

Ref: 11/09/28-01

HIA - extent,
[Historically Rich area]
Zulu.

Amafa AkwaZulu-Natali

Heritage KwaZulu-Natal

Efenis KwaZulu-Natal



PO Box 2685
Pietermaritzburg 3200

Tel: 033 394 6543

Fax: 033 394 6552

Email: amafa.pmb2@mweb.co.za

Website: www.heritagekzn.co.za

NEEDS & DESIRABILITY APPLICATION FORM

In terms of the KwaZulu Natal Heritage Act No. 4 of 2008 and the National Heritage Resources Act No.25 of 1999 (Section 38 (1)), a permit is required to carry certain listed activities.

PLEASE NOTE

It is an offence in terms of section 34. of the KwaZulu Natal Heritage Act to make false statement or fail to provide required information in this application.

ALL APPLICATION FORMS AND PROOF OF PAYMENT ARE TO BE FORWARDED TO:
AMAFA KWAZULU NATAL, ARCHAEOLOGY DEPARTMENT, 195 LANGALIBALELE STREET,
PIETERMARITZBURG, 3201/ BOX 2685 PIETERMARITZBURG 3200.

Kindly note that:

1. Kindly note that with effect from 1st of April 2010 an application fee will be charged for Needs & Desirability applications and Permit applications.
2. Incomplete applications will not be processed until they are revised.
3. All information filled in on this form will become public information on receipt by this department. Any interested and affected party should be provided with information contained in this application on request, during any stage of the application process.
4. No faxed or e-mailed applications will be accepted, **only printed copies.**

SUBMISSION FEES

Regulations make provision for the agency to charge a submission fee. A administration fee of **R500.00** is payable to **Amafa aKwaZulu Natali** in postal order or bank deposit/internet banking prior to the processing of this application.

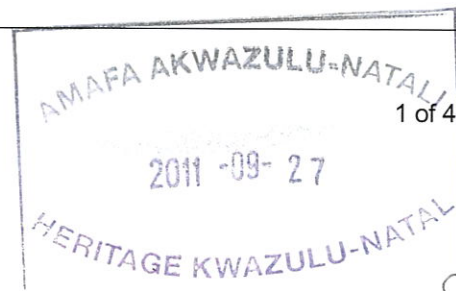
Banking Details in case of direct deposits:

ABSA BANK: Branch: ULUNDI Bank Code: 630330

Account in the name of AMAFA AKWAZULU- NATALI

Accounting No. 40-5935-6024

NB: Proof of payment to be forwarded (faxed, posted or delivered) to Amafa, to be referenced with applicants name and date



28 Sept 2011

TYPES OF DOCUMENT

Already submitted on 3/9/2010

BID



d/SCOPING REPORT



f/SCOPING REPORT



BAR



EMP



ROD

Nature of Development : (please tick the appropriate box)

1	construction of a road exceeding 300 m in length	<input type="checkbox"/>	10	any development exceeding 5 000 m ² in extent any other category of development provided for in regulations	<input checked="" type="checkbox"/>
2	wall exceeding 300 m in length	<input type="checkbox"/>	11	other activity which will change the character of an area of land, or water exceeding 10 000 m ² in extent	<input checked="" type="checkbox"/>
3	power line exceeding 300 m in length	<input type="checkbox"/>	12	involving three or more existing erven or subdivisions thereof	<input type="checkbox"/>
4	pipeline exceeding 300 m in length	<input type="checkbox"/>	13	any development, or other activity involving three or more existing erven or subdivisions	<input type="checkbox"/>
5	canal exceeding 300 m in length	<input type="checkbox"/>	14	any development, or other activity involving three or more existing erven or subdivisions which have been consolidated within the past five years	<input type="checkbox"/>
6	other similar form of linear development	<input type="checkbox"/>	15	any development, or other activity the costs of which will exceed a sum set in terms of regulations	<input type="checkbox"/>
7	barrier exceeding 300 m in length	<input type="checkbox"/>	16	Rezoning of a site exceeding 10 000 m ²	<input type="checkbox"/>
8	construction of a bridge exceeding 50 m in length	<input type="checkbox"/>			
9	similar structure exceeding 50 m in length	<input type="checkbox"/>			

District Municipality: uThungulu District Municipality

Local Municipality: City of uMhlathuze

Traditional Authority: N/A

Area/Town: Richards Bay

Property Description : The project is located on privately owned land in a rural area
(Farm name, portion, lot, erf)

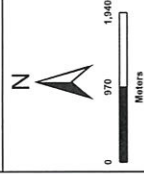
Isibanisempilo Sub-Acute Facility

Figure 1: 1:50 000 Topographical Map

Legend

- ★ Proposed Sub-Acute Facility
- ★ Empangeni
- R34
- Mhlatuze River
- Important Watercourses

SOURCE:
Surveyor General
2831DB
2831DD

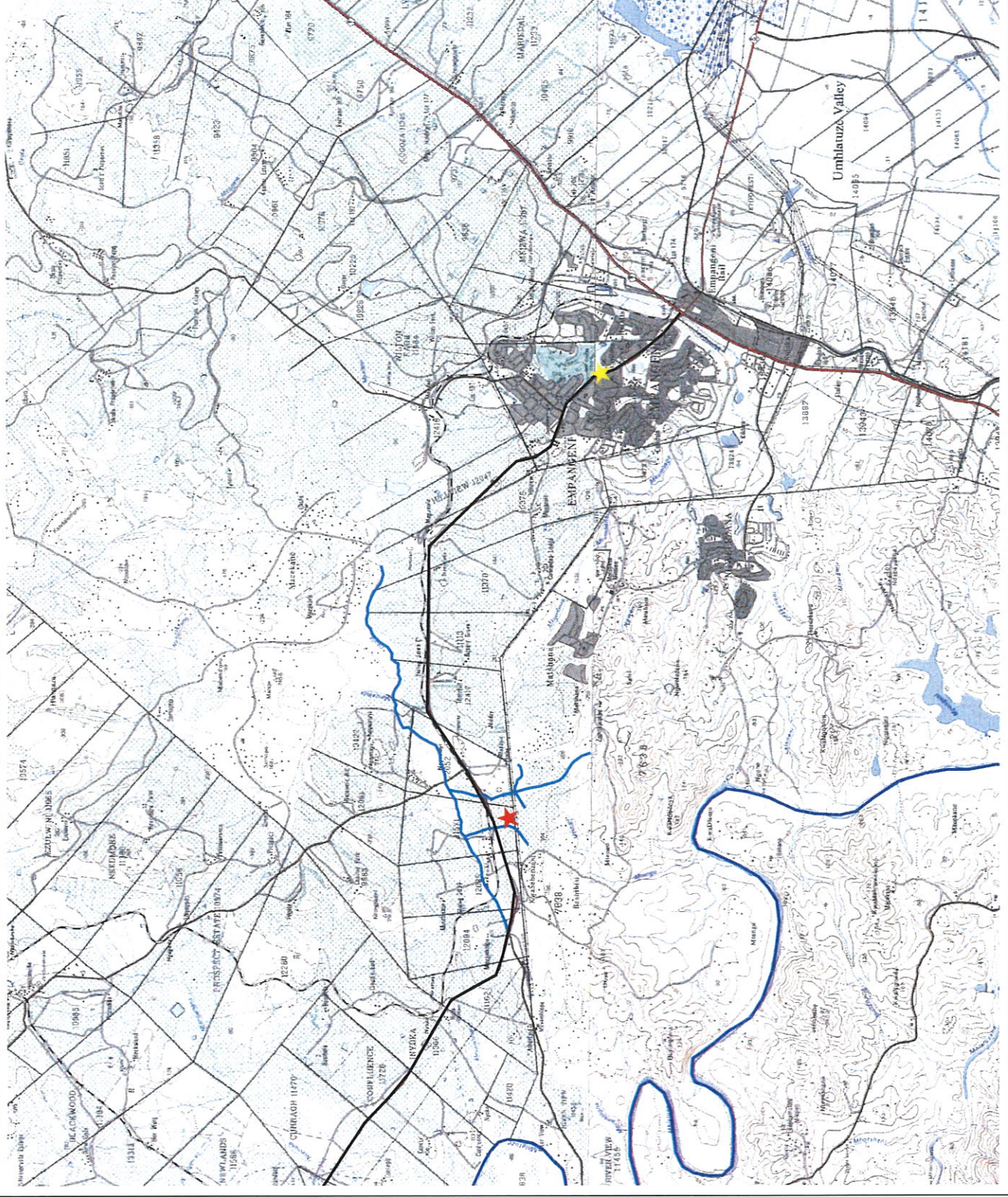


SIVEST
ENVIRONMENTAL DIVISION
4 PENCARROW CRESCENT
MIDWAY VALLEY, 3110 STATE
LIMBANKA ROCKS, 432
SOUTH AFRICA
Phone: +27 31 5611580
Fax: +27 31 5623271
Email: info@sivest.co.za

Project No	Map Ref No	Prepared By	Date
10584	10584/F-101	M. Ryan	12/08/2011

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THIS MAP HAS BEEN PREPARED UNDER THE CONTROLS ESTABLISHED BY THE SIVEST QUALITY MANAGEMENT SYSTEM AND MEETS THE REQUIREMENTS OF THE SETA QUALITY GRADING SYSTEM THAT IS ISO COMPLIANT




Isibanisempilo Sun-Acute Facility

Environmental Features Identified at a Desktop Level

Legend

-  Isibanisempilo Site
-  Drainage Lines
-  Contours
-  32m Buffer of Drainage Lines
-  90m Buffer of Drainage Lines
-  Probable Thornveld

SOURCE: Umhlaluzo GIS Data

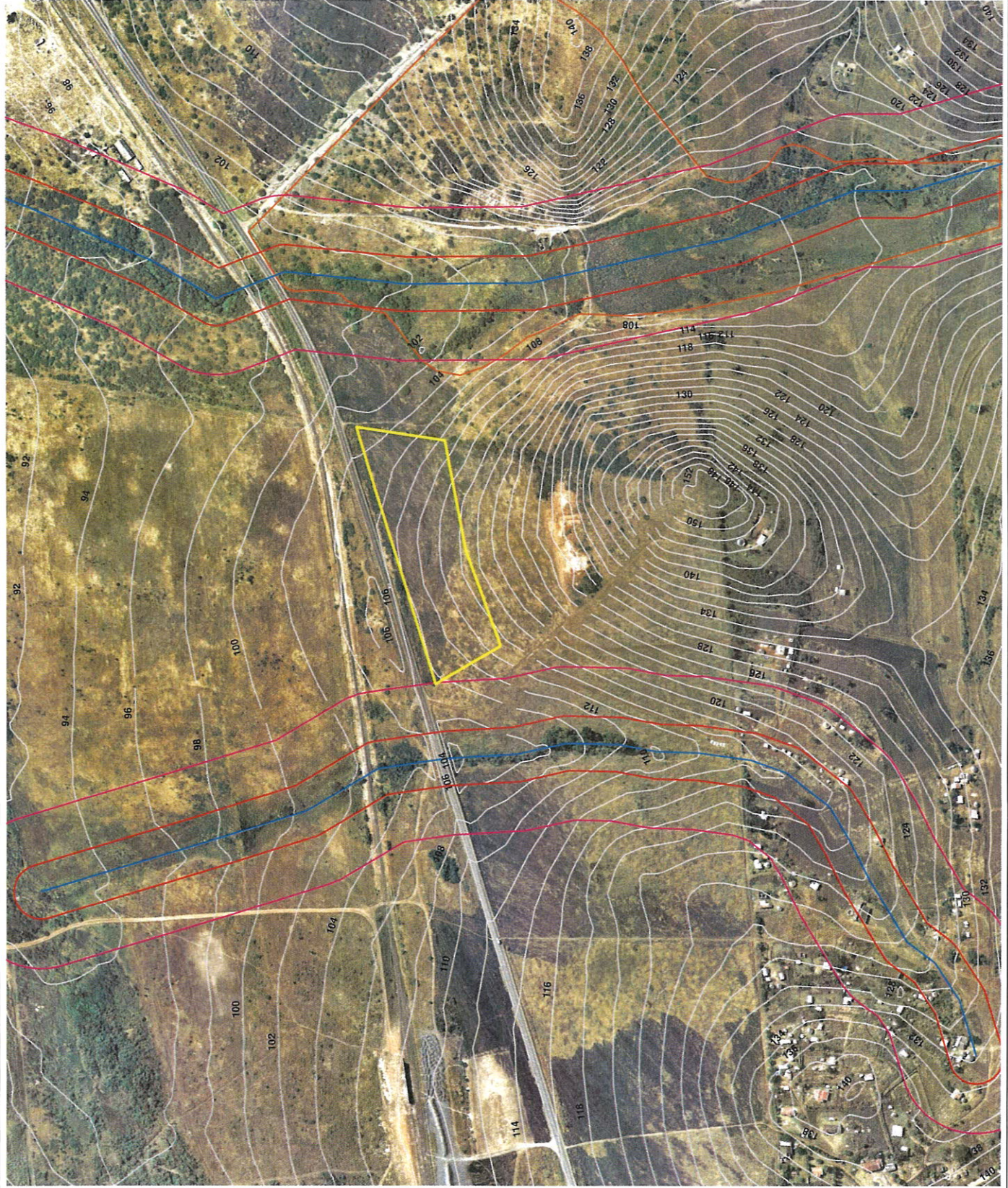


SIVEST
 ENVIRONMENTAL DIVISION
 NATIONAL BUREAU OF ENVIRONMENTAL AFFAIRS
 SOUTH AFRICA
 Phone: +27 21 5811550
 Email: info@sivest.co.za

Project No	Map Ref No	Date
10564	10564/F4-01	01/09/2011
Prepared By	M. Ryan	

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THIS MAP HAS BEEN PREPARED UNDER THE CONTROLS SYSTEM AND MEETS THE REQUIREMENTS OF THE SETA QUALITY GRADING SYSTEM THAT IS ISO COMPLIANT



Bernadetp

From: Marelize Berning [MarelizeB@sivest.co.za]
Sent: Monday, September 26, 2011 12:29 PM
To: archaeology@amafapmb.co.za
Cc: Bernadetp
Subject: Isibanisempilo sub-acute facility: proof of payment
Attachments: 695157193_2011-09-26_11_53_30_472.pdf

Dear Weziwe

This payment notification is been for the Isibanisempilo sub-acute facility and not Sappi land development. You will get the report and application form tomorrow.

Kind regards

Marelize Berning
Environmental Consultant
SiVEST Environmental Division

Tel +27 35 789 2066 fax +27 35 789 2070
email marelizeb@sivest.co.za website www.sivest.co.za

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Consulting Engineers ? Project Managers ? Environmental Consultants ? Town and Regional Planners
Durban ? Johannesburg ? Pietermaritzburg ? Richards Bay ? Ladysmith ? Cape Town ? Harare (Zimbabwe)

-----Original Message-----

From: noreply@fnb.co.za [mailto:noreply@fnb.co.za]
Sent: 26 September 2011 11:54
To: Marelize Berning
Subject: Payment Notification

Dear Payee,

Please find a payment notification attached.

Note: The File is in pdf format, this file requires Adobe Acrobat Reader.
It can be downloaded at <http://www.adobe.com>

Regards
Online Banking System Administrator

<https://www.fnb.co.za>



NOTIFICATION OF PAYMENT

To whom it may concern:

First National Bank hereby confirms that the following payment has been made:

Date Actioned : 2011-09-26
Time Actioned : 11:53:30
Trace ID : 8J68L4YB01

Payer Details

Payment From : SIVEST SA (PTY) LTD
Amount : 500.00

Payee Details

Recipient/Account no : ...356024
Recipient Name : AMAFA AKWAZULU
Bank : ABSA Bank
Branch Code : 632005
Reference : Sappi Land Develop
Channel : *INTERNET*

END OF NOTIFICATION

To authenticate this Payment Notification please visit our website at <https://www.fnb.co.za>, click on Online Banking, select the "Verify Payment" option and follow the on-screen instructions

Our customer (the payer) has requested FirstRand Bank Limited to send this notification of payment to you. Should you have any queries regarding the contents of this notice, please contact the payer. FirstRand Bank Limited does not guarantee or warrant the accuracy and integrity of the information and data transmitted electronically and we accept no liability whatsoever for any loss, expense, claim or damage, whether direct, indirect or consequential, arising from the transmission of the information and data.

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FirstRand Bank Directors: LL Dippenaar (Chairman), SE Nxasana(CEO), VW Bartlett, JJH Bester, JP Burger, L Crouse, PM Goss, PK Harris, WR Jardine, EG Matenge-Sebesho, RK Store, BJ van der Ross, JH van Greuning, MH Visser, Company Secretary: BW Unser

First National Bank, a division of FirstRand Bank Limited. Reg.No.1929/001225/06.
An Authorised Financial Services and Credit Provider (NCRCP20).

SIVEST
Environmental
Division

4 Montego Park
15 Lira Link Road
PO Box 1874 Richards Bay
3900 South Africa

Phone + 27 35 789 2066
Fax + 27 35 789 2070
Email info@sivest.co.za
www.sivest.co.za



Amafa
195 Longmarket Street
PIETERMARITZBURG
3200

Your reference:

Our reference: 10584/Corr/DBAR to AMAFA

Date: 26 September 2011

ATTENTION: WEZIWE TSHABALALA

BY COURIER

Dear Weziwe

DC28/0035/2010: ISIBANISEMPILO SUB-ACUTE FACILITY: DRAFT BASIC ASSESSMENT REPORT FOR COMMENT

The abovementioned development refers.

Please find herewith attached the draft Basic Assessment Report for your review and comment.

Your comments should be submitted to us within **40 days (from 28 September 2011 until 7 November 2011)**.

Please do not hesitate to contact me should you have any queries or comments.

Yours sincerely

Marelize Berning
Environmental Consultant
SIVEST Environmental Division

Encl: Draft Basic Assessment Report



Divisional Directors W A Pearce (Managing), J A Barnard, R G Kinvig, M A Nevette
A Division of SIVEST Directors * S D Leach (Chairman), M J Wright (Managing), *M S Hemingway, S G Joubert, M J Meikle-Braes,
W A Pearce, H G D Regnaud, G R Sims, K P Smith, K Soni, A F Tomkins (*British)
Offices: South Africa Durban, Johannesburg, Ladysmith, Pietermaritzburg, Richards Bay, Cape Town. Africa Harare (Zimbabwe).

Part of the SIVEST Group

SIVEST SA (Pty) Ltd Registration No. 2000/006717/07 t/a SIVEST



SETA
THREE STAR
GRADING SYSTEM
Quality Management
Accredited

Delivery Address:

AMAFA
195 Longmarket Street
PIETERMARITZBURG
3200

Attention: WEZIWE TSHABALALA

TEL: 033- 3946543

**Dc28/0035/2010: ISIBANISEMPILO SUB-
ACUTE FACILITY**

**DRAFT BASIC ASSESSMENT REPORT
AND APPLICATION FORM**



SiVEST Environmental Division
PO Box 1874
Richards Bay
3900

Contact Person:

Name: Marelize Berning
Telephone: 035-7890 2066
Fax: 035-789 2070
Email: marelizeb@sivest.co.za

Amafa AkwaZulu-Natali

Heritage KwaZulu-Natal

Erfenis KwaZulu-Natal



PO Box 2685
Pietermaritzburg 3200

Tel: 033 394 6543

Fax: 033 342 6097

Email: amafa.pmb2@mweb.co.za

Website: www.heritagekzn.co.za

Date: 30 September 2011
Attention: Simphiwe Zwane
MMMZ HOLDINGS
Tel: 035 772 5516
Fax: 0865 635 430
Email: info@ejiminifc.co.za

Ref: 11/09/28-01

Dear Simphiwe

RE: Proposed Isibanisempilo Sub- Acute Facility.

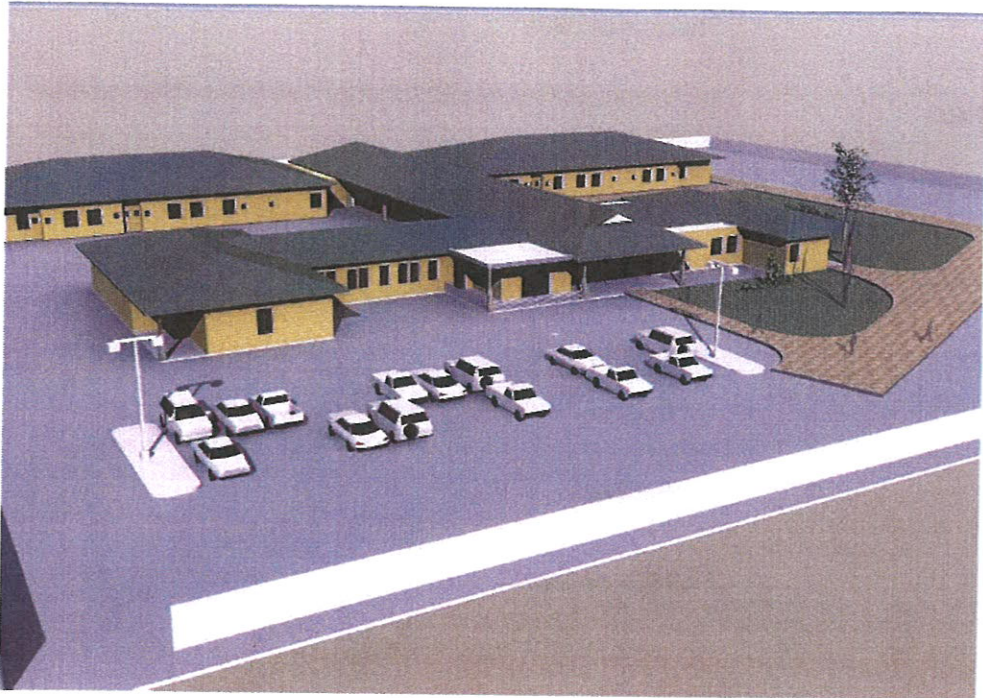
Thank you for the BAR for the above proposed development. Amafa KZN Heritage, in terms of the KwaZulu Natal Heritage Act No. 4 of 2008 as well as Section 38 (8), Chapter II of the National Heritage Resource Act no: 25 of 1999, requests a **Heritage Impact Assessment. Please download a list of Amafa accredited HIA specialists on our website.**

Heritage Resources are protected in terms of the KwaZulu-Natal Heritage Act (No. 10 of 1997).

Yours faithfully,

Sello Mokhanya

Principal Heritage Officer-Archaeology

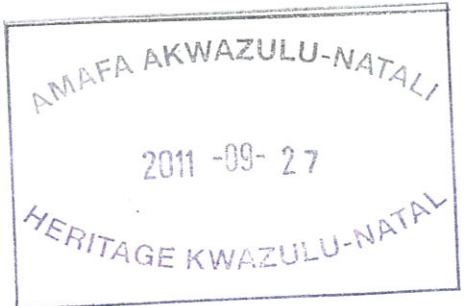


MMMZ HOLDINGS

**DC28/0035/2010:
ISIBANISEMPILO SUB-ACUTE
FACILITY**

**DRAFT BASIC ASSESSMENT
REPORT**

Date: September 2011
Project No.: 10584



28 Sept 2011

MMMZ HOLDINGS
ISIBANISEMPILO SUB-ACUTE FACILITY
REF. NO: DC28/0035/10

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DAEA Basic Assessment Report

Appendices

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Appendix C: Facility Illustration

Appendix D: Specialist reports –

Appendix E: Public Participation Report

Appendix F: Impact Assessment Report

Appendix G: Other information

4th Floor ABSA Building
 Lakeview Terrace
 RICHARDS BAY

Contact Person: Ms Zama Mbanjwa
 Telephone No.: (035) 780 6765

- **FOR APPLICATIONS IN SOUTHERN KWAZULU-NATAL** (Ethekwini Metro, Ilembe, Sisonke, Ugu, Umgungundlovu and Uthukela District Municipalities):

Environment: South Region
 KwaZulu-Natal Department of Agriculture and Environmental Affairs
 Private Bag X6005
 HILTON
 3245

A Block
 4 Pin Oak Avenue
 HILTON

Contact Person: Ms Mavis Padayachee
 Telephone No.: (033) 343 8428

SECTION A: DETAILS OF THE ENVIRONMENTAL ASSESSMENT PRACTITIONER AND SPECIALISTS

1. NAME AND CONTACT DETAILS OF ENVIRONMENTAL ASSESSMENT PRACTITIONER (EAP)

Name and contact details of the EAP who prepared this report:

Business name of EAP:	SiVEST S.A. (Pty) Ltd.		
Physical address:	4 Montego Park, 15 Lira Link Road, Richards Bay		
Postal address:	PO Box 1874, Richards Bay		
Postal code:	3900	Cell:	
Telephone:	045-789 2066	Fax:	035-789 2070
E-mail:	marelizeb@sivest.co.za		

2. NAMES AND EXPERTISE OF REPRESENTATIVES OF THE EAP

Names and details of the expertise of each representative of the EAP involved in the preparation of this report:

Name of representative of the EAP	Education qualifications	Professional affiliations	Experience at environmental assessments (yrs)
Michelle Nevette	Matric	M. Sc. Env. Management	11
Marelize Berning	National Senior Certificate	Currently busy with BA with specialization in Environmental Management through UNISA	6
Tarryn Henstra	Matric Exemption	BSc Geographical Science	4

The following services will be offered:

- Acute illnesses such as pneumonia, gastroenteritis, cardiac failure and cerebrovascular incidents
- Recovery after a serious illness or operation
- Rehabilitation following an occupational injury or amputation
- Any condition requiring general nursing services such as wound care and catheterization
- Supplementary services such as physiotherapy and occupational therapy
- Chronic and/or terminal care
- Most psychiatric conditions that require hospitalization
- Pre and post operative treatment recovery

3. ACTIVITY DESCRIPTION

Describe each listed activity in Listing Notice 1 (GNR 544, 18 June 2010) or Listing Notice 3 (GNR 546, 18 June 2010) which is being applied for as per the project description:

Listing notice 1: Activity 22: The construction of a road, outside urban areas,
(i) With a reserve wider than 13,5 meters or
(ii) Where no reserve exists where the road is wider than 8 meters

Listing notice 1: Activity 23: The transformation of undeveloped, vacant or derelict land to –

- (i) Residential, retail, commercial, recreational, industrial or institutional use, inside an urban area and where the total area to be transformed is 5ha or more but less than 20ha, or
- (ii) Residential, retail, commercial, recreational, industrial or institutional use, outside an urban area and where the total area to be transformed is bigger than 1ha but less than 20 ha

This activity is triggered as the proposed site is currently vacant and the area to be developed is 3ha.

4. FEASIBLE AND REASONABLE ALTERNATIVES

“**alternatives**”, in relation to a proposed activity, means different means of meeting the general purpose and requirements of the activity, which may include alternatives to—

- (a) the property on which or location where it is proposed to undertake the activity;
- (b) the type of activity to be undertaken;
- (c) the design or layout of the activity;
- (d) the technology to be used in the activity;
- (e) the operational aspects of the activity; and
- (f) the option of not implementing the activity.

Describe alternatives that are considered in this report. Alternatives should include a consideration of all possible means by which the purpose and need of the proposed activity could be accomplished in the specific instance taking account of the interest of the applicant in the activity. The no-go alternative must in all cases be included in the assessment phase as the baseline against which the impacts of the other alternatives are assessed. The determination of whether site or activity (including different processes etc.) or both is

• Starting point of the activity	o		o
• Middle point of the activity	o		o
• End point of the activity	o		o
Alternative S3 (if any)			
• Starting point of the activity	o		o
• Middle point of the activity	o		o
• End point of the activity	o		o

For route alternatives that are longer than 500m, please provide an addendum with coordinates taken every 500m along the route for each alternative alignment.

6. PHYSICAL SIZE OF THE ACTIVITY

Indicate the physical size of the preferred activity/technology as well as alternative activities/technologies (footprints):

Alternative:

Size of the activity:

Alternative A1 ² (preferred activity alternative)	30 000m ²
Alternative A2 (if any)	m ²
Alternative A3 (if any)	m ²

or, for linear activities:

Alternative:

Length of the activity:

Alternative A1 (preferred activity alternative)	m
Alternative A2 (if any)	m
Alternative A3 (if any)	m

Indicate the size of the alternative sites or servitudes (within which the above footprints will occur):

Alternative:

Size of the site/servitude:

Alternative A1 (preferred activity alternative)	m ²
Alternative A2 (if any)	m ²
Alternative A3 (if any)	m ²

7. SITE ACCESS

Does ready access to the site exist?

YES NO

The main access road into the project precinct will be raised to allow proper drainage and maximum use of material obtained from platform earthworks.

m

If NO, what is the distance over which a new access road will be built
Describe the type of access road planned:

N/A

² "Alternative A.." refer to activity, process, technology or other alternatives.

11. ACTIVITY MOTIVATION

11.1. Socio-economic value of the activity

What is the expected capital value of the activity on completion?	R30 million
What is the expected yearly income that will be generated by or as a result of the activity?	R15 million
Will the activity contribute to service infrastructure?	YES NO
Is the activity a public amenity?	YES NO
How many new employment opportunities will be created in the development phase of the activity?	± 74
What is the expected value of the employment opportunities during the development phase?	Unknown
What percentage of this will accrue to previously disadvantaged individuals?	Unknown
How many permanent new employment opportunities will be created during the operational phase of the activity?	Unknown
What is the expected current value of the employment opportunities during the first 10 years?	R5 million
What percentage of this will accrue to previously disadvantaged individuals?	Unknown

11.2. Need and desirability of the activity

Motivate and explain the need and desirability of the activity (including demand for the activity):

The decision to apply for an operating license for a sub-acute facility was influenced by the need assessment of the current health care situation within the area and the ever increasing costs of health care. Currently there is only one sub-acute facility serving the whole of Northern KwaZulu Natal.

The facility will offer a unique combination of premier health care (medically trained nursing care) and community based social services to the surrounding area.

There is a definite need for a sub-acute facility for the following reasons:

1. Benefit to the Community:

Most hospitals or acute facilities are currently oversubscribed with patients that don't need to be in an acute facility. As a result, patients are often prematurely discharged from acute facilities. This places increasing emotional strain on the family since patients are often not fit to be in the care of their family, and affects the patients recovery process.

In other cases patients who are prematurely discharged, are often more likely to default on treatment as there is no skilled and trained nursing assistant to ensure that the patient takes their medication correctly.

Having these facilities closer and more accessible to the community will help resolve the above problems and will enable the patients to be closer to their families (constant interaction with loved ones has been shown to speed up a patient's recovery process).

2. Provision of Appropriate Health Care:

Previously Acute Health Care Facilities were designed to cater for trauma cases, intensive care high care, and theatre procedures and therefore the tariffs charged reflect the high cost involved in setting them up.

12. APPLICABLE LEGISLATION, POLICIES AND/OR GUIDELINES

List all legislation, policies and/or guidelines of any sphere of government that are relevant to the application as contemplated in the EIA regulations, if applicable:

Title of legislation, policy or guideline:	Administering authority:	Date:
National Environmental Management Act 107 of 1998	DEAT	1998
The Constitution of the Republic of South Africa Act 108 of 1996	The Constitutional Court	1996
The National Water Act 36 of 1998	DWAF	1998
The National Heritage Resources Act 25 of 1999	South African Heritage Resource Agency (SAHRA)	1999
Water Services Act 108 of 1997	DWAF	1997
Hazardous Substances Act 15 of 1973	Department of Health	1973
Health Act 63 of 1997	Department of Health	1997
Conservation of Agricultural Resources Act 43 of 1983	DEA, DAEA&RD, DEAT, NDA	1983
Promotion of Access to Information Act 2 of 2000		2000
Development Facilitation Act 67 of 1995	Development Planning & Management Unit	1995
Local Government: Municipal Systems Act 32 of 2000	Dept. of Traditional and Local Government Affairs	2000
National Environmental Management: Biodiversity Act (Act 10 of 2008)	DEAT	2008
National Environmental Management: Waste Act 59 of 2008	DEAT	2008
National Environmental Management: Air Quality Act, 2008	DEAT	2008
Agricultural Pests Act (Act No 36 of 1983)	NDA	1983
Fencing Act (Act No 31 of 1963)	NDA	1963
Fertilisers, Farm Feeds, Agricultural Remedies and Stock Remedies Act (Act No 36 of 1947)	NDA	1947
Hazardous Substances Act (Act No 15 of 1973)	DEAT	1973
Land Survey Act (Act No 9 of 1921)		1921
Minerals and Petroleum Resources Development Act (Act No 28 of 2002)	Department of Mineral and Energy Affairs	2002
Municipal Structures Act (Act No 117 of 1998)	Dept. of Traditional and Local Government Affairs	1998
National Forests Act (Act No 84 of 1998)	DWAF	1998
National Veld and Forest Fire Act (Act No 101 of 1998)	DWAF	1998
Occupational Health and Safety Act (Act No 85 of 1993)	Department of Labour	1993
Restitution of Land Rights Act (Act No 22 of 1994)	Department of Land Affairs	1994
Land Reform (Labour Tenants) Act (Act 3 of 1996)	Department of Land Affairs	1996
Extension of Security of Tenure Act (Act 62 of 1997)	Department of Land Affairs	1997

If yes, provide the particulars of the facility:

Facility name:			
Contact person:			
Postal address:			
Postal code:			
Telephone:	Cell:		
E-mail:	Fax:		

Describe the measures that will be taken to ensure the optimal reuse or recycling of waste water, if any:

Honey suckers will be used to truck the wastewater to the Municipal treatment works during operation.

13.3. Emissions into the atmosphere

Will the activity release emissions into the atmosphere?

YES	NO
-----	----

If yes, is it controlled by any legislation of any sphere of government?

YES	NO
-----	----

If yes, contact the KZN Department of Agriculture, Environmental Affairs and Rural Development to obtain clarity regarding the process requirements for your application.

If no, describe the emissions in terms of type and concentration:

During the construction phase the construction vehicles will release emissions in the atmosphere. This will not be a significant environmental impact provided the vehicles are well maintained.

13.4. Generation of noise

Will the activity generate noise?

YES	NO
-----	----

If yes, is it controlled by any legislation of any sphere of government?

YES	NO
-----	----

If yes, the applicant should consult with the competent authority to determine whether it is necessary to change to an application for scoping and EIA.

If no, describe the noise in terms of type and level:

During construction it is expected that an increase in noise will result from construction vehicles. The noise will only last for the duration of the construction period and should not increase the ambient noise levels substantially.

14. WATER USE

Please indicate the source(s) of water that will be used for the activity by ticking the appropriate box(es):

municipal	water board	groundwater	river, stream, dam or lake	other	the activity will not use water
------------------	-------------	-------------	----------------------------	-------	---------------------------------

If water is to be extracted from groundwater, river, stream, dam, lake or any other natural feature, please indicate the volume that will be extracted per month:

	litres
--	--------

Does the activity require a water use permit from the Department of Water Affairs?

YES	NO
-----	----

SECTION C: SITE/ AREA/ PROPERTY DESCRIPTION

Important notes:

- For linear activities (pipelines, etc) as well as activities that cover very large sites, it may be necessary to complete this section for each part of the site that has a significantly different environment. In such cases please complete copies of Section C and indicate the area, which is covered by each copy No. on the Site Plan.

Section C Copy No.
(e.g. A):

- Subsections 1 - 6 below must be completed for each alternative.

1. GRADIENT OF THE SITE

Indicate the general gradient of the site.

Alternative S1:

Flat	1:50	-	1:20	-	1:15 - 1:10	-	1:10	-	1:7.5 - 1:5	Steeper than
	1:20		1:15				1:7.5			1:5

Alternative S2 (if any):

Flat	1:50	-	1:20	-	1:15 - 1:10	-	1:10	-	1:7.5 - 1:5	Steeper than
	1:20		1:15				1:7.5			1:5

Alternative S3 (if any):

Flat	1:50	-	1:20	-	1:15 - 1:10	-	1:10	-	1:7.5 - 1:5	Steeper than
	1:20		1:15				1:7.5			1:5

2. LOCATION IN LANDSCAPE

Indicate the landform(s) that best describes the site (Please cross the appropriate box).

Alternative S1 (preferred site):

Ridgeline	Plateau	Side slope of hill/mountain	Closed valley	Open valley	Plain	Undulating plain/low hills	Dune	Sea-front
-----------	---------	-----------------------------	---------------	-------------	-------	-----------------------------------	------	-----------

Alternative S2 (if any):

Ridgeline	Plateau	Side slope of hill/mountain	Closed valley	Open valley	Plain	Undulating plain/low hills	Dune	Sea-front
-----------	---------	-----------------------------	---------------	-------------	-------	----------------------------	------	-----------

Alternative S3 (if any):

Ridgeline	Plateau	Side slope of hill/mountain	Closed valley	Open valley	Plain	Undulating plain/low hills	Dune	Sea-front
-----------	---------	-----------------------------	---------------	-------------	-------	----------------------------	------	-----------

3. GROUNDWATER, SOIL AND GEOLOGICAL STABILITY OF THE SITE

Has a specialist been consulted for the completion of this section?

YES	NO
-----	----

If YES, please complete the following:

Name of the specialist:			
Qualification(s) of the specialist:			
Postal address:			
Postal code:			
Telephone:	<input type="text"/>	Cell:	<input type="text"/>
E-mail:	<input type="text"/>	Fax:	<input type="text"/>

4. GROUND COVER

Has a specialist been consulted for the completion of this section?

YES	NO
-----	----

If YES, please complete the following:

Name of the specialist:			
Qualification(s) of the specialist:			
Postal address:			
Postal code:			
Telephone:		Cell:	
E-mail:		Fax:	
Are there any rare or endangered flora or fauna species (including red data species) present on any of the alternative sites?	YES	NO	
If YES, specify and explain:			
Are there any special or sensitive habitats or other natural features present on any of the alternative sites?	YES	NO	
If YES, specify and explain:			
Are any further specialist studies recommended by the specialist?	YES	NO	
If YES, specify:			
If YES, is such a report(s) attached in <u>Appendix D</u> ?	YES	NO	

Signature of specialist: _____ Date: _____

The location of all identified rare or endangered species or other elements should be accurately indicated on the site plan(s).

Natural veld - good condition ^E	Natural veld with scattered aliens ^E	Natural veld with heavy alien infestation ^E	Veld dominated by alien species ^E	Gardens
Sport field	Cultivated land	Paved surface	Building or other structure	Bare soil

If any of the boxes marked with an "E" is ticked, please consult an appropriate specialist to assist in the completion of this section if the environmental assessment practitioner doesn't have the necessary expertise.

A desktop study was undertaken by SIVEST which is attached in Appendix D with the following findings provided.

- The site have been disturbed through past land use (agriculture).
- Ezemvelo KZN Wildlife's C-Plan does not consider the irreplaceability value of the site to be significant.
- Watercourses are located to both the east and west of the property and suitable buffers have been applied.
- Stormwater must be attenuated within the development before being released into the neighbouring watercourses.
- Green alternatives for the re-use of stormwater must be investigated (e.g. JoJo tanks).

Land use character			Description
Agriculture	YES	NO	The site is bounded by agricultural land.
River, stream or wetland	YES	NO	A small stream is located approximately 92 metres to the west of the site. Mitigation measures will need to be put in place to ensure that there is no impact on the stream as a result of the development.
Nature conservation area	YES	NO	
Mountain, hill or ridge	YES	NO	
Museum	YES	NO	
Historical building	YES	NO	
Protected Area	YES	NO	
Graveyard	YES	NO	
Archaeological site	YES	NO	
Other land uses (describe)	YES	NO	

The proposed project is situated on undeveloped land bounded by agricultural land on one end and tribal land on the other.

6. CULTURAL/ HISTORICAL FEATURES

Are there any signs of culturally or historically significant elements, as defined in section 2 of the National Heritage Resources Act, 1999, (Act No. 25 of 1999), including archaeological or palaeontological sites, on or within 20m of the site?

YES	NO
-----	----

If YES, contact a specialist recommended by AMAFA to conduct a heritage impact assessment. The heritage impact assessment must be attached as an appendix to this report.

Briefly explain the recommendations of the specialist:

--

Will any building or structure older than 60 years be affected in any way?

YES	NO
-----	----

Is it necessary to apply for a permit in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?

YES	NO
-----	----

If YES, please submit the necessary application to AMAFA and attach proof thereof to this report.

Comments will be obtained from Amafa.

2. CONTENT OF ADVERTISEMENTS AND NOTICES

A notice board, advertisement or notices must:

- (a) indicate the details of the application which is subjected to public participation; and
- (b) state—
 - (i) that an application for environmental authorization has been submitted to the KZN Department of Agriculture, Environmental Affairs and Rural Development in terms of the EIA Regulations, 2010;(ii)
 - (iii) a brief project description that includes the nature and location of the activity to which the application relates;
 - (iv) where further information on the application can be obtained; and
 - (iv) the manner in which and the person to whom representations in respect of the application may be made.

3. PLACEMENT OF ADVERTISEMENTS AND NOTICES

Where the proposed activity may have impacts that extend beyond the municipal area where it is located, a notice must be placed in at least one provincial newspaper or national newspaper, indicating that an application will be submitted to the competent authority in terms of these regulations, the nature and location of the activity, where further information on the proposed activity can be obtained and the manner in which representations in respect of the application can be made, unless a notice has been placed in any *Gazette* that is published specifically for the purpose of providing notice to the public of applications made in terms of the EIA regulations.

Advertisements and notices must make provision for all alternatives.

4. DETERMINATION OF APPROPRIATE PROCESS

The EAP must ensure that the public participation process is according to that prescribed in regulation 54 of the EIA Regulations, 2010, but may deviate from the requirements of subregulation 54(2) in the manner agreed by the KZN Department of Agriculture, Environmental Affairs and Rural Development as appropriate for this application. Special attention should be given to the involvement of local community structures such as Ward Committees, ratepayers associations and traditional authorities where appropriate.

Please note that public concerns that emerge at a later stage that should have been addressed may cause the competent authority to withdraw any authorisation it may have issued if it becomes apparent that the public participation process was inadequate.

5. COMMENTS AND RESPONSE REPORT

The practitioner must record all comments and respond to each comment of the public before this application is submitted. The comments and responses must be captured in a comments and response report as prescribed in the EIA regulations (regulation 57 in the EIA Regulations, 2010) and be attached as Appendix E to this report.

SECTION E: IMPACT ASSESSMENT

The assessment of impacts must adhere to the requirements in the EIA Regulations, 2010, and should take applicable official guidelines into account. The issues raised by interested and affected parties should also be addressed in the assessment of impacts.

1. ISSUES RAISED BY INTERESTED AND AFFECTED PARTIES

List the main issues raised by interested and affected parties.

- **Provision of appropriate Sanitation and Waste Management**

Response from the practitioner to the issues raised by the interested and affected parties (A full response must be given in the Comments and Response Report that must be attached as Appendix E to this report):

A service agreement will need to be obtained from the City of uMhlatuze confirming the level of services to be provided to the facility.

2. IMPACTS THAT MAY RESULT FROM THE PLANNING AND DESIGN, CONSTRUCTION, OPERATIONAL, DECOMMISSIONING AND CLOSURE PHASES AS WELL AS PROPOSED MANAGEMENT OF IDENTIFIED IMPACTS AND PROPOSED MITIGATION MEASURES

2.1. IMPACTS THAT MAY RESULT FROM THE PLANNING AND DESIGN PHASE

a. Site alternatives

List the potential impacts associated with site alternatives that are likely to occur during the planning and design phase:

Alternative S1 (preferred alternative)

Every potential impact arising from the proposed development is an indirect product of activities occurring within the planning and design phase. However, these impacts are not realised until the construction and operational phases of the development. In order to avoid repetition, all identified impacts associated with the proposed development are included in Section E 2.2 (Construction Impacts) and E 2.3 (Operation Impacts) of this report.

Alternative S2 (if any)

Direct impacts:

Indirect impacts:

Cumulative impacts:

No-go alternative (compulsory)

Every potential impact arising from the proposed development is an indirect product of activities occurring within the planning and design phase. However, these impacts are not realised until the construction and operational phases of the development. In order to avoid repetition, all identified impacts associated with the proposed development are included in Section E 2.2 (Construction Impacts) and E 2.3 (Operation Impacts) of this report.

Indicate mitigation measures to manage the potential impacts listed above:

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Cumulative impacts:

SOCIAL IMPACTS:

- Increased volume of construction vehicles on the roads may lead to increased wear and tear of roads in the vicinity of the proposed site.
- Likely to provide impetus for the Local Economic Development in the area.

Alternative S2 (if any)

Direct impacts:

Indirect impacts:

Cumulative impacts:

No-go alternative (compulsory)

Direct impacts:

- No environmental impacts on air, soil or water resources
- Communities will not be affected by construction impacts
- No possible employment opportunities and future skills development

Indirect impacts:

None anticipated

Cumulative impacts:

None anticipated.

Indicate mitigation measures to manage the potential impacts listed above:

Alternative S1

Alternative S2

BIOPHYSICAL ENVIRONMENT:

Air quality:

- Regular servicing of vehicles off site in order to limit gaseous emissions.
- No open fires permitted on site.
- Chemical toilets should be placed on site and must be maintained on a daily basis.
- Stockpiles of soil should be kept covered or have suitable dust palliative applied such as water or commercial dust suppressants.

Impact on Soil/Geology

- The contractor must attend to drainage of the camp site to avoid standing water (ponding) and/or rill erosion.
- Clearing activities must only be undertaken during agreed working times and permitted weather conditions. If heavy rains are expected clearing activities should be put on hold. In this regard, the contractor must be aware of weather forecasts.
- If possible, construction activities should be scheduled to minimise the duration of exposure to bare soils on site, especially steep slopes. The full length of works shall NOT be stripped of vegetation prior to commencing other activities.
- The unnecessary removal of groundcover vegetation from slopes must be prevented, especially on steep slopes.
- Following the clearing of an area, the surfaces of all exposed slopes must be roughened to retain water and increase infiltration (especially important if construction is occurring during the wet season).
- After earthworks are completed in an area, the embankments must be grassed immediately with deep rooted indigenous vegetation using a combination of strip sodding and hydro-seeding. If this is not practical or feasible, temporary erosion control measures must be implemented that includes the use of silt traps and fascine work

Employment

- Equal opportunity must be given to all community members looking for employment during the construction period.

b. Process, technology, layout or other alternatives

List the impacts associated with process, technology, layout or other alternatives that are likely to occur during the construction phase (please list impacts associated with each alternative separately):

Alternative A1 (preferred alternative)

Direct impacts:

Indirect impacts:

Cumulative impacts:

Alternative A2

Direct impacts:

Indirect impacts:

Cumulative impacts:

No-go alternative (compulsory)

Direct impacts:

Indirect impacts:

Cumulative impacts:

Indicate mitigation measures to manage the potential impacts listed above:

Alternative A1:

Alternative A2:

2.3. IMPACTS THAT MAY RESULT FROM THE OPERATIONAL PHASE

a. Site alternatives

List the potential impacts associated with site alternatives that are likely to occur during the operational phase:

Alternative S1 (preferred alternative)

Direct impacts:

BIOPHYSICAL IMPACTS

- Increase in stormwater volumes (due to increase in impervious areas)
- Improper management and disposal of medical waste leading to pollution of the environment

SOCIAL IMPACTS:

- Localised increase in traffic volumes
- Job creation
- Provision of more accessible and affordable health care services to communities
- Alleviation of pressure on Acute Facilities

Indirect impacts:

- Community upliftment
- Patients and their families will not need to travel as far for medical assistance
- Patients will get appropriate medical attention and assistance
- Soil and water pollution through improper waste management

Cumulative impacts:

- + Economic growth
- - Contamination of stormwater runoff.

Alternative S2 (if any)

Direct impacts:

Indirect impacts:

Cumulative impacts:

No-go alternative (compulsory)

Direct impacts:

- Status quo of the environment will remain the same
- Current pressure on health care services will remain

Cumulative impacts:
No-go alternative (compulsory)
Direct impacts:
Indirect impacts:
Cumulative impacts:

Indicate mitigation measures to manage the potential impacts listed above:

Alternative S1	Alternative S2

b. Process, technology, layout or other alternatives

List the impacts associated with process, technology, layout or other alternatives that are likely to occur during the decommissioning or closure phase (please list impacts associated with each alternative separately):

Alternative A1 (preferred alternative)

Direct impacts:
Indirect impacts:
Cumulative impacts:

Alternative A2

Direct impacts:
Indirect impacts:
Cumulative impacts:

No-go alternative (compulsory)

Direct impacts:
Indirect impacts:
Cumulative impacts:

Indicate mitigation measures to manage the potential impacts listed above:

Alternative A1	Alternative A2

2.5. PROPOSED MONITORING AND AUDITING

For each phase of the project and for each alternative, please indicate how identified impacts and mitigation will be monitored and/or audited.

Alternative S1 (preferred site)

Alternative S2

- | | |
|---|--|
| <ul style="list-style-type: none"> • An EMP setting out procedures and mitigation measures will need to be prepared and adhered to during the planning, construction and operational phases. • The EMP must be approved by the relevant authority before construction commences. • The contractor must sign that he has read and understands the EMP. • A qualified Environmental Control Officer must be appointed to conduct monthly audits and submit a monthly report to the contractor and relevant authority. | |
|---|--|

Alternative A1 (preferred alternative)

Alternative A2

--	--

3. ENVIRONMENTAL IMPACT STATEMENT

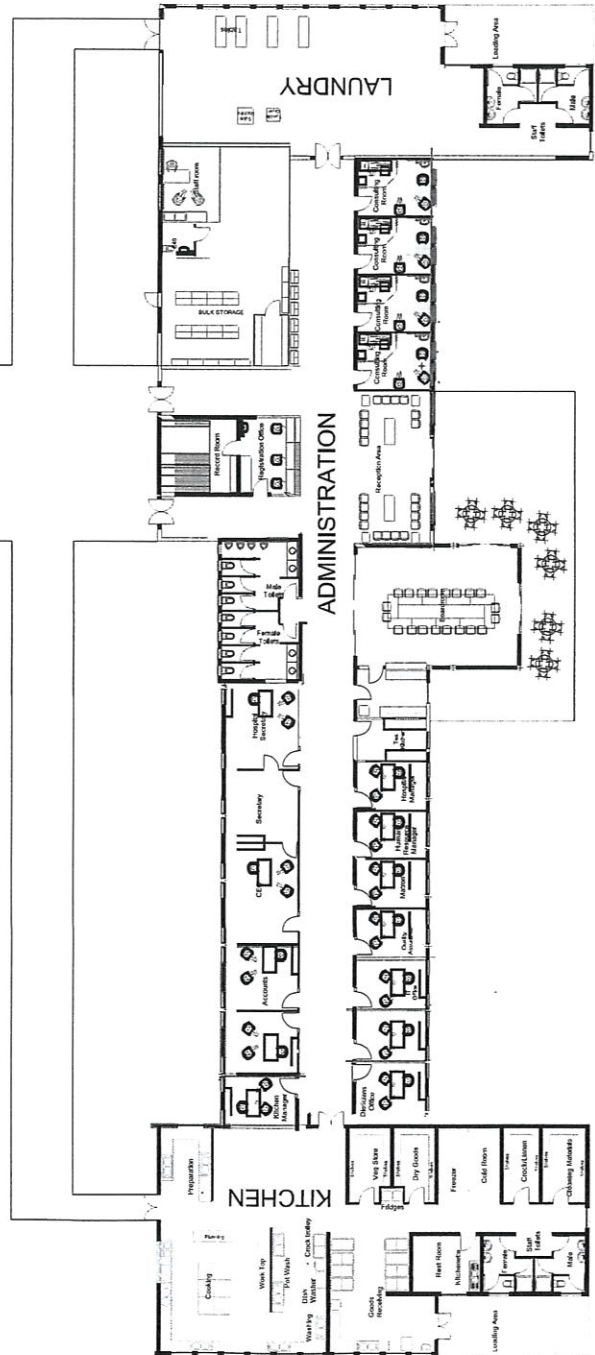
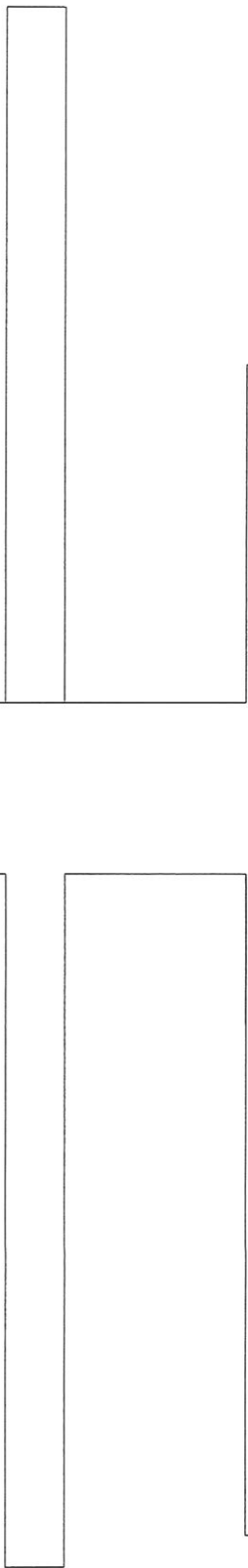
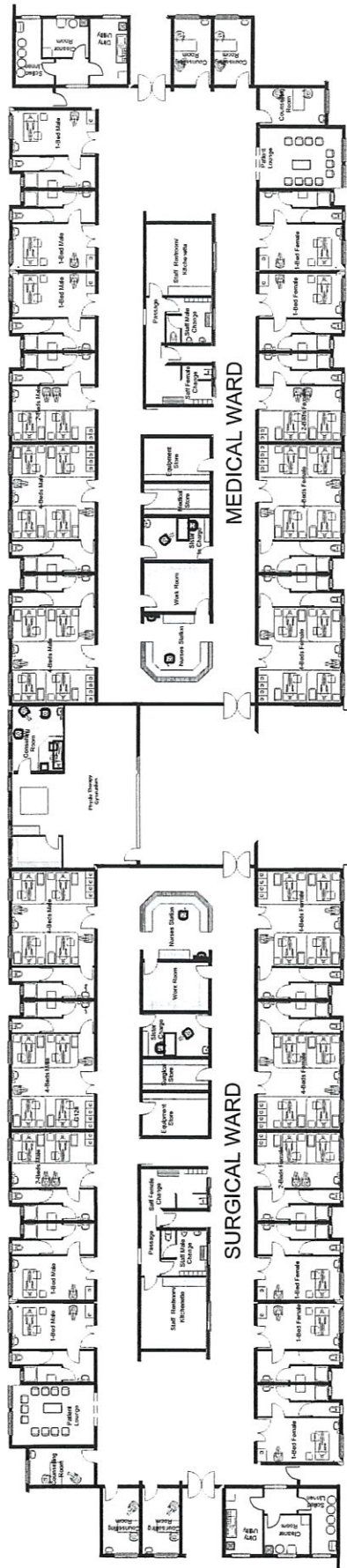
Taking the assessment of potential impacts into account, please provide an environmental impact statement that summarises the impact that the proposed activity and its alternatives may have on the environment after the management and mitigation of impacts have been taken into account, with specific reference to types of impact, duration of impacts, likelihood of potential impacts actually occurring and the significance of impacts.

If "YES", please attach the draft EMP as Appendix F to this report and list any recommended conditions, including mitigation measures that should be considered for inclusion in any authorisation that may be granted by the competent authority in respect of the application:

- **An EMP will need to be prepared in which all mitigation measures for Pre-Construction, Construction and Operational Phases, fines for non-compliance of all measures described in the EMP and the resultant environmental damage, must be strictly adhered to.**
- **The auditing of the construction phase must be carried out by a suitably qualified and experienced Environmental Control Officer.**
- **A stormwater and sewage management plan for Pre-Construction, Construction and Operational Phases must be prepared and submitted to DWA for approval prior to construction.**
- **A geotechnical investigation will need to be undertaken.**
- **A services agreement will need to be obtained from the City of uMhlathuze.**
- **All domestic waste material (during construction and operation phases) must be disposed of at the uThungulu Regional Landfill site, and records kept thereof.**
- **Medical waste will need to be handled, transported and treated by a suitable medical waste treatment facility. A suitable service level agreement to this end is recommended.**



Appendix A
SITE DEVELOPMENT PLAN





Appendix B
SITE PHOTOGRAPHS

APPENDIX B: PHOTOGRAPHS



Plate 1: Proposed site



Plate 2: Stream located approximately 92 metres to the west of the site



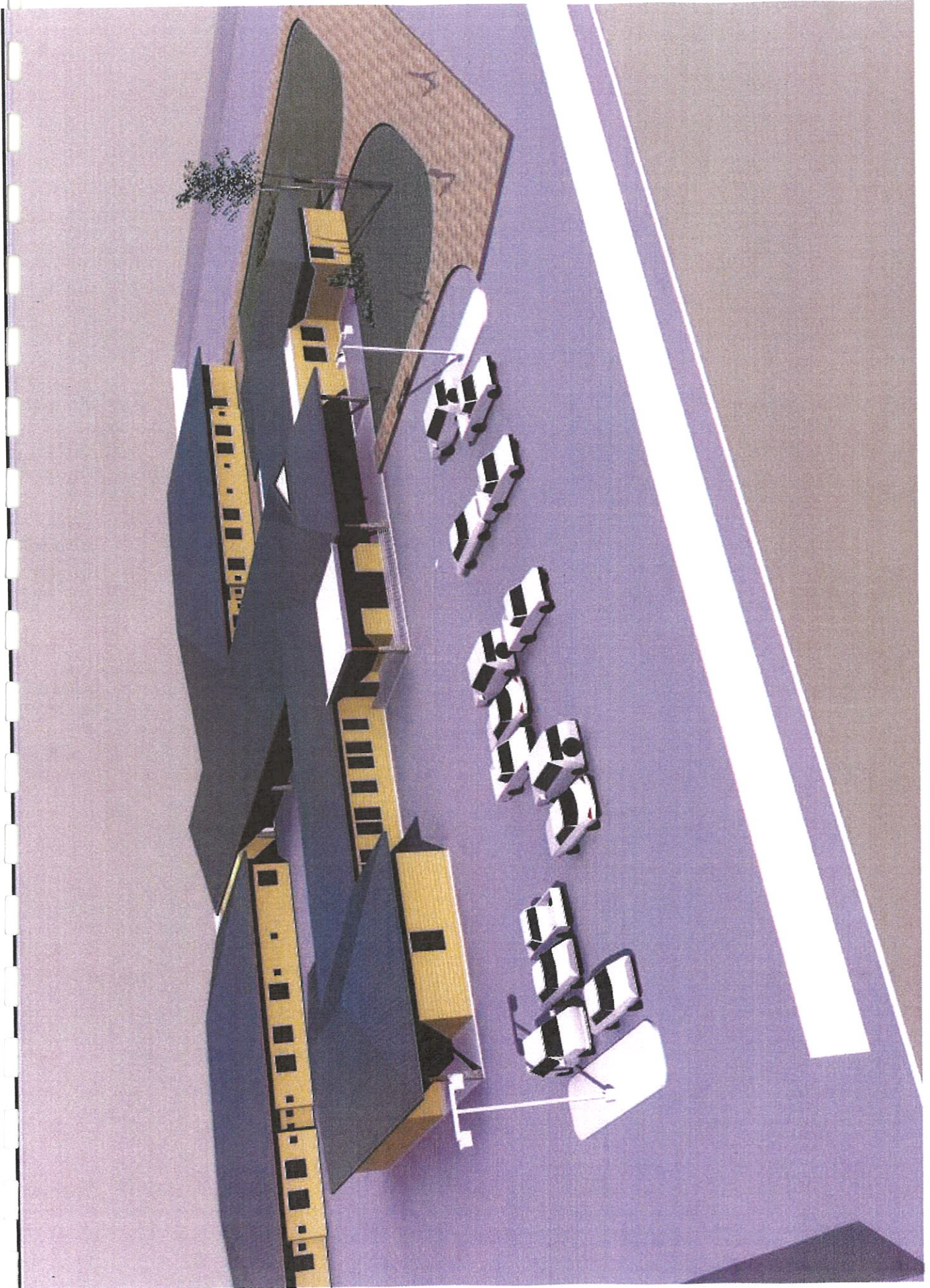
Plate 3: Gravel road with the R34 in the background



Plate 4: Informal settlements located to the south of the site



Appendix C
FACILITY ILLUSTRATION





Appendix D
SPECIALIST REPORTS

Appendix D1
TECHNICAL REPORT

MMMZ HOLDINGS (PTY) LTD

EMPANGENI SUB-ACUTE FACILITY

P7221

JUNE 2010



We change lives

Date: 30 August 2011

Document Title: Isibanisempilo Sub-acute Facility: Environmental Feasibility Investigation.

Author: Mark Ryan

Revision Number: # 1

Checked by: Michelle Nevette.

Approved: Michelle Nevette

Signature:

For: MMMZ Holdings (Pty) Ltd

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MMMZ HOLDINGS (PTY) LTD
ISIBANISEMPILO SUB-ACUTE FACILITY
PRELIMINARY ENVIRONMENTAL INVESTIGATION

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Tables

Table 1:	General position of the site.
Table 2:	Important taxa.
Table 3:	Species identified in KZN Wildlife's C-Plan.
Table 4:	Applicable legislation.
Table 5:	Listed Activities triggered by the development.

Figures

Figure 1:	1:50 000 Topographical Map Illustrating the Regional Location of the Site.
Figure 2:	Mucina and Rutherford Veld Types
Figure 3:	EKZNW C-Plan
Figure 4:	Desktop Mapping of Environmental Features

Reference List:

1. Mucina, L. and Rutherford, M. (2006). The Vegetation of South Africa, Lesotho and Swaziland. Strelitzia 19. SANBI, Pretoria.
2. Ezemvelo KZN Wildlife's C Plan

MMMZ HOLDINGS (PTY) LTD

ISIBANISEMPILO SUB-ACUTE FACILITY

PRELIMINARY ENVIRONMENTAL INVESTIGATION

1 INTRODUCTION

SiVEST Environmental Division has been appointed by MMMZ Holdings (Pty) Ltd Company to undertake a preliminary environmental investigation for the proposed Isibanisempilo Sub-Acute Facility.

At the preliminary stages of the planning process, a site development plan for the properties proposed for development has not been compiled. Therefore, a desktop assessment has been undertaken to assist the developer in taking significant environmental features into account. This report will also refer to the relevant environmental legislation in terms of what activities would trigger an environmental assessment and require the applicant to obtain environmental authorisation from the Department of Agriculture, Environmental Affairs and Rural Development (DAEA&RD).

2 THE DEVELOPMENT AREA

The cadastral information of the property upon which the Isibanisempilo Sub-Acute Facility is proposed is currently unknown, but the following geographic co-ordinate has been provided:

Table 1: General Position	
Latitude:	28° 44' 15" s
Longitude	31° 49' 02" e

The site is situated on a property to the west of Empangeni, and is accessed from the R34. From an assessment of Google Earth imagery, it appears that the site is surrounded by agricultural land-uses and rural homesteads. Two distinct watercourses have been identified in close proximity to the property and flow in a northerly direction towards the Okula River. Please refer to **Figure 1** for the 1:50 000 topographical location map.

3 DESCRIPTION OF ACTIVITY

MMMZ Holdings is proposing to construct a sub-acute facility at Mevamlhope, outside Empangeni. Sub-acute care is a level of care needed by a patient who does not require hospital acute care, but who requires more intensive skilled nursing care than is provided to the majority of patients in a clinic for example.

The Isibanisempilo Sub-Acute Facility will offer a 24 hour premier health care service that includes skilled nursing care, physical therapy, occupational therapy and psychotherapy.

The facility will comprise of a surgical ward, medical ward, administration building, kitchen and laundry facilities. The following services and cases will be admitted and treated in the facility:

- 50 bed unit
- Diarrhoea
- Pneumonia
- TB and ARV Clinic
- Physiotherapy

- Occupational Therapy
- Psychological Treatment
- Pre and Post Operative Treatment and Recovery

The following services will be offered:

- Acute illnesses such as pneumonia, gastroenteritis, cardiac failure and cerebrovascular incidents
- Recovery after a serious illness or operation
- Rehabilitation following an occupational injury or amputation
- Any condition requiring general nursing services such as wound care and catheterization
- Supplementary services such as physiotherapy and occupational therapy
- Chronic and/or terminal care
- Most psychiatric conditions that require hospitalization
- Pre and post operative treatment recovery

4 SITE ASSESSMENT

A site investigation has not been undertaken to inform the feasibility assessment and therefore the findings will be based specifically on the electronic resources available as part of the desktop investigation. These resources include aerial photography, Google Earth imagery, GIS data, reference books and firsthand knowledge of the area.

4.1 Sensitive ecosystems, habitats or biological communities

The general vegetation and faunal communities that are likely to be found has been established from an assessment of two key resources:

- Mucina and Rutherford (2006). The Vegetation of South Africa, Lesotho and Swaziland.
- Ezemvelo KZN Wildlife (2007). Conservation Plan (C-Plan)

The presence of indigenous vegetation is a prime determinant of the biological communities of the site. Therefore, the impact on the total biological communities is inferred from the extent to which the vegetation has been impacted on by current and historical activities. Wildlife on the site is considered in terms of its habitat requirements, and is therefore closely related to the presence of appropriate vegetation on the site, and the potential impacts of the proposed development on this vegetation.

Mucina and Rutherford (2006) categorises the site as falling within Savanna Biome and more specifically in the Zululand Coastal Thornveld (**SVI 24**). The facility also falls in close proximity to the Indian Ocean Coastal Belt, more specifically the Maputaland Coastal Belt (**CB1**). Given the fact that the site does not fall into the Maputaland Coastal Belt, this veld type will not be discussed. Please refer to **Figure 2**.

4.1.1 Zululand Coastal Thornveld (SVI 24)

a) Vegetation and landscape features

According to Mucina and Rutherford (2006), the topography underlying this vegetation type consists of gently rolling landscapes supporting wooded grassland dominated by *Themeda triandra*. The bush clumps are a strong feature and are more numerous on deeper soils, with *Phoenix reclinata* and *Gymnosporia senegalensis* usually dominant. The bush clumps grade into dense Acacia woodland on dry slopes and riverine bushland thickets and Lowveld Riverine Forest in valley bottoms.

b) Geology and Soils

The area is situated almost entirely on Letaba Formation basalts of the karoo Supergroup. Soils are mainly black with a high (35-55%) clay content and depth in the range of 200-300mm.

c) Important Taxa

The following important taxa (group(s) of organisms) are expected to be form part of this vegetation type:

Table 2: Important Taxa	
Graminoids (grasses)	<i>Eragrostis capensis</i>
	<i>Panicum maximum</i>
	<i>Sporobolus pyramidalis</i>
	<i>Themeda triandra</i>
	<i>Tristachya leucothrix</i>
Herbs	<i>Berkheya setifera</i>
	<i>Setela asiatica</i>
	<i>Eriosema cordatum</i>
	<i>Gerbera viridifolia</i>
	<i>Pentanisia prunelloides</i>
	<i>Vernonia oligocephala</i>
Low Shrubs	<i>Acalypha peduncularis</i>
	<i>Clutia cordata</i>
	<i>Thunbergia atriplicifolia</i>
	<i>Sida cordifolia</i>
Tall Shrubs	<i>Euclea divinorum</i>
	<i>Gymnosporia senegalensis</i>
	<i>Clutia abyssinica</i>
	<i>Diasporos lycioides subsp. sericea</i>
Small Trees and Succulent Trees	<i>Acacia natalitia</i>
	<i>Acacia nilotica</i>
	<i>Phoenix reclinata</i>
	<i>Euphorbia tirucalli</i>
	<i>Euphorbia ingens</i>

4.1.2 Ezemvelo KZN Wildlife Conservation Plan

An additional consideration is the Strategic Environmental Assessment (SEA) and Conservation Plan (C-Plan) produced by Ezemvelo KZN Wildlife (**Figure 3**). KwaZulu-Natal has been divided in 1km² blocks and threatened floral and faunal species that are known to, or have the potential to occur in the grids are listed in terms of conservation value.

Table 3 below represents the species that have the potential to exist within the property, should the required habitat be present. Cognisance of conservation significance of these species will have to be taken into account during the planning stages.

1	Zulu Coastal Thornveld		
2	Maputo Coastal Grassland		
	Species	Common Name	Habitat
3	<i>Kniphofia Littoralis</i>	Species of Red Hot Poker	Near threatened (protected) species that is generally found in coastal grassland, moist depressions (not usually in permanently waterlogged soils).

4.2 Water resources and drainage

Given the fact that a site visit was not undertaken to assist with the compilation of this report, it is difficult to accurately describe the water resources that may be affected by development on the site. The property appears to be located at the toe of a hill, on a relatively even slope that falls from a hilltop (elevation of 152m) in both an easterly and westerly direction towards two distinct watercourses. The system to the west of the property exhibits a small dam and appears to contain indigenous and exotic riverine/wetland species.

A significant watercourse is also located to the east of the site and appears to have been less affected by agricultural practices, and consequently may contain the thornveld veld type described in **Section 4.1.1** above. There is the possibility that the property may drain towards this system as well.

The water resources described above have been illustrated in **Figure 4**.

During the planning stages of the development proposal it is important to protect the integrity of these systems by ensuring that development is maintained outside of the drainage lines, floodplains and associated wetland systems. To assist the town planner and the Environmental Assessment Practitioner (EAP) in establishing the most suitable area to position a medical facility, the following should be taken into account:

- Development must be maintained outside of the 100 year floodline. The floodlines will need to be determined by a Consulting Engineer.
- To avoid triggering the activities relating to development/construction within a watercourse, a development setback of 32m must be maintained to the edge of the watercourse. Please note that a wetland is included in the definition of a watercourse and therefore the streamline may not necessarily be the edge of the system.
- Personal correspondence with the EAP has established that the proposed development is set back from the watercourses by a minimum of 90m (Please refer to **Figure 4**). Therefore, it is unlikely that this activity will be triggered.
- However, should the development footprint be moved or adjusted and comes in close proximity to these systems, a suitably qualified wetland ecologist must be appointed to establish the presence of wetlands on site (valley bottom or floodplain wetland). Should these systems be present, buffers will be required to ensure that their integrity is maintained (likely to be a minimum of 30m buffer).

4.3 Site Description

Based on the findings of the desktop assessment, it is envisaged that the majority of the site has been disturbed through past land-use (agriculture). Therefore, within the property boundary it is unlikely that any of the vegetation types identified by Mucina and Rutherford (2006) and Ezemvelo KZN Wildlife (C-Plan) is evident on site. However, the following features need to be taken into account in the Basic Assessment process:

1. Thornveld and a watercourse is located to the east of the site.
2. A watercourse is located to the west of the property.

Please refer to **Figure 4** for a desktop assessment of the systems that are likely to be found on site.

4.4 Erosion

A common issue associated with many developments in KwaZulu - Natal is that of soil erosion. All soils are potentially susceptible to erosion particularly during the construction phase of a development. This is largely evident when water is concentrated on steep slopes denuded of vegetation, for example rainwater runoff from impermeable surfaces created with development. Taking into account the undulating topography and steeply incised valleys on site, this potential impact has been recognised and needs to be assessed during the detailed planning stages.

An increase in suspended materials carried by stormwater runoff over unprotected soils during construction has the potential to impact on the drainage lines identified (and any wetlands that may occur) in the area. An increase in stormwater runoff is likely to result due to increased hardstand areas associated with development, and would result in erosion damage by increasing velocities in the natural watercourses.

Stormwater is generally reticulated to specific low points for release into the receiving watercourses. The concentration of run-off at these points increases the potential for erosion and sedimentation of the downstream environment. SiVEST Environmental Division requires that the stormwater attenuation features are suitably designed to ensure that the potential significance of erosion is minimal.

It is also recommended that in addition to the consulting engineers standard methods of attenuating stormwater, low intensity green methods of attenuation are also incorporated into the planning process. The harvesting of rainwater in Jojo tanks for example, could reduce the amount of run-off from the development and would also provide additional potable water for consumption or irrigation purposes.

5 ENVIRONMENTAL LEGISLATIVE REQUIREMENTS

Various pieces of environmental legislation apply to the proposed development on the land under question. This should be taken into account as part of the planning process for any proposed development. This includes but is not restricted to:

Table 4: Applicable Legislation		
6	The National Environmental Management Act, (107 of 1997);	To provide for co-operative environmental governance by establishing principles for decision-making on matters affecting the environment, institutions that will promote co-operative governance and procedures for co-ordinating environmental functions exercised by organs of state, and to provide for matters connected therewith.
1	The National Water Act of 1998	Pertains to the country's water resources and relates to this specific project with the presence of a number of rivers, drainage lines and wetland systems. Moreover, this act regulates issues including wastewater, the pollution of water bodies and the extraction and use of water resources;
2	Conservation of Agricultural Resources Act (No 43 of 1983)	Regulations dealing with declared weeds and invader plants;
3	National Environmental Management: Biodiversity Act (Act No. 10 of 2004);	
4	Nature and Environment Conservation Ordinance (No 19 of 1974)	Specific reference is made to the list of protected indigenous tree species that cannot be cut, pruned, damaged or removed without permission from Ezemvelo KZN Wildlife.
5	The National Heritage Act 25 of 1999;	Relates to the presence and conservation of any heritage resources that could be present on site.

5.1 Environmental regulations

The EIA Regulations, 2010 are promulgated under Section 24(5) of the National Environmental Management Act, Act 107 of 1998 and are published in Government Notice No. R. 544 (Basic assessment), 545 (Scoping and EIA) and 546 (Basic Assessment in KZN). The activities listed in these notices may not commence without environmental authorization from the competent authority (DAEA&RD).

The proposed development might trigger the following activities:

Table 5: Listed Activities Triggered by the Development	
Listed Activity	Activity Description
Basic Assessment (GNR 544)	
22	The construction of a road, outside urban areas, (i) With a reserve wider than 13,5 meters or (ii) Where no reserve exists where the road is wider than 8 meters
23	The transformation of undeveloped, vacant or derelict land to – (i) Residential, retail, commercial, recreational, industrial or institutional use, inside an urban area and where the total area to be transformed is 5ha or more but less than 20ha, or (ii) Residential, retail, commercial, recreational, industrial or institutional use, outside an urban area and where the total area to be transformed is bigger than 1ha but less than 20 ha

6 CONCLUSION

Based on the findings of this desktop environmental assessment it can be concluded that the **development potential of the site is high**. This is based on the fact that the site appears to have been disturbed through past land-use and the development footprint can accommodate the ecosystems that are located in close proximity to the property.

6.1 Findings and Recommendations:

- The site appears to have been disturbed through past land use (agriculture).
- The vegetation types likely to be found in the area were established from a desktop assessment of two key resources (Mucina and Rutherford's Veld Types (2006) and Ezemvelo KZN Wildlife's C-Plan).
- Ezemvelo KZN Wildlife's C-Plan does not consider the irreplaceability value of the site to be significant (**Figure 3**).
- Watercourses are located to both the east and west of the property, and suitable buffers have been applied.
- Stormwater must be attenuated within the development before being released into the neighbouring watercourses.
- Green alternatives for the re-use of stormwater must be investigated (e.g. JoJo tanks).
- An area of Thornveld is likely to be located to the west of the property, but does not encroach onto the site.
- Provincial environmental authorisation (Basic Assessment) from DAEA&RD will be required for development on this site.



Figure 1:
1:50 000 Topographical Map

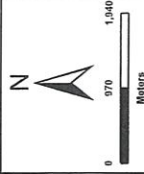
Isibanisempilo Sub-Acute Facility

Figure 1: 1:50 000 Topographical Map

Legend

- ★ Proposed Sub-Acute Facility
- ★ Empangeni
- R34
- Mhlatuze River
- Important Watercourses

SOURCE:
Surveyor General
2831DB
2831DD



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Project No	10564	Map Ref No	10584/F-01	Prepared By	M. Ryan	Date	12/09/2011
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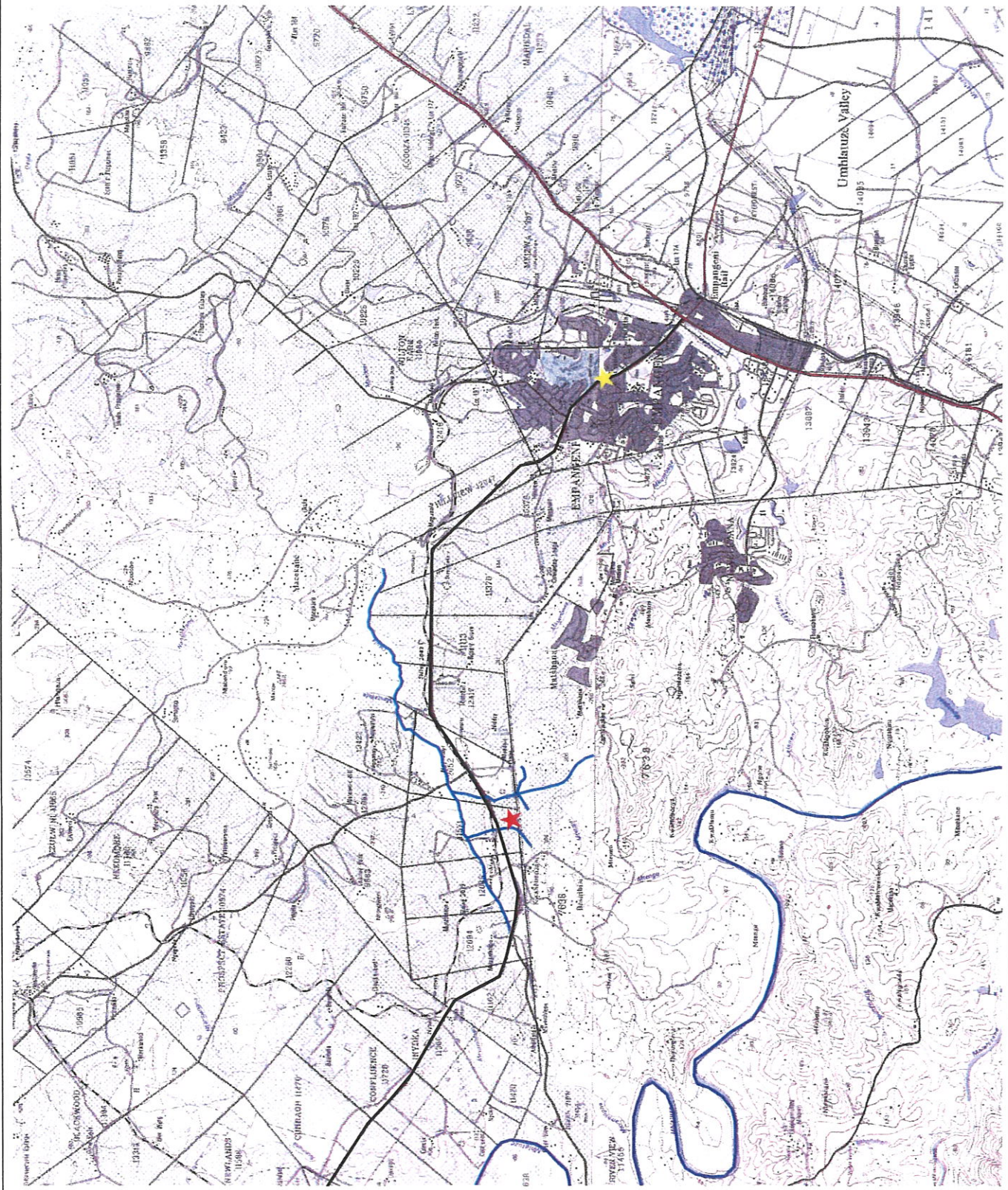




Figure 2:
**Mucina & Rutherford
Vegetation Types**

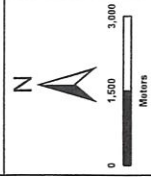
Isibanisempilo Sub-Acute Facility

Figure 2: Veld Types

Legend

★ Proposed Sub-Acute Facility

SOURCE:
Mucina & Rutherford (2006)



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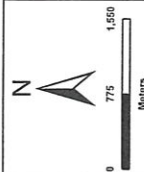


Isibanisempilo Sub-Acute Facility

Figure 3: Ezemvelo KZN Wildlife C-Plan

- Legend**
- ★ Proposed Sub-Acute Facility
 - Initial Reserve
 - Initial Excluded
 - Site Irreplaceability
 - Negotiated Reserve
 - Mandatory Reserve
 - Partial Reserve
 - Excluded
 - Map
 - Flagged
 - 1 (Totally Irreplaceable)
 - >0.8 - <1
 - >0.6 - 0.8
 - >0.4 - 0.6
 - >0.2 - 0.4
 - >0 - 0.2
 - IRREPL = 0

SOURCE:
C-Plan March 2007



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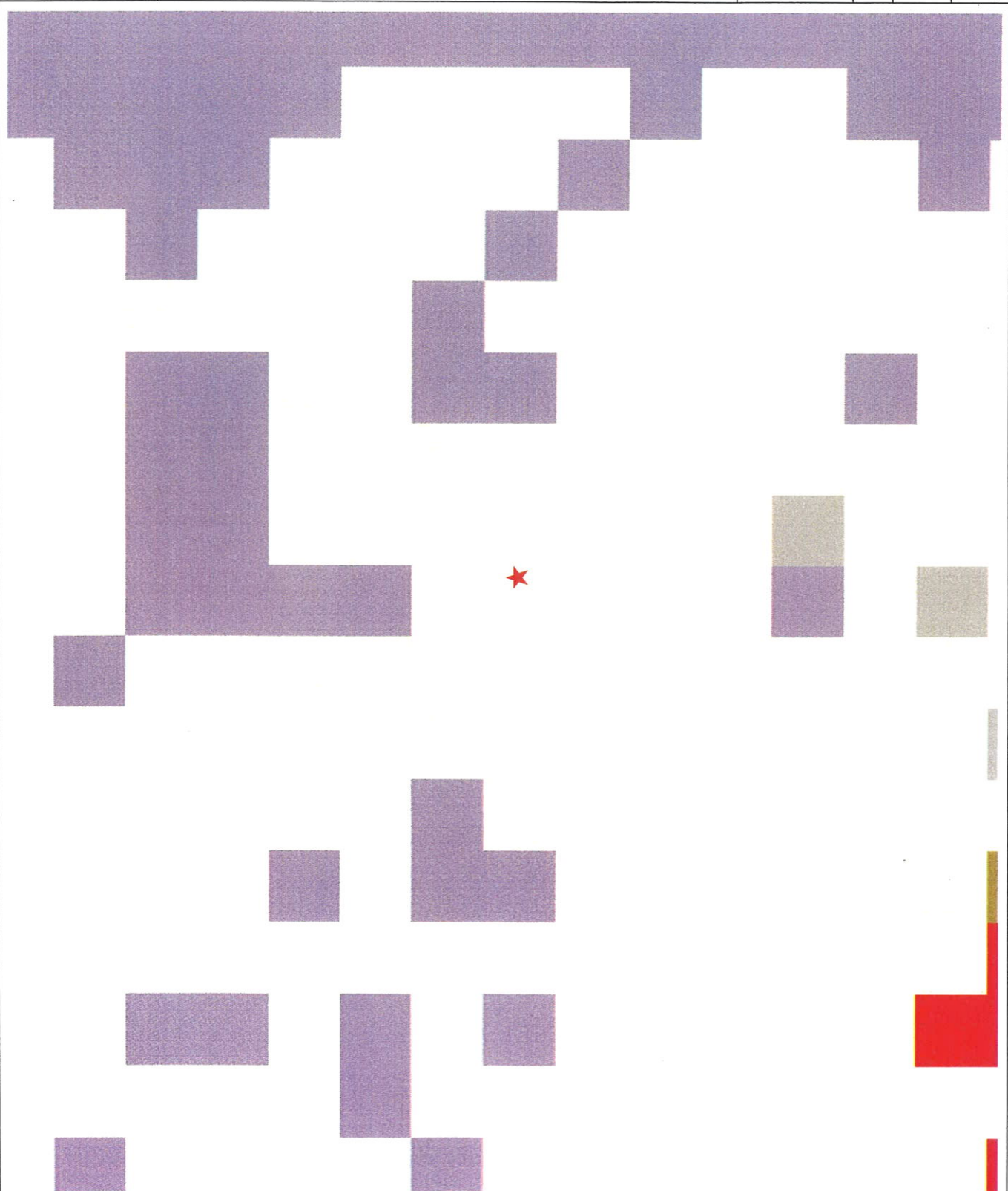




Figure 4:
**Desktop Mapping of
Environmental Features**



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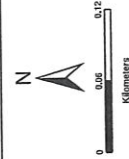
Isibanisempilo Sun-Acute Facility

Environmental Features Identified at a Desktop Level

Legend

-  Isibanisempilo Site
-  Drainage Lines
-  Contours
-  32m Buffer of Drainage Lines
-  90m Buffer of Drainage Lines
-  Probable Thornveld

SOURCE: Umhlaluzo GIS Data



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Project No	10594	Map Ref No	10594/F-401	Prepared By	M. Ryan	Date	01/09/2011
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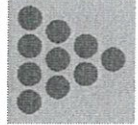
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Appendix E
PUBLIC PARTICIPATION REPORT



MMMZ HOLDINGS

**DC28/0035/2010:
ISIBANISEMPILO
FACILITY**

SUB-ACUTE

Appendix E: Comments & Response Report

Issue Date : September 2011
Revision No. : 1
Project No. : 10584

MMMZ HOLDINGS
ISIBANISEMPILO SUB-ACUTE FACILITY

REF. NO: DC28/0035/10

APPENDIX E: PUBLIC PARTICIPATION REPORT

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2 COMMENTS AND RESPONSE TABLE	4

Appendices

Appendix A: BID, Newspaper advert

APPENDIX B: Interested and Affected Parties Database

Appendix C: Comments received from I&AP's

MMMZ HOLDINGS

ISIBANISEMPILO SUB-ACUTE FACILITY

REF. NO: DC28/0035/10

APPENDIX E: PUBLIC PARTICIPATION REPORT

1 INTRODUCTION

The Public Participation Process forms an integral part of the EIA process. It is a mechanism that aids to identify potential impacts of proposed projects on the biophysical and the human environments. Identified Interested and Affected Parties (I&AP's) are given an opportunity to comment on the proposed project and make recommendations on mitigation requirements.

The process followed in informing I&AP's of the proposed projects is outlined in Sections 24(2)(a) and 24(d) of the National Environmental Management Act 107 of 1998 (as amended) in GN R.543 (18 June 2010) as part of the Basic Assessment process. This report presents comments received from I&AP's and responses provided.

The following means of distribution of information was undertaken.

- Distribution of the Background Information Document to identified stakeholders by fax, email and hand delivery on the 30th of September 2010.
- Placement of an English and Zulu advert in the Zululand Observer on the 30th of September 2010.
- Placement of site notices on and around the site as well as the City of uMhlatuze and the Empangeni Library.
- The draft Basic Assessment Report will be circulated for comment to stakeholders for a comment period of 40 days.

2 COMMENTS AND RESPONSE TABLE

The following issues were raised on the Background Information Document

Organization	Contact Person	Contact details	Issue raised	Response
WESSA	C. Schwegman	PO Box 343, Pennington, 4184 Email: afromatz@telkomsa.net	Our interests lie in servicing the facility in terms of sanitation and waste management and we would like to receive information in this regard.	Noted.
Ezemvelo KZN Wildlife IEM Development and Planning	Muhammad Essop	P.O. Box 13053, Cascades, 3202 Tel: 033 845 1472 Fax: 033 845 1499 Email: elliottf@kznwildlife.com	Ezemvelo KZNWildlife (Ezemvelo) has reviewed the Background Information Document for the abovementioned application. Based on the information supplied and Ezemvelo's biodiversity databases, Ezemvelo is satisfied that the proposed development should not result in significant impacts upon local biodiversity. However, should any biodiversity issues arise, please do not hesitate to contact our offices. We trust that all the appropriate measures to safeguard the ecological integrity of the receiving environment will be implemented in accordance with the sustainable development principles of the National Environmental Management Act 107 of 1998.	Noted.



Appendix A:

BID

NEWSPAPER ADVERT

SIVEST
Environmental
Division

4 Montego Park
15 Lira Link Road
PO Box 1874 Richards Bay
3900 South Africa

Phone + 27 35 789 2066
Fax + 27 35 789 2070
Email info@sivest.co.za
www.sivest.co.za



Established in 1952

**BACKGROUND INFORMATION DOCUMENT
NOTICE OF BASIC ASSESSMENT PROCESS FOR THE PROPOSED
ISIBANISEMPILO SUB-ACUTE FACILITY, EMPANGENI
DAEA REF NO: DC28/0035/2010**

Dear Stakeholder

Date: 30 September 2010

PURPOSE OF THIS DOCUMENT

In terms of the Environmental Impact Regulations, 2010, Regulation 54 under the National Environment Management Act (NEMA) (107 of 1998), Interested and Affected Parties (I&AP's) must be notified of certain proposed activities and given a chance to be involved in the process. You, as an adjacent Neighbour/Land owner/Organization/Local Authority have been identified as an Interested and Affected Party for the abovementioned project. Details of the project and relevant information regarding the environmental scoping process are provided below for your information.

TITLE OF THE PROPOSED ACTIVITY

Isibanisempilo Sub-Acute Facility, Empangeni

APPLICANT

MMMZ Holdings (Pty) Ltd.

DESCRIPTION OF THE PROPOSED ACTIVITY

MMMZ Holdings is proposing to construct a sub-acute facility. A sub-acute facility is *comprehensive inpatient care designed for someone who has an acute illness, injury, or exacerbation of disease in process. It is a goal oriented treatment rendered immediately after, or instead of, acute hospitalization to treat one or more specific active complex medical conditions or to administer one or more technically complex treatments, in the context of a person's underlying long-term conditions and overall situation (Association of Hospital based Skilled Nursing Facilities).*

The facility will comprise of a surgical ward, medical ward, administration building, kitchen and laundry facilities. The following services and cases will be admitted and treated in the facility:

- Diarrhoea
- Pneumonia
- TB and ARV Clinic
- Physiotherapy
- Occupational Therapy
- Psychological Treatment
- Pre and Post Operative Treatment and Recovery

LOCATION OF PROPOSED SITE

The proposed development is situated on the farm Hume No. 16666 located approximately 9km west of Empangeni along the R34 to Nkwalini. The site is currently vacant and is approximately 3ha in extent.

The geographical coordinates of the site are as follows:

- South: 28° 44' 14.71"
- East: 31° 49' 01.68"

A locality map is attached with the document. Should you not receive a copy via email/hand delivery please advise the undersigned.

Divisional Directors W A Pearce (Managing), D B Blair, J A Barnard, R G Kinvig, M A Nevette
A Division of SIVEST Directors * S D Leach (Chairman), M J Wright (Managing), *R A Bell, *M S Hemingway, S G Joubert, H J McGlashan,
M J Meikle-Braes, W A Pearce, H G D Regnaud, G R Sims, K Soni, A F Tomkins (*British)
Offices in South Africa Durban, Johannesburg, Ladysmith, Pietermaritzburg, Richards Bay, Somerset West

Part of the SIVEST Group

SIVEST SA (Pty) Ltd Registration No. 2000/006717/07 1/4 SIVEST



SETA
THREE STAR
GRADING SYSTEM
Quality Management
Accredited

The consultation process is predominantly aimed at informing stakeholders of the proposed development and soliciting those environmental issues that need to be addressed. We hereby request your input on specific matters/issues pertaining to the proposed project. Should you have any comments on this document, please submit them to our office within **14 days** of receipt of this document (as described in the EIA Regulations, 2010 Chapter 6 Regulation 56 (c)) to the contact person given below.

Please note that in terms of Regulation 56 (c) that as an interested and affected party you need to disclose any direct business, financial, personal or other interest which you may have in the approval or refusal of the application submitted with your comments.

**ISAZISO SOMLELO OLUYISENELO SOMANINDO SESAMUNO SEZIMPLE
EMPANDEH
EIA REFERENS: DORUBUS 1142**

Isaziso esilithwa emalelo 55 semthetho (Environmental Assessment Act, 1989) kanye noma ngaphandle kweSizungu 24(3) somthetho wezeminyakalo (Environmental Conservation Act, 1989) futhi okwamelela kwisizungu sikhuluma ngezinto ezinjenge: 214, 215, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Umfutsho Lomsebenzi:
Okwakhona kwesakhono ezizokuba igumbi lokuhlaza igumbi lokusheka kanye nokusheka kanye nanye nandla yokuqinisekisa izingubo.

Indawo:
Lendlebele ehlangothayo isepalazini ofizawa Hume No. 10000 esisendaweni engalinganiselwa kuzibanga engamakhilomitha ayishiyagalolunye (5km) ngasentshona kuya yaseMpangeni uma uhambisa ngomgqaso u-R34 aya e-Nisivalini. Kulendawo okwakhona futhi okwazanywa futhi asithe okulingana no. 3ka obubanzi.

Ngokwezomatho wamazisa lendawo ngayiqondanisa ngalokhu okutandelayo:
➤ South: 28° 44' 14.71"
➤ East: 31° 49' 01.69"

Abafaka Isicelo:
66892 Holdings (Pty) Ltd.

Umfutsho Lomsebenzi:
Loluhlelo lungenisa ngaphansi kwesizungu yemisebenzi ekufanele etandele indlela yenqubo yokuhlola ayisisekelo njengoba kuchazwe emthethweni ka-21 kuya ku-25 emithethweni yokucwaninga ukuphazamiseka kwezomatho ka-2010.

Uku Lwesaziso G.N.R. 544 (18 June 2010)
Ukuhlelo 23 Ukugqulisa isimo somfutho ngakafutsho kuma-ongaphandle noma okufanele ngaphandle kuma-ukuzo kwakhona izindlu ezilolo izindawo zokuphumisa, ezindawo zemisebenzi noma izindawo zokuhlulimani ngaphandle kwesedolobho futhi lapho ezindawo ezogquluka ngaphandle kuma-1ha kodwa ngaphandle kwa-20ha.

Octwepheshe ngaxhumana nabo:
SIVEST Environmental Division
Contact: Mareize Berning
4 Montego Park, 15 Lira Link Road, Richards Bay, 3900.
Tel: 036-789 2000
Fax: 036-789 2070
Email: mareize@sivest.co.za

Ukuze uqinisekise ukuthi uyabhalisa njengomuntu onogqhozi kanye noma othintekayo noma ongaphanda ukuthola imininingwane egqwela mayelana nalolu hlelo, ucacelwa uhlumelo imininingwane ebhaliwe, igama kanye nemininingwane otholakala kuyo nazi zathu zakho zokuba nentshisekelo yalolu hlelo ngaphambili noma ngomlaka 14 Oktoba 2010.

