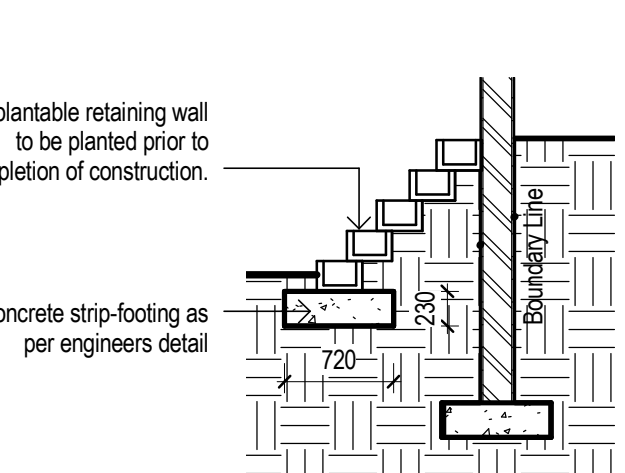
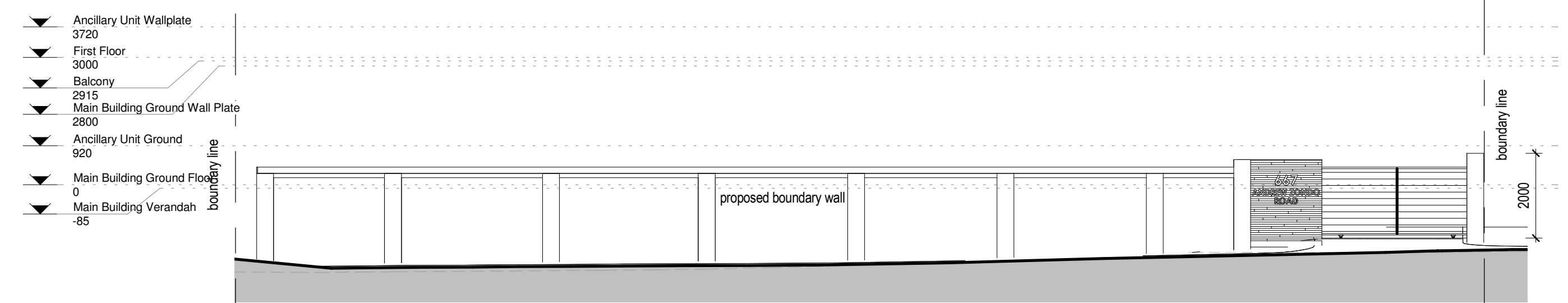


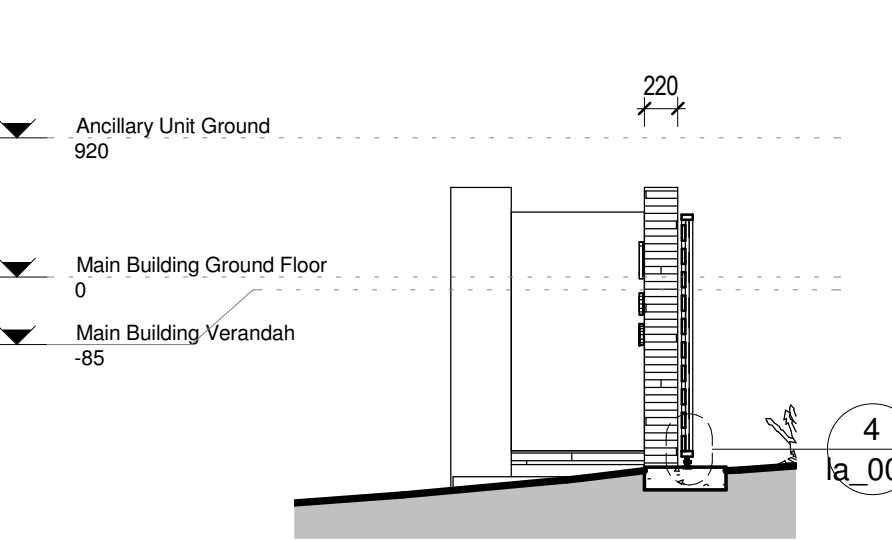
Site Plan  
1 : 200



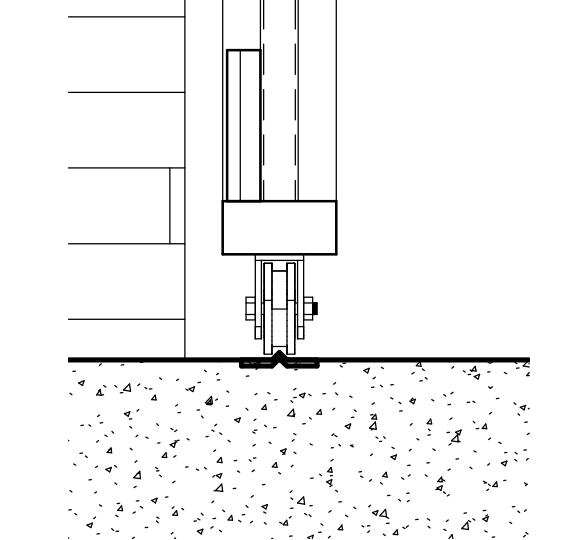
Section Through Loffelstein wall  
1 : 50



Front boundary wall & Entrance gate  
1 : 100



Gate Section  
1 : 50



Callout of Gate Section  
1 : 5

NEIGHBOURS DETAILS	
NAME	:
ID NO.	:
ADDRESS	:
TEL.	:
SIGN	:

NEIGHBOURS DETAILS	
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ID NO.	:
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ID NO.	:
ADDRESS	:
TEL.	:
SIGN	:

RESPECT OF S. A. STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS, SANS 10400:2010

GENERAL  
sanitary fixtures to be required by the Machinery Occupational Safety Act (act 6 of 1983)  
all underground ducts, pipes & vents to be adequately sealed against methane seepage.  
all slabs, foundations & structural steel to engineer's details  
premises to be rendered rodent proof in accordance with N.B.R.

PART D: PUBLIC SAFETY  
all Public Safety to comply with SANS 10400-D: 2011  
all swimming pool & swimming baths to comply with annex D4

PART M: STAIRWAYS  
dimensions of stairways to comply with MM2  
all balustrading to be minimum 1000mm high to comply with MM3  
all treads to be minimum 250mm wide & risers to be maximum 200mm high

PART N: GLAZING  
all glazing to comply with SANS 10400-N: 2010, as follows:  
doors 6.5mm laminated safety glass or 6mm for less than 1 sqm  
windows 3mm for areas less than 0.75 sqm  
4mm for areas less than 1.5 sqm  
6mm for areas more than 1.5 sqm

PART O: LIGHTING & VENTILATION  
all lighting & ventilation comply with SANS 10400-O: 2011 and Annex A  
Part 01 Lighting & Ventilation Requirement and Part 02 Special Provision of Natural Lighting as well Part 07 Fire requirements

ELECTRICAL  
all electrical installations shall be carried out strictly in accordance with latest edition of:  
SABS 0142: code of practice for the wiring of premises;  
SABS 0114: code of practice for interior artificial lighting Part 1 & O of SANS 10400  
SABS 0400: emergency lighting;  
the Municipal by-laws & special requirements of the local supply authority;  
Telkom: regulations of the Department of Posts and Telecommunications;  
the Occupational Health & Safety Act No. 85 of 1993;  
regulations of the Local Gas Board

PART T: FIRE PROTECTION  
all fire protection to comply with SANS 10400-T: 2011  
all openings to be protection compliance with T: 4.10  
all ceilings to comply with T: 4.13  
all floor coverings to comply with T: 4.14  
all internal finishes to comply with T: 4.15  
all services in structural or separating elements to comply with T: 4.41  
all building materials to comply with T: 4.56

general notes

- \*all dimensions and levels to be checked on site prior to work commencing.
- \*all building methods and materials to comply with the national building regulations.
- \*the works to be set out from approved local authority plans only.
- \*drawings not to be scaled (figured dimensions to be read in preference to scaling)
- \*all reinforced concrete work to pr. Engineers specification.
- \*inspection eyes to be provided at all junctions and bends.
- \*all stormwater to be piped to soakpits unless otherwise indicated. no soakpit to be within 3m from any building or boundary.
- \*all foundations, slabs, beams and columns to pr. Engineers specification.
- \*all balustrading to be 1m high and to comply with n.b.r. MMS.
- \*all svp's to be taken up above roof finish and to comply with n.b.r. - SABS 0400-1990.
- \*all stormwater soakpits size to be cubic for every 40 sqm of roofed area and other hardened surface areas.
- \*all fireplaces, flues, chimneys and gas braais to be to comply with SABS 0400-1990 Part V.
- \*agricultural drains to be provided where necessary and to pr. Engineers detail.
- \*flashing to be provided as per part L.L.5.2 of SABS 0400-1990.

construction notes

- ROOF  
\*2° roof pitch. SAFINTRA SAFLOCK 700 roof sheeting with 2275 spelter to both sides fixed to steel intermediate purlins as per Eng's specification. r10e purlins @ 1700mm centers using SAFLOCK 700 clips screw fixed to steel purlins secured with 3 no. 10x16mm wafer head self tapping screws in accordance with manufacturers recommendations  
\*all fascias, bargeboards and roof trims to be fibre cement painted white (to architects selection).  
\*flashing: steel flashing painted plascon  
all rainwater goods to be white (to architects selection) consisting of gutters and aluminum downpipes.  
\*ceilings: internal to be gypsumskinned rhinoboard, with taped joints. on 38 x 38 softwood brandering.  
\*external to be painted fibre cement, with taped joints, on 38 x 38 softwood brandering.

WALL

- \*all plaster work to be rendered smooth.
- \*all external brickwork to have outside face of internal skin bagged and bitumessed.
- \*two courses brickforce to be provided at slab, sill and wall plate level.
- \*p.c lintols to be provided at all openings.
- \*stepped dpc's to all sills and above all openings.

FLOOR

- \*ground floor: mesreinforced concrete surface bed, to be certified by an Engineer, on approved damp proof membrane on well consolidated and poisoned soil.

FOUNDATIONS

- \*all foundations to pr. Engineers detail.

STORMWATER

- \*all stormwater pipe sizing, sumps and layouts to pr. Engineers detail.

Area Schedule (Gross Building)

Name	Level	Area
Main Building Ground Floor		
Study	Main Building Ground Floor	15.1 m <sup>2</sup>
Guest Ensuite	Main Building Ground Floor	8.8 m <sup>2</sup>
Guest Bedroom	Main Building Ground Floor	21.3 m <sup>2</sup>
Scullery /Laundry	Main Building Ground Floor	13.1 m <sup>2</sup>
Kitchen	Main Building Ground Floor	21.4 m <sup>2</sup>
Main Lounge	Main Building Ground Floor	36.8 m <sup>2</sup>
Dining Room	Main Building Ground Floor	35.7 m <sup>2</sup>
Entrance	Main Building Ground Floor	12.2 m <sup>2</sup>
Guest WC	Main Building Ground Floor	4.2 m <sup>2</sup>
Stair	Main Building Ground Floor	6.2 m <sup>2</sup>
Covered Verandah	Main Building Ground Floor	77.1 m <sup>2</sup>
Pool	Main Building Ground Floor	34.7 m <sup>2</sup>
Braai	Main Building Ground Floor	1.3 m <sup>2</sup>
Steps	Main Building Ground Floor	18.9 m <sup>2</sup>
Double Garage	Main Building Ground Floor	35.9 m <sup>2</sup>
Covered Walkway	Main Building Ground Floor	8.3 m <sup>2</sup>
		351 m <sup>2</sup>
Ancillary Unit Ground		
Bedroom	Ancillary Unit Ground	10.6 m <sup>2</sup>
Lounge	Ancillary Unit Ground	8.7 m <sup>2</sup>
Kitchen	Ancillary Unit Ground	7.9 m <sup>2</sup>
Bathroom	Ancillary Unit Ground	3.8 m <sup>2</sup>
Verandah	Ancillary Unit Ground	6.7 m <sup>2</sup>
		37.6 m <sup>2</sup>
First Floor		
Informal lounge	First Floor	38.4 m <sup>2</sup>
Bedroom 1	First Floor	23.3 m <sup>2</sup>
Bathroom	First Floor	10.1 m <sup>2</sup>
Bedroom 2	First Floor	24.3 m <sup>2</sup>
Passage	First Floor	1.4 m <sup>2</sup>
Double volume	First Floor	6.7 m <sup>2</sup>
Stair	First Floor	11.5 m <sup>2</sup>
Main Ensuite	First Floor	16.9 m <sup>2</sup>
WC	First Floor	8.1 m <sup>2</sup>
Main Bedroom	First Floor	22.3 m <sup>2</sup>
Balcony	First Floor	21.5 m <sup>2</sup>
		184.5 m <sup>2</sup>
Grand total		573.1 m <sup>2</sup>

Schedule of Areas

ERF 1172 of AMANZIMTOTO EXT 3 at 667 Andrew Zondo Road	
Site Area:	1502 m <sup>2</sup>
Permitted F.A.R.:	0.4 600m <sup>2</sup>
Existing F.A.R.:	174.01m <sup>2</sup>
Proposed F.A.R.:	183.23m <sup>2</sup>
<b>Total F.A.R.:</b>	<b>357.24m<sup>2</sup></b>
(F.A.R. leftover :	242.76m <sup>2</sup> )
Permitted Coverage:	40% 600m <sup>2</sup>
Existing Coverage:	174m <sup>2</sup>
Proposed Coverage :	312.7m <sup>2</sup>
<b>Total Coverage:</b>	<b>486.71m<sup>2</sup></b>
(Coverage leftover:	113.29m <sup>2</sup> )
<b>Total Building Area:</b>	<b>573.1m<sup>2</sup></b>
<b>Total Added Area(Fee Applicable):</b>	<b>381.73m<sup>2</sup></b>

Client: Mr Bradley Coucom  
ARCHITECT : Torbjorn Hansen  
SACAP 6972

Proposed Additions and Alterations, Garage and Ancillary Unit to dwelling for Mr B Coucom at 667 Andrew Zondo Road, Athlone Park, ERF 1172 of AMANZIMTOTO EXT 3

SUBMISSION DRAWINGS  
site plan

RATE NO. :70-02508074-0



Scale As indicated	Date January 2013	Drawn By B.S.
	Proj No. 1206-01	DWG NO. la_001