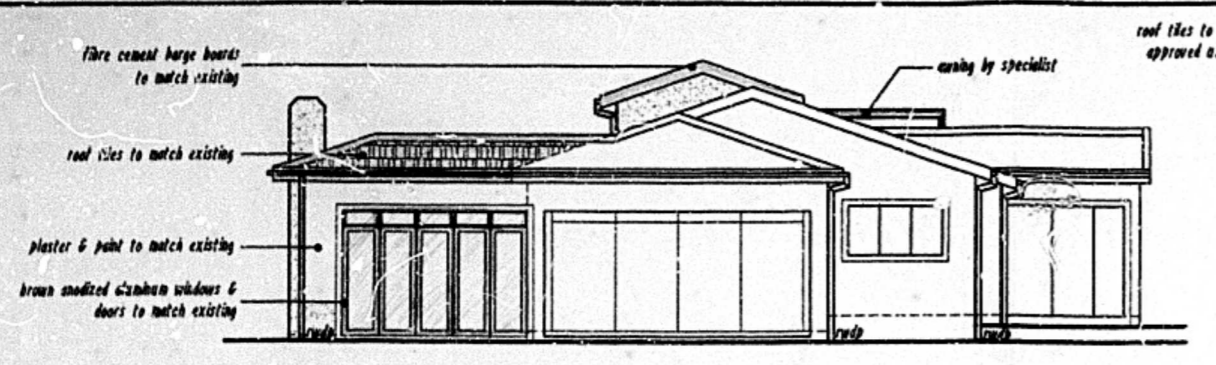
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AUTHOR'S SIGNATURE: [Signature]

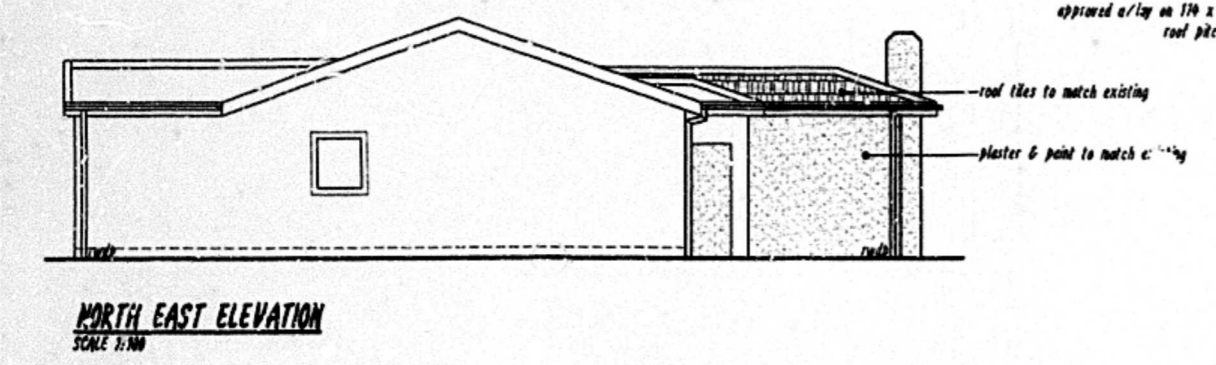
OWNER'S SIGNATURE: [Signature]

ETHEKWINI MUNICIPALITY  
 LAND USE MANAGEMENT - CENTRAL REGIONAL OFFICE  
**GRANTED**  
 NAME: [Signature]  
 SIGNATURE: [Signature]  
 DATE: 30 Nov 2011  
 This does NOT constitute an approval. In terms of the MUR (Act No. 103 of 1997). This authority does not exempt the application from compliance with any other statutory requirements or any other applicable law.

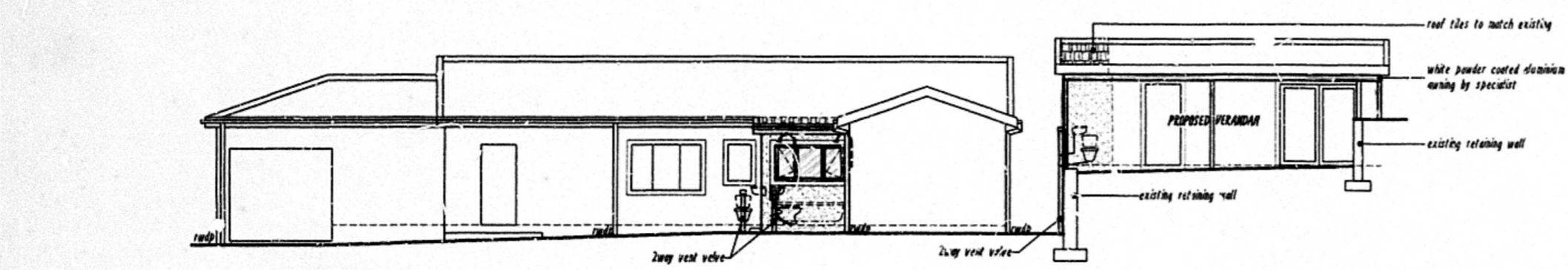
MTF



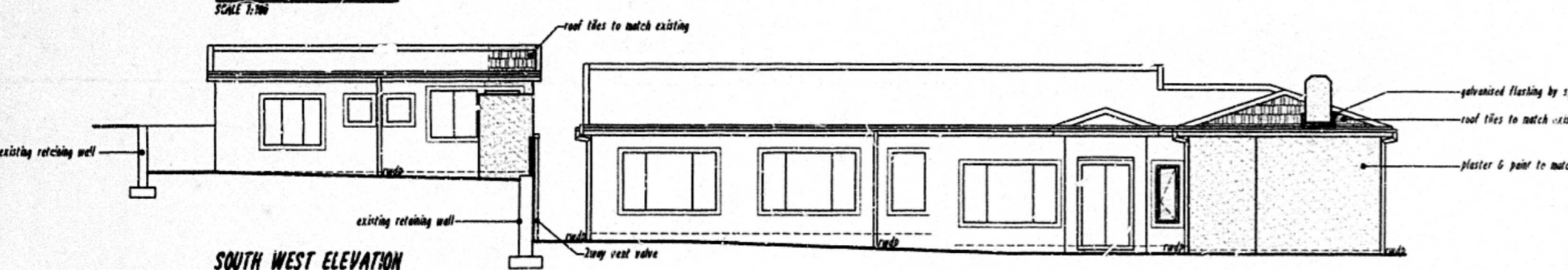
**NORTH EAST ELEVATION**  
SCALE 1:100



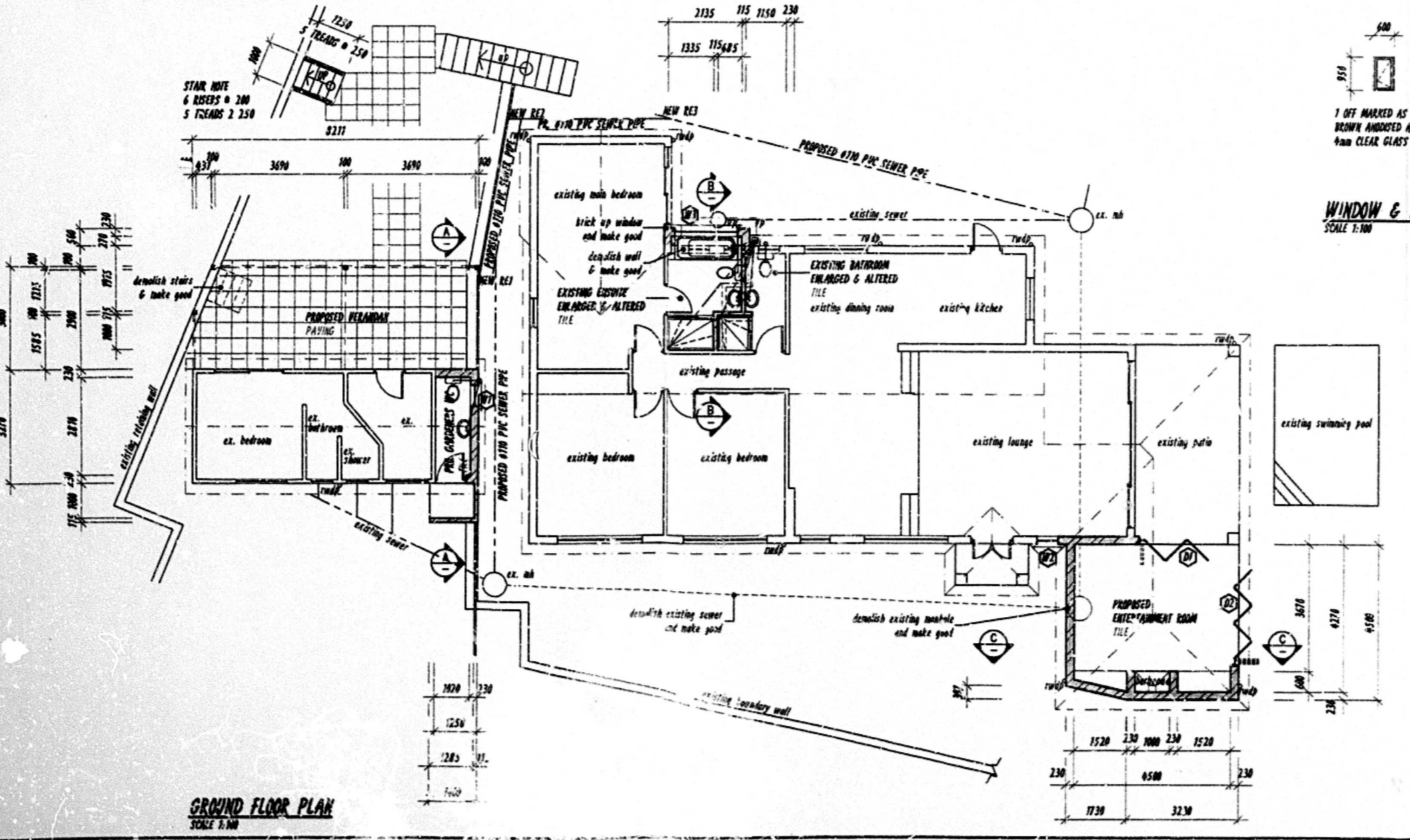
**NORTH EAST ELEVATION**  
SCALE 1:100



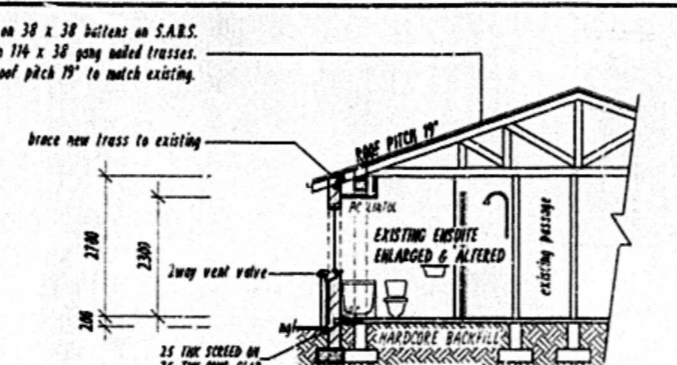
**NORTH EAST ELEVATION**  
SCALE 1:100



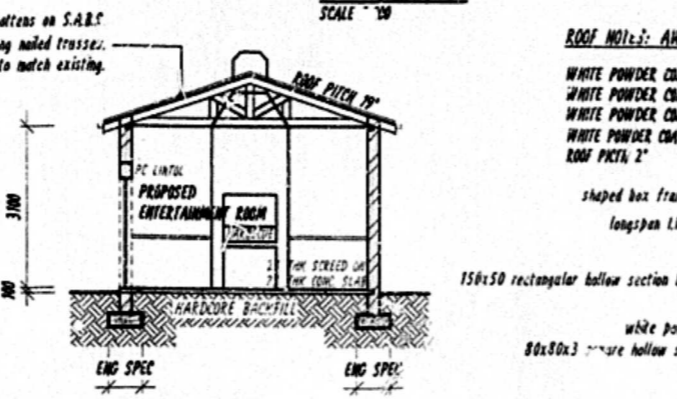
**SOUTH WEST ELEVATION**  
SCALE 1:100



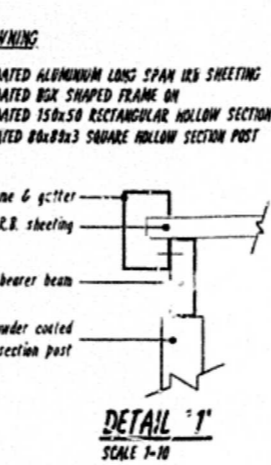
**GROUND FLOOR PLAN**  
SCALE 1:100



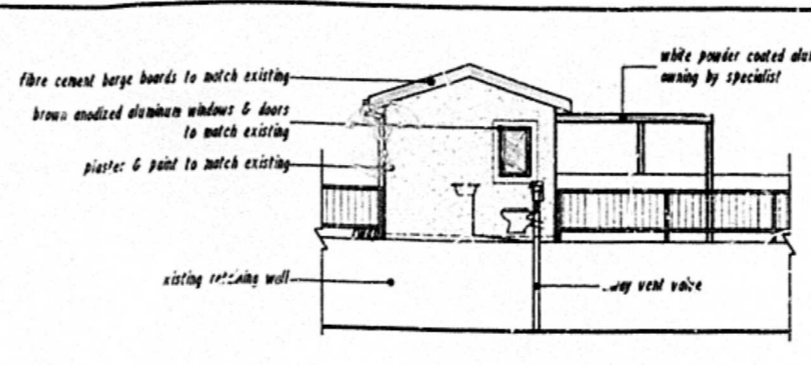
**SECTION 'B-B'**  
SCALE 1:50



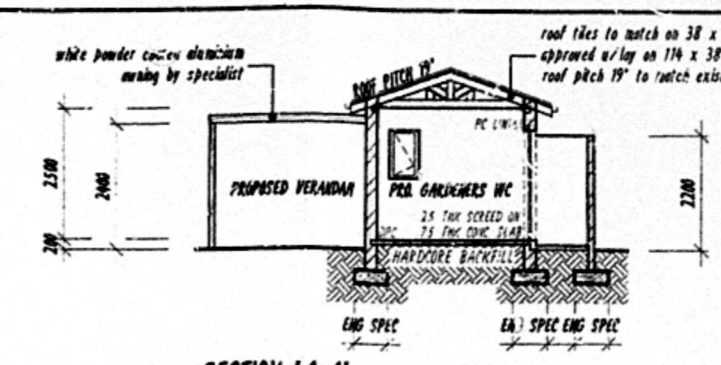
**SECTION 'C-C'**  
SCALE 1:100



**DETAIL 'T'**  
SCALE 1:10



**NORTH EAST ELEVATION - OUTBUILDING**  
SCALE 1:100



**SECTION 'A-A'**  
SCALE 1:100

**ROOF NOTES:**  
 CEMENT ROOF TILES TO MATCH EXISTING AT 19° SLOPE ON 38 x 38 TILE BATTENS AT 330 C/S ON "WHITE" TILE PVC MEMBRANE TO SABS TRUSS FABRICATION AND GRADE OF TOWER TO BE AS PER PART I OF SABS 1000 TABLE 1 AND 2  
 RATES: 114x38 CED 6 TR BEAMS 114x38 CED 6 RING/QUEEN & TRACK 114x38 CED 6 3 x 100x100 M.S. WALLS AND 110x110 P.S. CONNECTIONS  
 MAX TRUSS SPACING 600mm C/CES ON 76 x 114 WALL PLATES. 2 x 44 GALVANIZED TRUSS TIES WITH IN TO BRACKWOOD AND 4 CORNERS PER TRUSS END AS PER SABS "MID SPECIFICATION".  
 230 x 2 TO 100% ASPHALTIC FASADA AND BARGE BOARDS. ASPHALTIC CEMENT GUTTERS & DOWNPIPES.  
 38 x 38 PVC CEILING BATTENS AT +600 C/S TO SUPPORT HERRICULE OR SIMILAR CEILING BOARD SPECIFIED. DRAIN CEILING CORNICE TO OVERHANG SPECIFICATION. FIREWALLS TO UNDERSIDE OF ROOF TILES.

**ROOF JOINT: AWNING**  
 WHITE POWDER COATED ALUMINIUM LONG SPAN IIS SHEETING  
 WHITE POWDER COATED BOX SHAPED FRAME ON WHITE POWDER COATED 150x50 RECTANGULAR HOLLOW SECTION BEARER BEAM  
 WHITE POWDER COATED 150x50 RECTANGULAR HOLLOW SECTION POST  
 ROOF PITCH 19°  
 shaped box frame & gutter longspan L.C.R. sheeting  
 150x50 rectangular hollow section bearer beam  
 white powder coated 80x80x3 square hollow section post

**ROOF NOTES:**  
 ALL FOUNDATIONS TO ENGINEER'S DETAILS. GUIDE "BLACK GRIP" D.P.C. TO BE PROVIDED AT TOP OF FOUNDATION LEVEL, UNDER C/S AND PARAPETS.  
 GLAZING TO COMPLY WITH PART N OF SABS 1000  
 ALL WORK TO COMPLY WITH SABS 1000 & TO LOCAL AUTHORITY'S SPECS.  
 SCS. POSTING TO SABS 1000  
 2 SUBROCKS OVER ALL DOORS AND WINDOWS SAFETY GLAZING TO COMPLY WITH 4.1.3 OF N.B.S.  
 ALL PROPOSED WORK TO COMPLY WITH N.B.S. AND S.A.B.S. 1012 TABLE 10 TO BE TREATED IN ACCORDANCE WITH S.A.B.S. 1012 AND COMPLY WITH THE RELEVANT REQUIREMENT OF S.A.B.S. 1218 (4.7.1)  
 BRICKWORK EVERY THIRD COURSE  
 2 COURSES OF BRICKWORK TO BE REINFORCED WITH BRICKWORK IN SOLID CEMENT MORTAR JOINTS BELOW WALLPLATE LEVEL.  
 400% WINDUP HEAD LEVEL AND BELOW WINDOW CELL LEVEL. WALLS TO COMPLY WITH PART K OF SABS 1000  
 LIGHTING & VENTILATION TO COMPLY WITH PART G OF SABS 1000  
 FLASHING TO COMPLY WITH PART L.5.2 OF SABS 1000  
 FLOORS IN ACCORDANCE OF PART J OF SABS 1000  
 EXTERNAL DOORS & THEIR FRAMES TO BE HARDWOOD.

**BUILDERS NOTES:**  
 ALL FOUNDATIONS TO ENGINEER'S DETAILS. GUIDE "BLACK GRIP" D.P.C. TO BE PROVIDED AT TOP OF FOUNDATION LEVEL, UNDER C/S AND PARAPETS.  
 GLAZING TO COMPLY WITH PART N OF SABS 1000  
 ALL WORK TO COMPLY WITH SABS 1000 & TO LOCAL AUTHORITY'S SPECS.  
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 FLASHING TO COMPLY WITH PART L.5.2 OF SABS 1000  
 FLOORS IN ACCORDANCE OF PART J OF SABS 1000  
 EXTERNAL DOORS & THEIR FRAMES TO BE HARDWOOD.

**PLUMBERS NOTES:**  
 MIN FALL TO DRAINS TO BE 1-60  
 MIN COVER TO DRAINS TO BE 450mm  
 ALL DRAIN PIPES AND FITTINGS TO BE SABS APPROVED.  
 ALL WASTE PIPES TO BE 50 PVC  
 PROVIDE 10° TO ENDS OF RISERS (DRAINS) AS PER DRAWING.  
 PROVIDE 10° TO ALL JOINTS AND ENDS AS PER DRAWING.  
 PROVIDE 10° TO END OF RUN & 1° PER DRAWING.

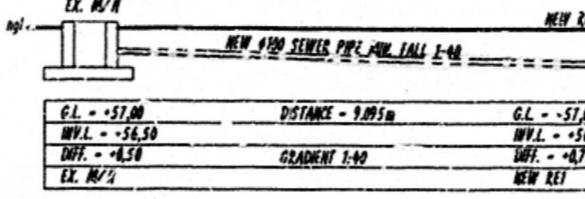
**SCHEDULE OF AREAS**

|                            |                          |
|----------------------------|--------------------------|
| EXIST 977 GLENASHLEY, AREA | - 1072,00 m <sup>2</sup> |
| FLOOR AREA PAID            | - 209,40 m <sup>2</sup>  |
| PERMISSIBLE F.A.R. 0,70    | - 250,52 m <sup>2</sup>  |
| EXISTING FLOOR AREA        | - 51,66 m <sup>2</sup>   |
| PROPOSED FLOOR AREA        | - 307,80 m <sup>2</sup>  |
| TOTAL FLOOR AREA           | - 359,46 m <sup>2</sup>  |

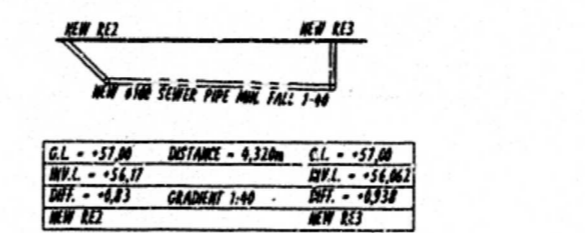
**COVERAGE**

|   |                         |
|---|-------------------------|
| PERMISSIBLE 60% OF 1072,00 m <sup>2</sup> | 643,20 m <sup>2</sup>   |
| EXISTING COVERAGE AREA                    | - 51,66 m <sup>2</sup>  |
| PROPOSED COVERAGE                         | - 51,66 m <sup>2</sup>  |
| TOTAL COVERAGE                            | - 305,98 m <sup>2</sup> |

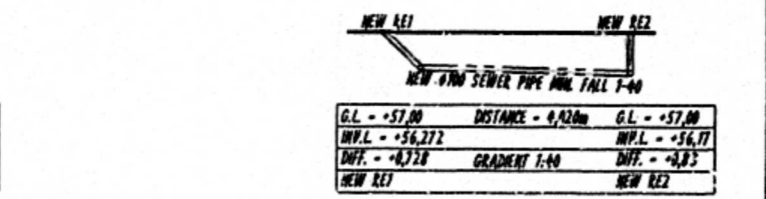
PROPOSED ENTERTAINMENT ROOM - 21,97 m<sup>2</sup>  
 PROPOSED EXISTING ADDITION - 1,73 m<sup>2</sup>  
 PROPOSED GARAGE/ENTRY WC - 6,80 m<sup>2</sup>  
 PROPOSED AWNING - 26,28 m<sup>2</sup>



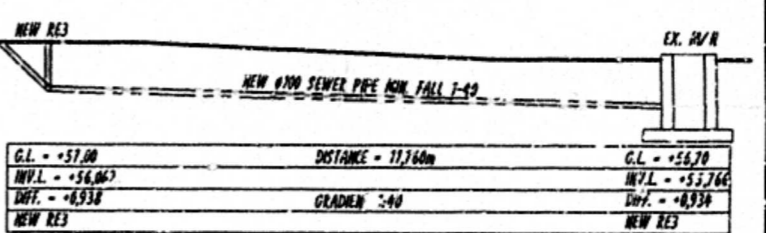
**SEWER SECTION**  
SCALE 1:100



**SEWER SECTION**  
SCALE 1:100

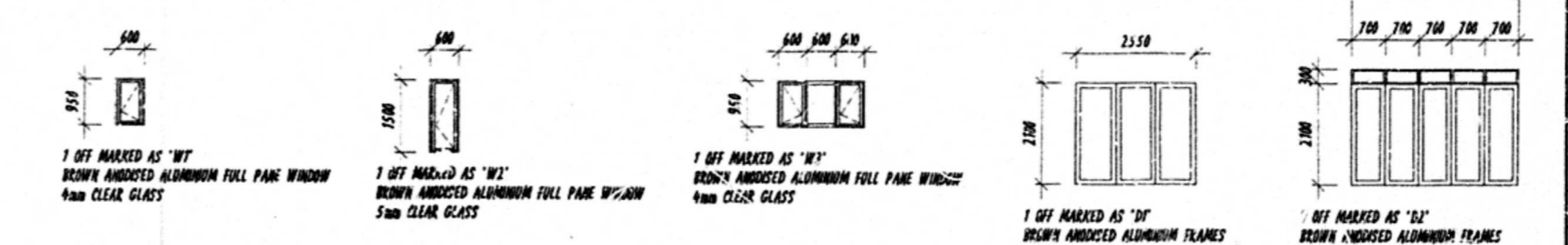


**SEWER SECTION**  
SCALE 1:100



**SEWER SECTION**  
SCALE 1:100

**WINDOW & DOOR SCHEDULE**  
SCALE 1:100

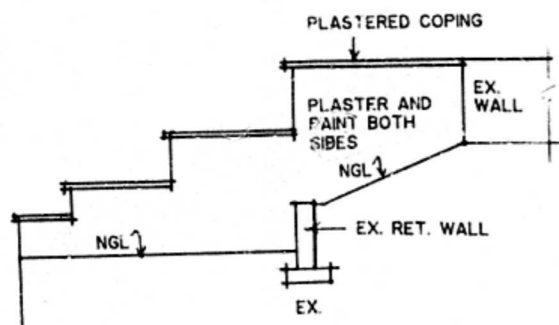


| NEIGHBOUR'S COMMENT |         |              |             |
|---------------------|---------|--------------|-------------|
| ADDRESS             | NAME    | TEL. No      | SIGNATURE   |
| 15 DAVALL ROAD      | J. Govs | 021 525 8210 | [Signature] |

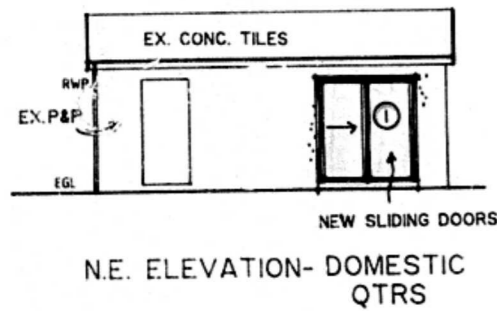
REGISTERED SYSTEMS 08 84/2004/23/1/A  
**Ian Whitaker**  
 Drafting Designs  
 COMPUTER AIDED DRAWINGS  
 REG. NO. 00781

PROFESSIONAL ARCHITECTURAL DRAUGHTS PERSON CELL No. 083 303 8464  
 8 UP THE HILL, SUNDHOLDALE, 4051 TEL: 031 5620310 FAX: 0896 4992300  
**Proposed Alterations and Additions to Existing Dwelling For A.E. Labuschagne At 15 Davallen Avenue ERF 477 Glenashley TEL - 082 773 2985**

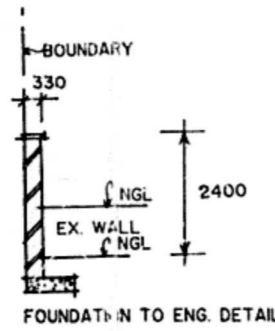
|   |                             |               |
|---|-----------------------------|---------------|
| DRAWING TITLE<br>SUBMISSION DRAWING - SITE PLAN, FLOOR PLAN, SECTION AND ELEVATIONS |                             |               |
| PROJECT NO:<br>ND11-129   | DRAWING NO:<br>ND11/129/001 | REV. NO:<br>C |
| SCALE:<br>1:10, 1:100 & 1:250   | DATE:<br>02-11-2011         |               |
| AUTHOR'S SIGNATURE: [Signature]   |                             |               |
| OWNER'S SIGNATURE: [Signature]  |                             |               |



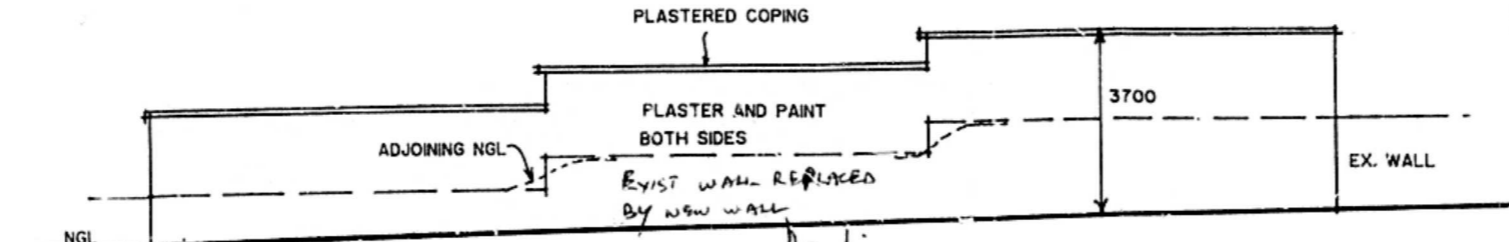
NE ELEVATION WALL ①  
1: 100



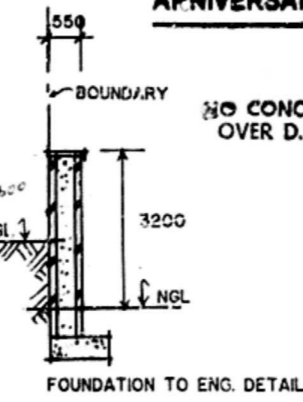
NE ELEVATION - DOMESTIC QTRS



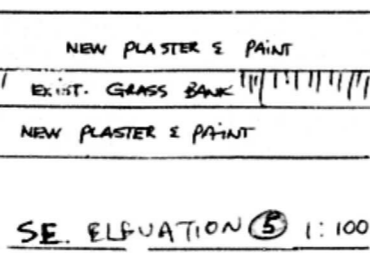
SECTION A-A  
1: 100



NE ELEVATION OF BOUNDARY WALL ②  
1: 100



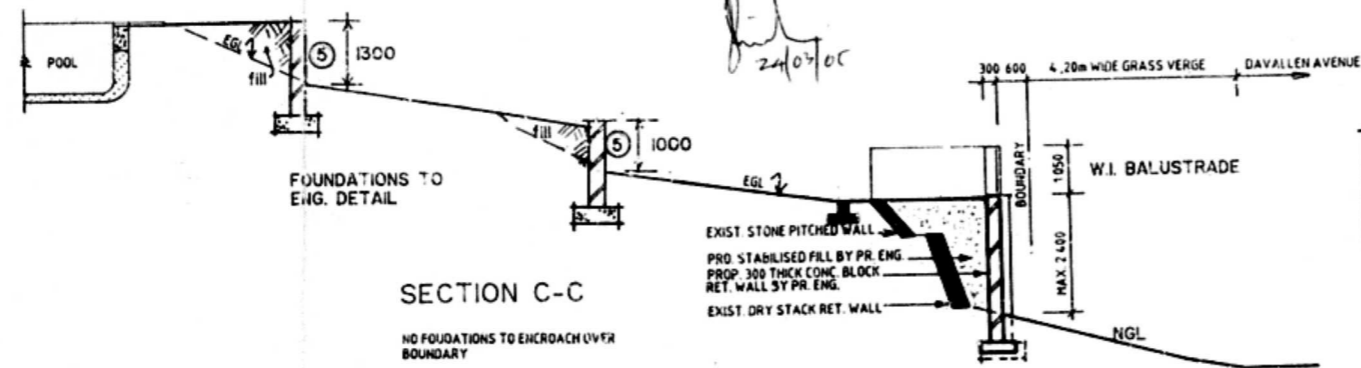
SECTION B-B



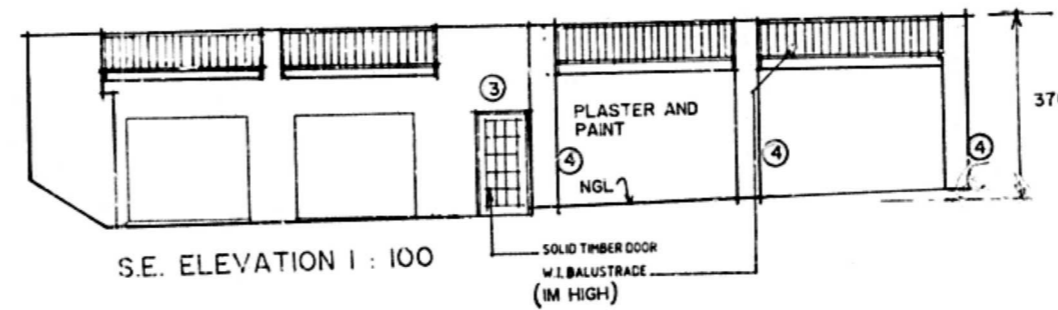
SE ELEVATION ③ 1: 100

LIST OF DEVIATIONS

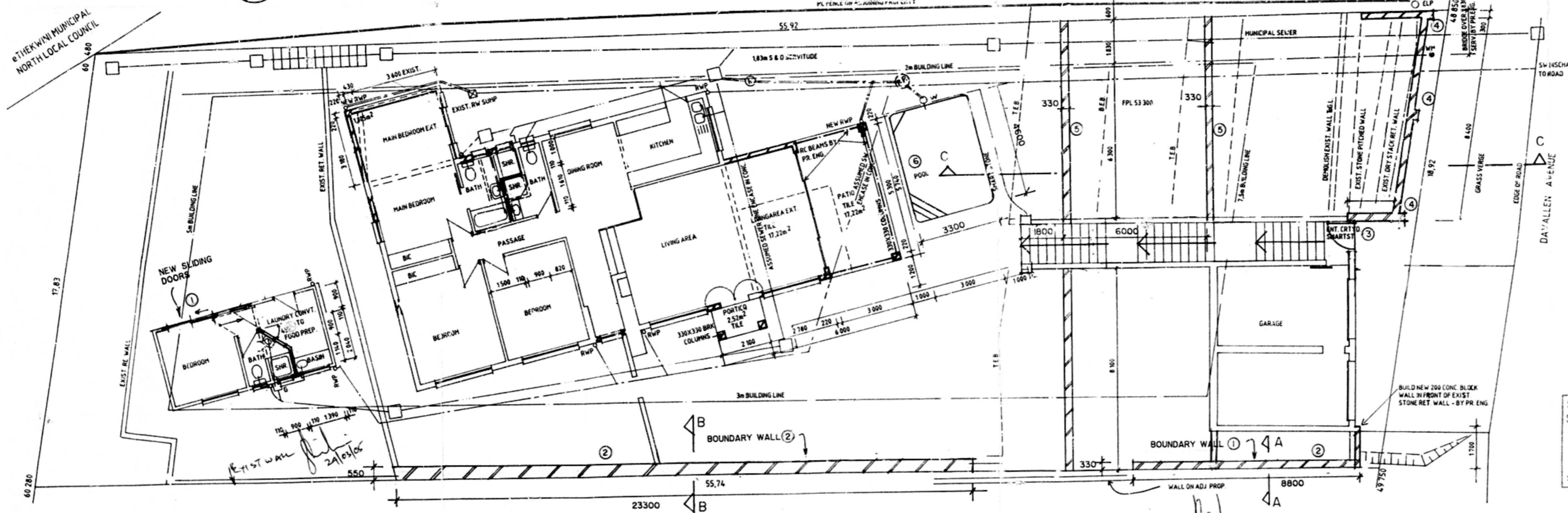
1. NEW SLIDING DOORS TO DOMESTIC QTRS
2. NEW BOUNDARY WALLS
3. NO COVERED ENT. ACCESS TO STAIRS
4. PIERS TO FRONT BOUNDARY WALL
5. RETAINING WALLS OF BRICK AND CONC. (NOT RET. BLOCK SYSTEM)
6. SWIMMING POOL SLIGHTLY ENLARGED



SECTION C-C



SE ELEVATION 1: 100



PLAN AND SITE PLAN 1: 100

NOTES:

- ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK
- RETAINING WALLS AND FOUNDATIONS TO ENGINEER'S DETAIL
- FOUNDATIONS IN SERVITUDE NOT TO EXCEED 600mm AND WALLS TO BE BRICKED.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

NO CONCRETE PERMITTED OVER D.C. SERVITUDES

Any construction work undertaken by the owner which depends upon a Council decision is undertaken at owner's risk. Any consent by the Council therefore shall not be deemed to be a waiver of any of the Council's rights in respect of such provisions.

ENGINEERS DETAILS REQUIRED

WORKS AT A MAXIMUM HEIGHT OF 2.50M ABOVE BELOW FINISH LEVEL

FOUNDATIONS TO BE A MINIMUM OF 300mm FROM D.C. SERVITUDES AND TOP OF FOUNDATION LEVEL WITH INVERT OF D.C. SERVITUDES

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH PHSJ AND DD24 OF SABS 0400.

ETHEKWINI MUNICIPALITY  
CENTRAL  
299 01 05  
APPROVED in terms of the National Building Regulations and Building Standards Act No. 109 of 1977  
2005/05/07 DATE  
LOCAL AUTHORITY  
This Plan is approved on the basis of the information shown hereon. Attention is drawn to attached documentation.

SITE INSPECTION IN ORDER  
D. B. I.  
S. E. I.  
DATE 07/10/05

SERVITUDE BRIDGE  
(FULL WIDTH OF SERVITUDE)  
BOUNDARY FOUNDATION 1: 100

LAND USE MANAGEMENT  
CONSISTENT USE AUTHORITY  
GRANTED  
14 MAR 2005

BOUNDARY BEACONS  
FAILURE TO ERECT OR MAINTAIN BOUNDARY BEACONS BEFORE COMMENCING THIS WORK IS AN OFFENCE

ELECTRICAL SERVICES  
Any person who carries out electrical operations in accordance with the provisions of the Regulations from the Electrical Services Act No. 43 of 1987 shall comply with the provisions of the Regulations and the Regulations of the Council.

ELECTRICAL SERVICES  
Any person who carries out electrical operations in accordance with the provisions of the Regulations from the Electrical Services Act No. 43 of 1987 shall comply with the provisions of the Regulations and the Regulations of the Council.

PROPOSED AMENDED PLAN OF APPROVED PLAN NO. 708/04 FOR MR AND MRS C. STRYDOM 15 DAVALLEN AVENUE ERF 477 GLENASHLEY

RATE NO: 9523 2013 Vol. 8 Code 000  
DRAWN BY Mufrey M. VB  
DATE DECEMBER 2004  
SCALES 1: 100  
OWNER'S SIGNATURE

ARCHITECTURAL PLANS  
15 ELDERBERRY DRIVE  
GLEN HILLS  
DURBAN 4051  
PH. 031 5642632

| REGISTERED OWNER | PHONE       | ADDRESS                                    | SIGNATURE |
|------------------|-------------|--|-----------|
| E.E. Els.        | 032 46 9854 | 15 DAVALLEN AVENUE<br>GLENASHLEY,<br>4051  |           |
| M. B. Strydom    | 032 215872  | 17 DAVALLEN AVENUE,<br>GLENASHLEY,<br>4051 |           |
| F.M. Bekker      | 031-5722193 | 6 DORKEEN CRESCENT,<br>GLENASHLEY,<br>4051 |           |

INCORPORATING APPROVED PLAN No: 708/04 APP. 3 & 2004  
No: APP  
No: APP

AS BUILT

SHEET 11 COPY

ETHEKWIN MUNICIPALITY

Plan No. 7 08 04

31/08/04

7 08 04

ELECTRICITY SERVICES

Any person undertaking erection of a structure sign or building shall submit to the Council a copy of the plans for the structure sign or building to the Council for approval.

1) The structure sign or building shall be erected in accordance with the Council's regulations.

2) The structure sign or building shall be erected in accordance with the Council's regulations.

3) The structure sign or building shall be erected in accordance with the Council's regulations.

ELECTRICITY SERVICES

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3) The structure sign or building shall be erected in accordance with the Council's regulations.

REGISTERED OWNER

| REGISTERED OWNER | PHONE       | ADDRESS                              | SIGNATURE   |
|------------------|-------------|--------------------------------------|-------------|
| EEELB            | 0824685824  | 15 DAVALLEN AVENUE, GLENASHLEY, 4051 | [Signature] |
| L. [Signature]   |             | 17 DAVALLEN AVENUE, GLENASHLEY, 4051 | [Signature] |
| F.M. BEEKER      | 031-5722193 | 80 GREEN CRESCENT, GLENASHLEY, 4051  | [Signature] |

AMENDMENT APPROVED

09 MAY 2005

EXECUTIVE DIRECTOR (DEVELOPMENT & PLANNING) PER [Signature]

A. FRONTAGE LEVELS ARE TO BE CONFORM TO THE BACK OF THE CURB TO THE SIDEWALK, OR TO THE GRADE ESTABLISHED BY THE USE OF THE FOLLOWING FORMULA:  $H = 0.005 + 0.0001L$

B. A CURB SHALL BE PROVIDED AT THE FRONTAGE LEVEL TO BE CONFORM TO THE BACK OF THE CURB TO THE SIDEWALK, OR TO THE GRADE ESTABLISHED BY THE USE OF THE FOLLOWING FORMULA:  $H = 0.005 + 0.0001L$

C. THE TOP OF THE FRONTAGE WALL SHALL BE AT LEAST 0.30 METRES ABOVE THE FINISHED GRADE AT THE FRONTAGE LEVEL.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

PROPOSED ALTERATIONS & ADDITIONS FOR MR. M & MRS. C STRYDOM AT 15 DAVALLEN AVENUE GLENASHLEY ON ERF 477 GLENASHLEY

SURVEYED BY SUREY SERVICES ON PHONE 031-5628776

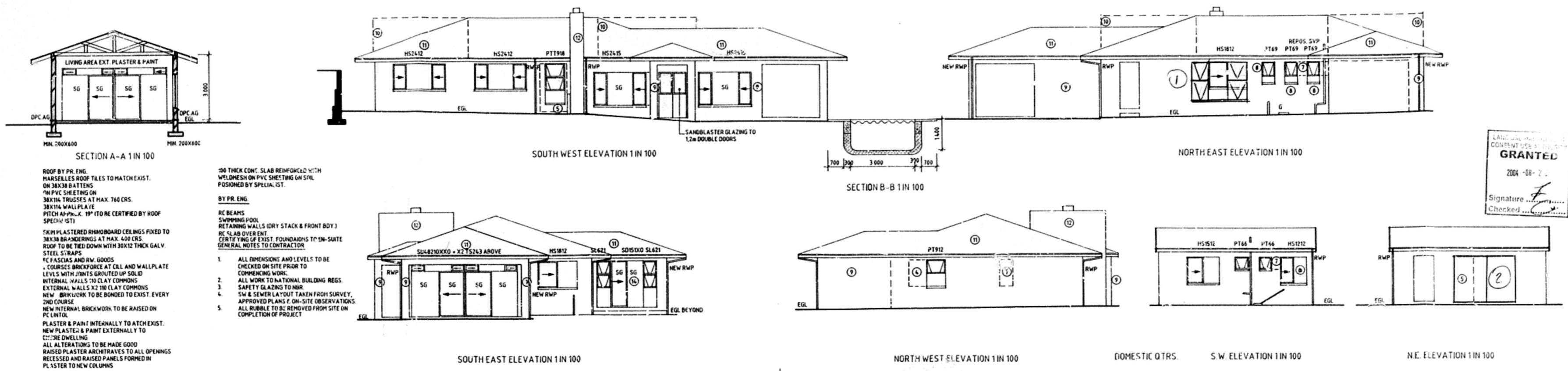
OWNERS SIGNATURE: [Signature] PHONE: 083 274 5172

RATE NO: 9523 2013 VOL. 8 CODE 000

DRAWN BY: JOAN CAMP OF JADS, 16 ELDERBERRY DRIVE, GLENHILLS, 4051, PHONE 031-5732420

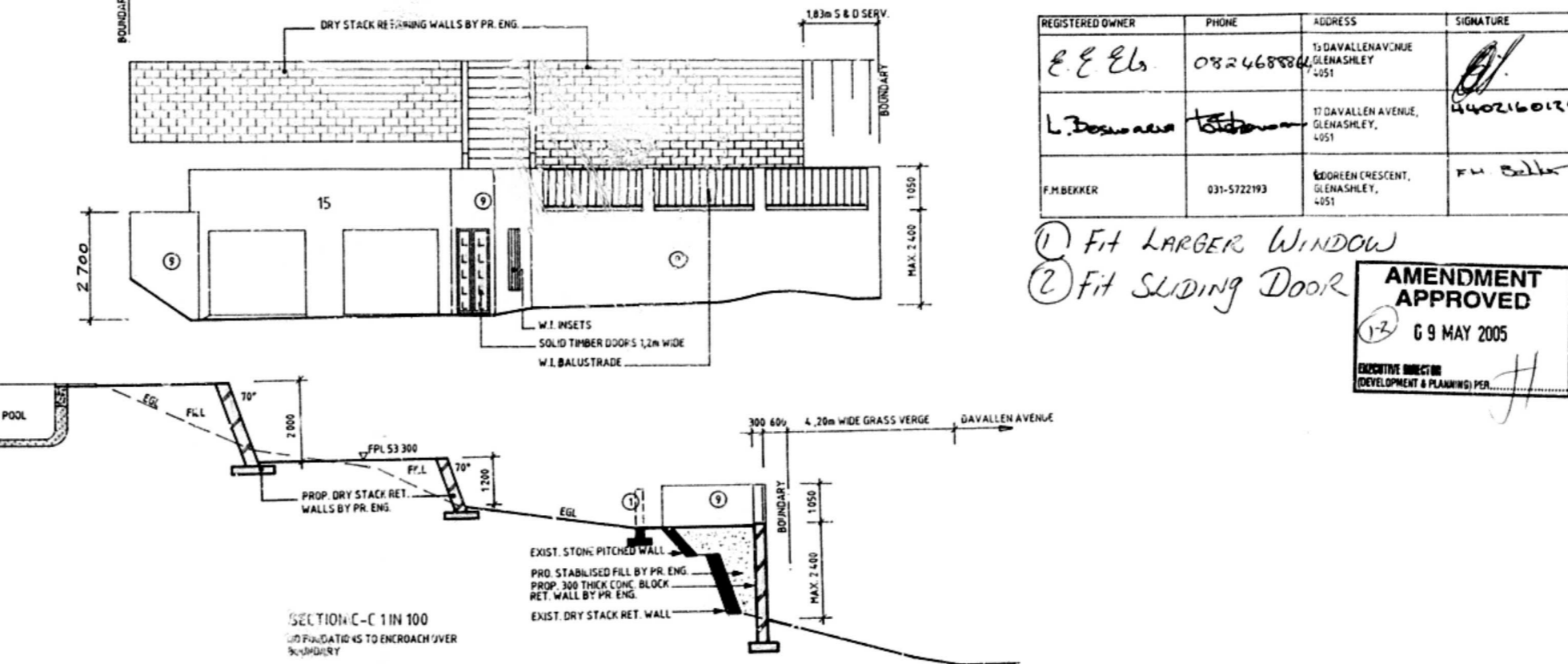
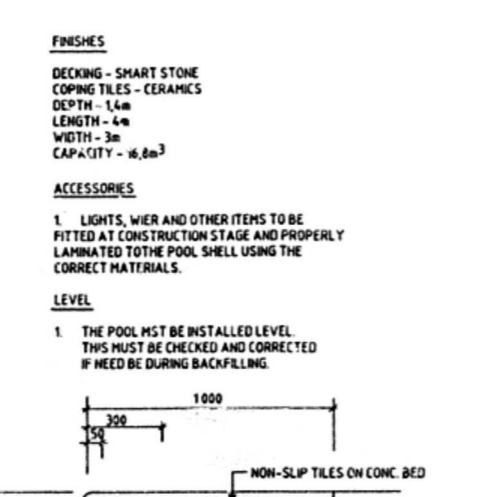
DATE: JULY 2004 SCALES: 1:100

Joan Camp



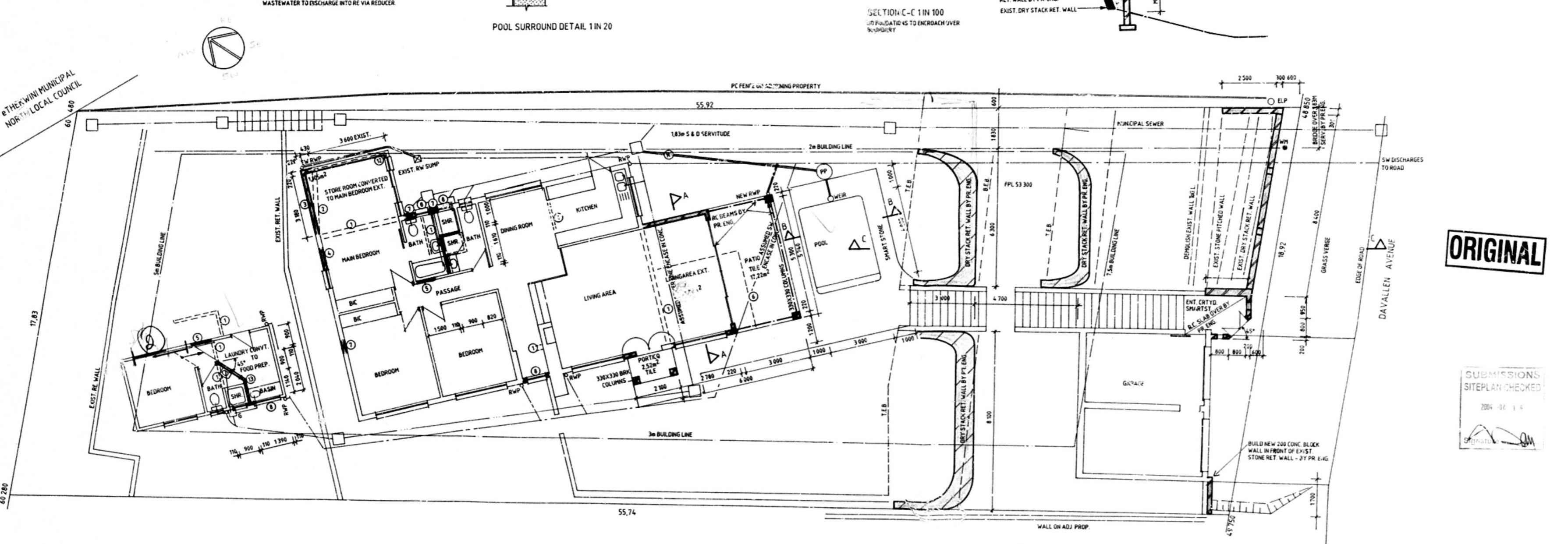
- SPEC LIST**
- 1. DEMOLISH ANGLING WALL
  - 2. REBUILD (C) IN NEW POSITION WITH 200x400 FOUNDATION
  - 3. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 4. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 5. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 6. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 7. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 8. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 9. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 10. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 11. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 12. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 13. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 14. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 15. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 16. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 17. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 18. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 19. BRICK UP EXIST. WINDOW, PLASTER & PAINT
  - 20. BRICK UP EXIST. WINDOW, PLASTER & PAINT

- SWIMMING POOL SPECIFICATION**
1. FIBREGLASS LAMINATE TO BE MIN. 4mm THICK.
  2. SHAPE AND DESIGN TO INCORPORATE COMPOUND CURVES GENERALLY FOR STRENGTH AND RIGIDITY.
  3. SAFETY GLAZING TO HSB.
  4. GELOAT MIN. 5mm THICK AND APPLIED AVOIDING ANY ENTRAPMENT.
- INSTALLATION**
1. THE FIBREGLASS POOL IS TO BE LAID ON A 100mm CLEAR DRY BED OF SAND IN A PREPARED EXCAVATION TO COMPLY WITH THE SHAPE OF THE POOL ALLOWING FOR A MIN. SIDE CLEARANCE ALL ROUND OF 30mm.
  2. BACKFILLING IS TO BE DONE USING CLEAN, DRY RIVER SAND OR SITUABLE MATERIAL FROM EXCAVATION.
  3. EVEN BACKFILLING ALL AROUND AND UNDER ALL FLAT AREAS IS TO BE PROPERLY DONE, LEAVING NO HOLES.
  4. THE POOL IS TO BE FILLED WITH WATER ASTHE BACKFILLING PROGRESSES. AT NO TIME SHALL THE BACKFILLING BE EITHER HIGHER OR LOWER BY MORE THAN 10mm THAN THE WATER LEVEL IN THE POOL.
  5. A REINFORCED RING BEAM IS TO BE CAST AROUND THE POOL.
  6. ONLY CLEAN OR. RIVER SAND AND CEMENT IN A 12 TO 1 RATIO IS TO BE USED FOR BACKFILLING UNDER RING BEAM.
  7. NO LARGE HARD OBJECTS SUCH AS RUBBLE, STONES, E.T.C ARE TO BE USED IN THE BACKFILLING.



**SCHEDULE OF AREAS**

| AREA OF SITE       | AREA   |
|--------------------|--------|
| PERMITTED COVERAGE | 1012   |
| EXISTING COVERAGE  | 404.8  |
| PERMITTED FAR      | 809.6  |
| EXISTING FAR       | 203.55 |
| PROPOSED FAR       | 83.35  |
| PROPOSED COVERAGE  | 38.96  |
| PROPOSED FAR       | 17.22  |
| TOTAL NEW COVERAGE | 246.51 |
| TOTAL NEW FAR      | 80.57  |



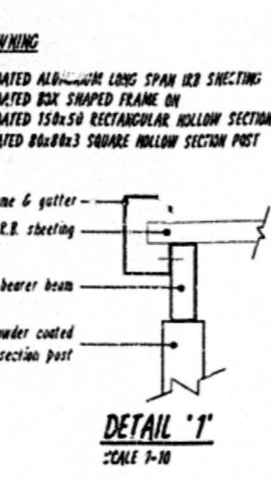
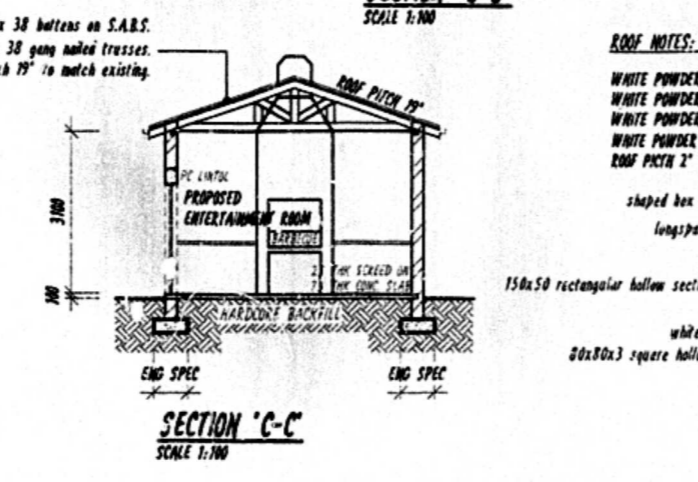
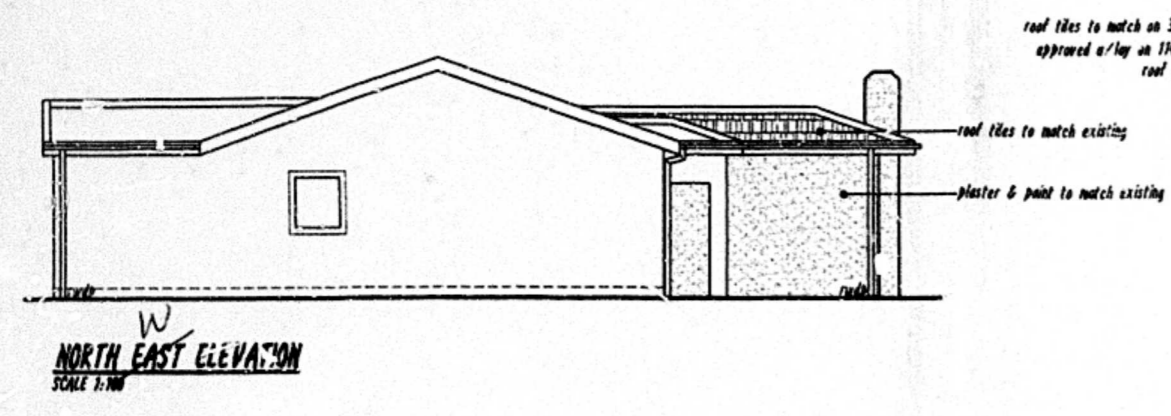
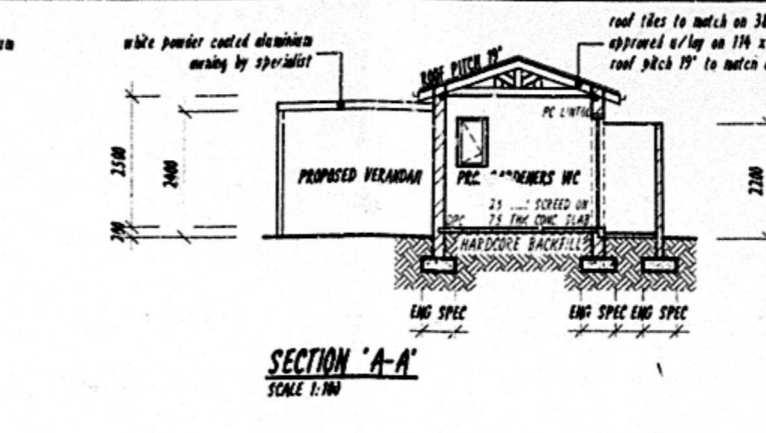
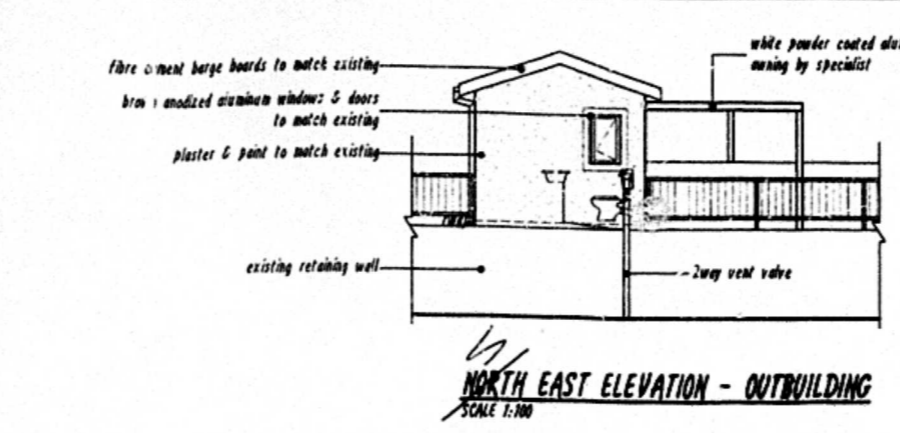
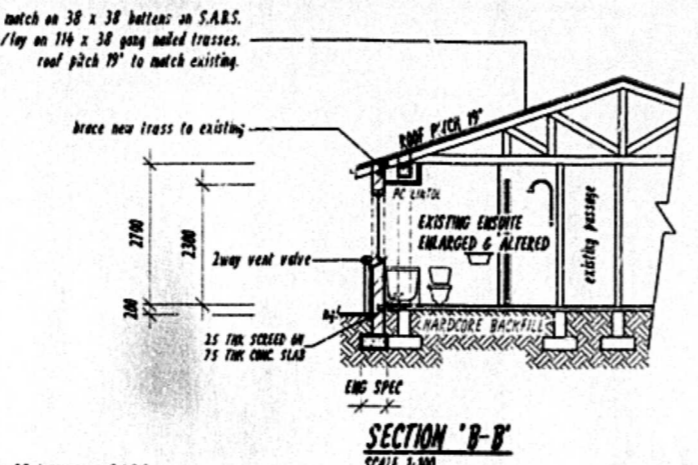
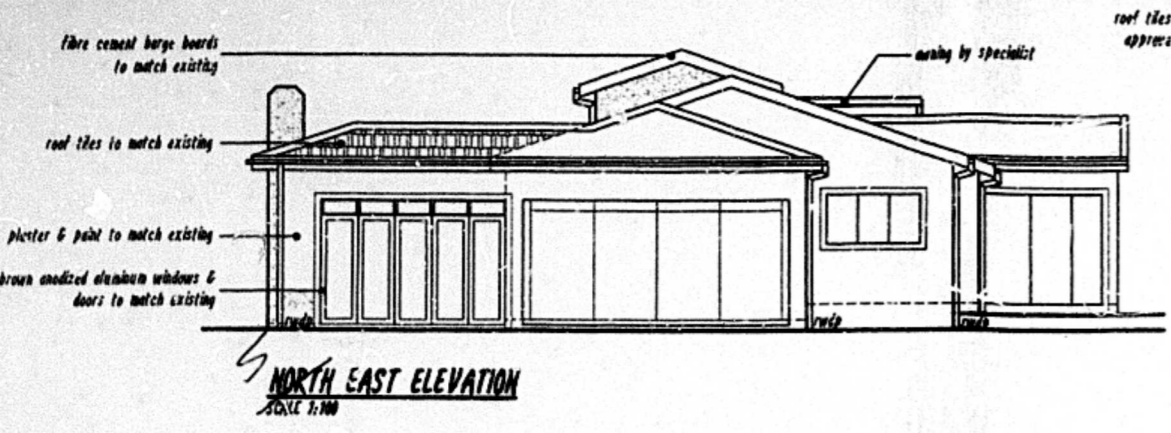
ORIGINAL

SUBMISSIONS CHECKED

2004-08-16

ETHEKWIN MUNICIPAL COUNCIL

15 DAVALLON AVE



**ROOF NOTES: AWNING**  
WHITE POWDER COATED ALUMINUM LONG SPAN ICS SHEETING  
WHITE POWDER COATED BOX SHAPED FRAME ON  
WHITE POWDER COATED 150x50 RECTANGULAR HOLLOW SECTION BEAKER BEAM  
WHITE POWDER COATED 60x60x3 SQUARE HOLLOW SECTION POST  
ROOF PITCH 12°

**ROOF NOTES:**  
CEMENT ROOF TILES TO MATCH EXISTING AT 10° SLOPE  
OF 38 x 38 TILE BATTERS AT 130 C/S ON  
"WHITE" TILE PVC MEMBRANE TO SANDS  
TRUSS FABRICATION AND GRADE OF TIMBER  
TO BE AS PER PART 1 OF SANS 1040 1999  
TABLE 1 AND 2  
BATTENS 170x38 GSD 4  
TR BEAMS 170x38 GSD 4  
200x100x6 BRACE 170x38 GSD 4  
3 x 100 BOLTS, WASHERS AND NUTS PER  
600x1200  
MAX TRUSS SPACING 600mm C/CES  
ON 76 x 76 WALL PLATES, 2 x 44  
GALVANIZED TRUSS TIES BUILT IN TO  
BACKWORK WITH 4 CORNERS PER TRUSS END  
AS PER SANS 1040 SPECIFICATION  
230 x 20 PVC ANCHORING FASTENERS AND  
BRASS BRACKETS, ANCHORS, CEMENT  
GUTTERS & DOWNPIPES,  
38 x 38 SA PINE TRUSS BATTERS AT  
10° SLOPE TO SUPPORT MEZCLITE OR  
SIMILAR CEILING BOARD SYSTEMS. TECHN.  
C/S AND CORNERS TO MEET SPECIFICATION.  
TRUSS WALLS TO PROTECT SIDE OF ROOF TILES.

**BUILDERS NOTES:**  
ALL DIMENSIONS TO ENGINEER'S DETAILS.  
CONCRETE "BRICK CURB" D.P.C. TO BE PROVIDED  
AT TOP OF FLOOR SLAB LEVEL UNDER CHILL  
AND PARAPETS.  
GLAZING TO COMPLY WITH PART H  
OF SANS 1040  
ALL WORK TO COMPLY WITH SANS 10400  
& TO LOCAL AUTHORITIES BYLAWS.  
SMB POSITIONING TO SANS 10400  
2 ANCHORS OVER ALL DOORS AND WINDOWS  
SUFFICIENT TO COMPLY WITH WALS OF N.B.A.  
ALL PROPOSED WORK TO  
COMPLY WITH LOCAL BYLAWS, AND S.A.S. 092  
TIMBER TO BE TREATED IN ACCORDANCE WITH  
S.A.S. 1210 (4:7.1)  
ROOFWORK EVERY THIRD COURSE  
2 COURSES OF BRICKWORK TO BE REINFORCED WITH BRICKWORK  
IN SOLID CEMENT MORTAR, JOINTS BELOW WALL/PLATE LEVEL.  
ADOPT WINDOW HEAD LEVEL AND BELOW WINDOW CHILL LEVEL.  
WALLS TO COMPLY WITH PART H OF SANS 10400  
LIGHTING & VENTILATION TO COMPLY WITH  
PART B OF SANS 10400  
FLASHING TO COMPLY WITH PART 11.5.2 OF SANS 10400  
FLASHING IN ACCORDANCE WITH PART 1 OF SANS 10400  
EXTERNAL DOORS & TIE FRAMES TO BE GALVANIZED

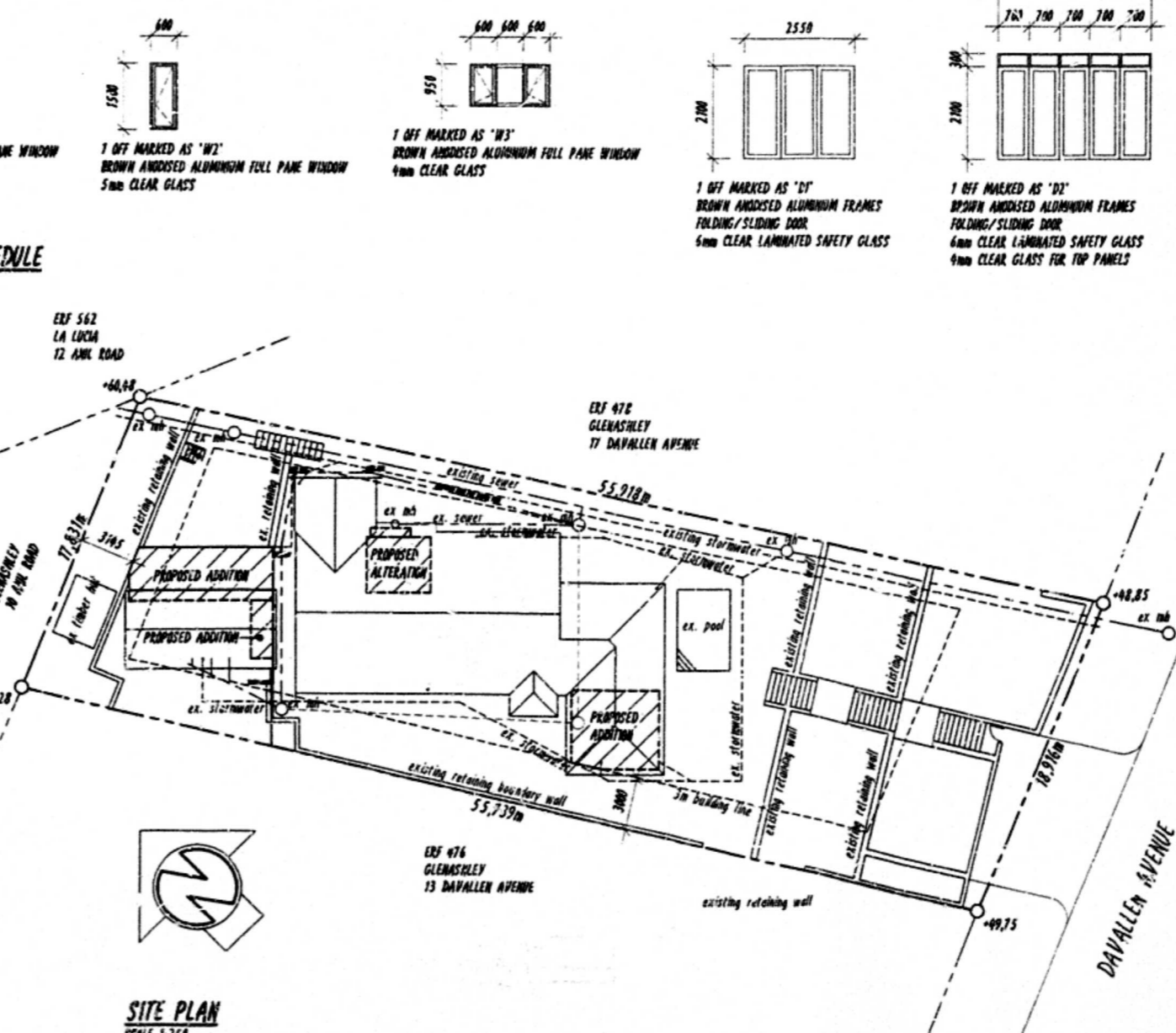
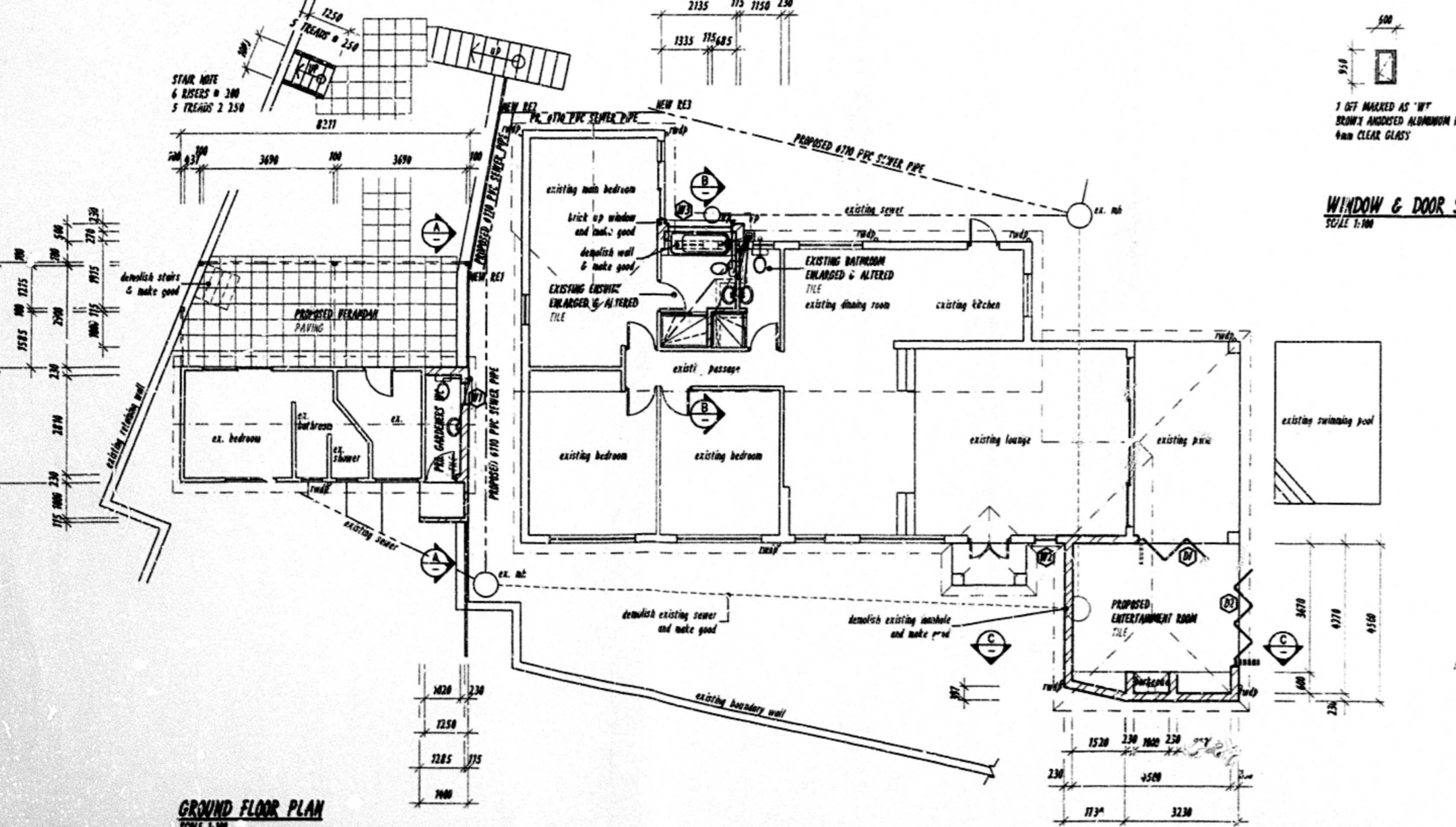
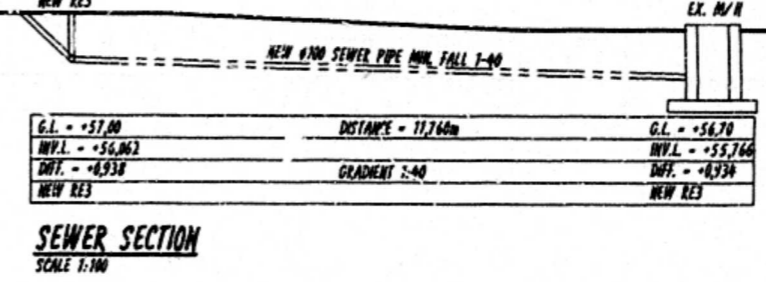
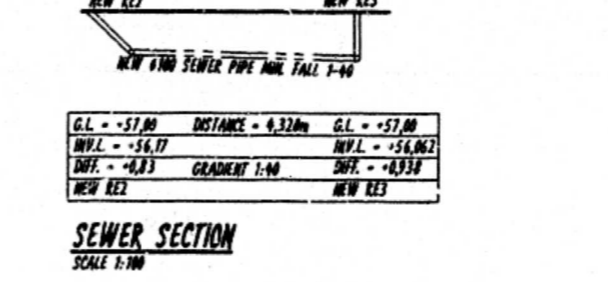
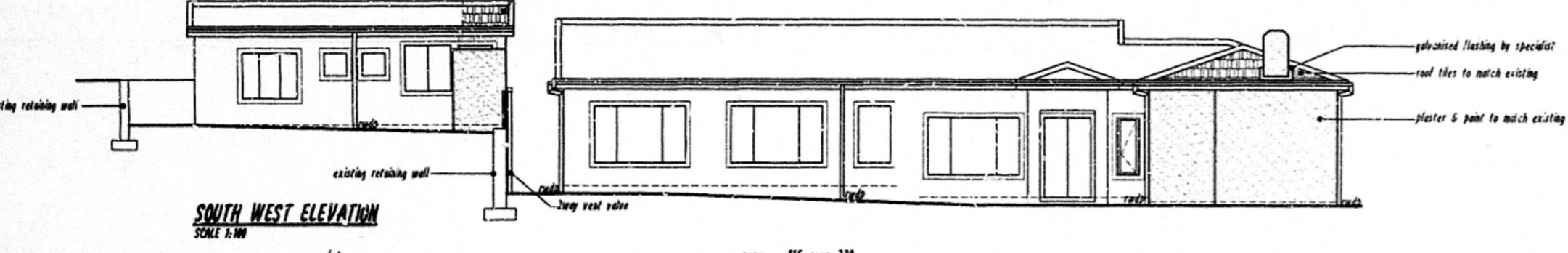
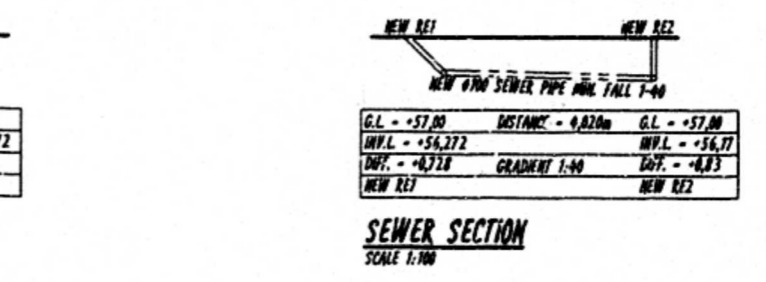
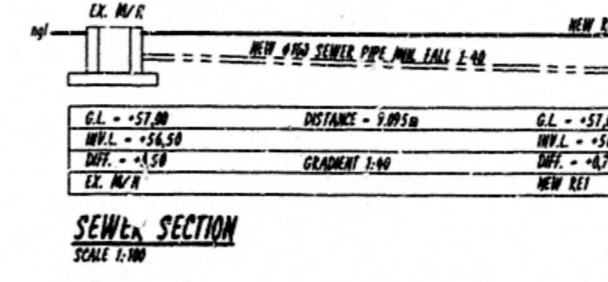
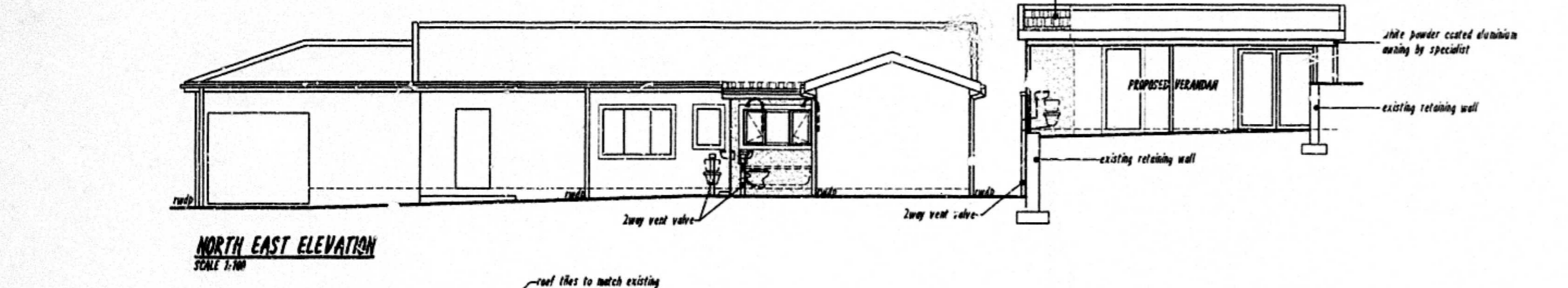
**SCHEDULE OF AREAS**

|   |                              |
|---|------------------------------|
| EXIST. NET GLENSHLEY AREA               | - 102,00 m <sup>2</sup>      |
| FLOOR AREA RATIO PERMISSIBLE F.A.R. 0,9 | - 80,00 m <sup>2</sup>       |
| EXIST. FLOOR AREA                       | - 25,83 m <sup>2</sup>       |
| PROPOSED FLOOR AREA                     | - 57,66 m <sup>2</sup>       |
| <b>TOTAL FLOOR AREA</b>                 | <b>- 38,58 m<sup>2</sup></b> |

**COVERAGE**

|  |                              |
|--|------------------------------|
| PERMISSIBLE MAX OF 102,00 m <sup>2</sup> | - 100,00 m <sup>2</sup>      |
| EXISTING COVERAGE AREA                   | - 25,83 m <sup>2</sup>       |
| PROPOSED COVERAGE                        | - 57,66 m <sup>2</sup>       |
| <b>TOTAL COVERAGE</b>                    | <b>- 38,58 m<sup>2</sup></b> |

**PROPOSED ENTERTAINMENT ROOM** - 21,97 m<sup>2</sup>  
**PROPOSED EXISTING ADDITION** - 2,13 m<sup>2</sup>  
**PROPOSED GARDBENCH INC** - 4,80 m<sup>2</sup>  
**PROPOSED AWNING** - 24,38 m<sup>2</sup>



**WINDOW & DOOR SCHEDULE**  
SCALE 1:100

|  |   |   |  |  |
|--|---|---|--|--|
| 1 OFF MARKED AS 'W1'<br>BROWN ANODIZED ALUMINUM FULL - ANE WINDOW<br>4mm CLEAR GLASS | 1 OFF MARKED AS 'W2'<br>BROWN ANODIZED ALUMINUM FULL PANE WINDOW<br>5mm CLEAR GLASS | 1 OFF MARKED AS 'W3'<br>BROWN ANODIZED ALUMINUM FULL PANE WINDOW<br>4mm CLEAR GLASS | 1 OFF MARKED AS 'D1'<br>BROWN ANODIZED ALUMINUM FRAMES<br>FOLDING SLIDING DOOR<br>4mm CLEAR LAMINATED SAFETY GLASS | 1 OFF MARKED AS 'D2'<br>BROWN ANODIZED ALUMINUM FRAMES<br>FOLDING SLIDING DOOR<br>4mm CLEAR LAMINATED SAFETY GLASS<br>4mm CLEAR GLASS FOR TOP PANELS |
|--|---|---|--|--|

**APPLICATION IN PRINCIPLE**  
No: Ref 101 11 2011  
SHEET: 1/1

**ETHEKWINI MUNICIPALITY**  
LAND USE MANAGEMENT - CENTRAL REGIONAL OFFICE  
**GRANTED**  
NAME: [Signature]  
SIGNATURE: [Signature]  
DATE: 20 Nov 2011  
This does NOT constitute an approval  
in terms of the MSA (Act No. 153 of 1977).  
This authority does not exempt the application  
from compliance with any other statutory  
requirements or any other applicable law.

SHEET 1/1 COPY 2  
**ETHEKWINI MUNICIPALITY**  
(CENTRAL)  
#183 12 1  
APPLICATION NO.

**BUILDING APPLICATION**  
APPROVED in terms of Sec. 7 of the National Building  
Regulations and Building Standards Act No. 103/1977

DATE: 23/11/2011  
LOCAL AUTHORITY: [Signature]

This plan is approved on the basis of the information shown  
herein.  
Attention is drawn to the attached documentation & that this  
approval shall lapse ONE year after the 120th approval date,  
unless the executor of the building in terms of MSA Act  
103/1977 has applied for a further approval.

**REQUIREMENTS COMMENT**

| ADDRESS         | NAME           | TEL No       | DATE/TIME  |
|-----------------|----------------|--------------|------------|
| 15 DAVALLON AVE | A. Labuschagne | 082 773 2985 | 23/11/2011 |

**Ian Whitaker**  
Drafting Designs  
COMPUTER AIDED DRAWINGS  
REG. No. C 0783

**Proposed Alterations and Additions to Existing Dwelling For A.E. Labuschagne At 15 Davallen Avenue ERF 477 Glenashley TEL - 082 773 2985**

**DRAWING TITLE**  
SUBMISSION DRAWING - SITE PLAN, FLOOR PLAN, SECTION AND ELEVATIONS

**PROJECT NO:** WD11-129 **DRAWING NO:** WD11/129/501 **REV. NO:** C

**SCALE:** 1:10, 1:100 & 1:250 **DATE:** 02-11-2011

**AUTHOR'S SIGNATURE:** [Signature]

**OWNER'S SIGNATURE:** [Signature]