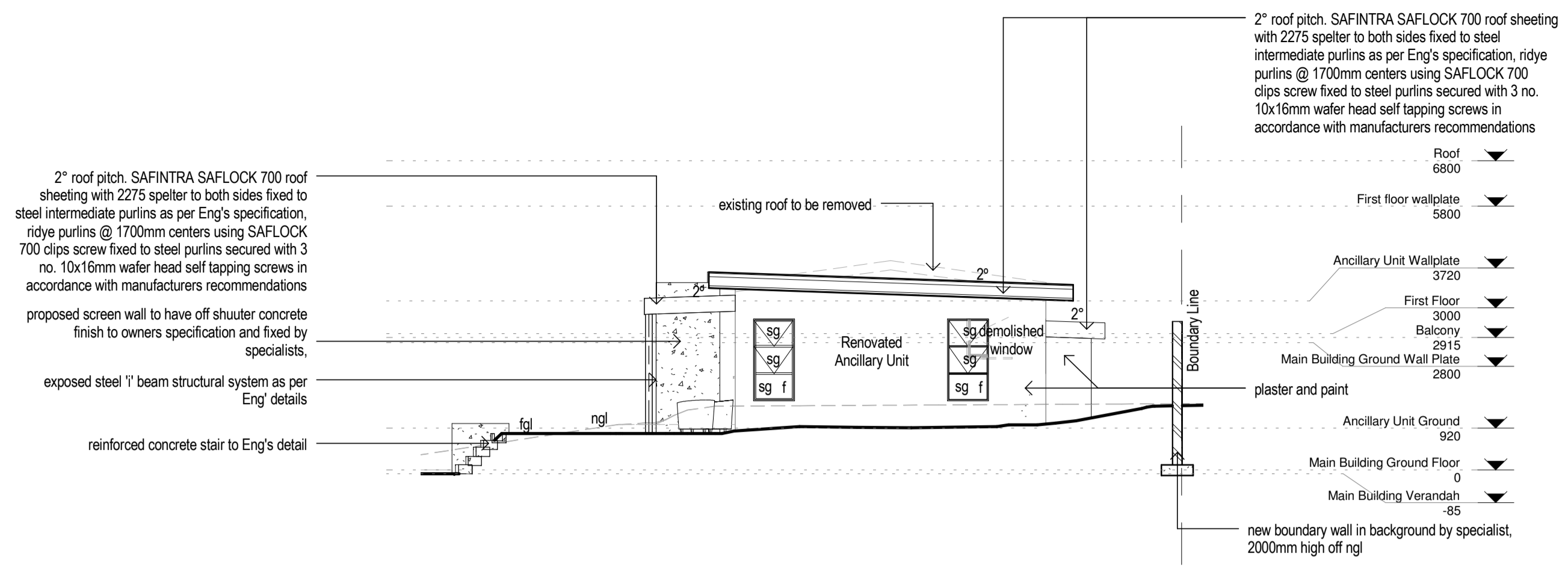


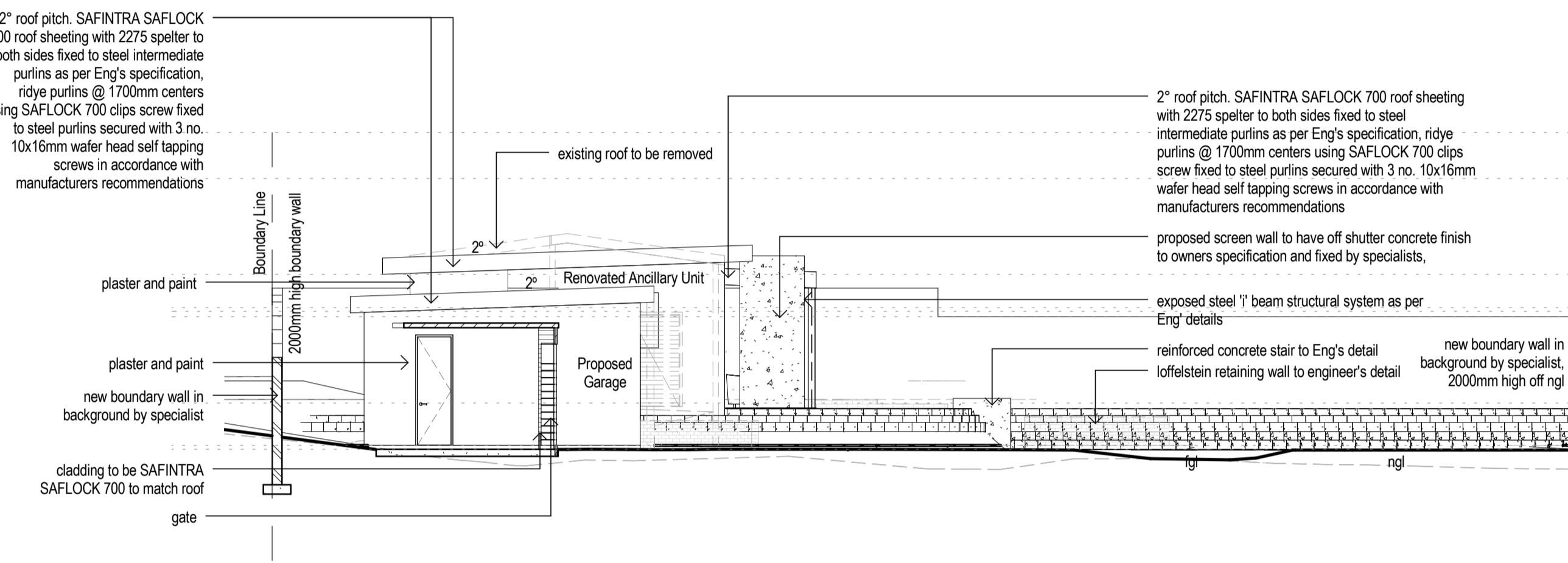
Garage/Ancillary Unit North East

1 : 100



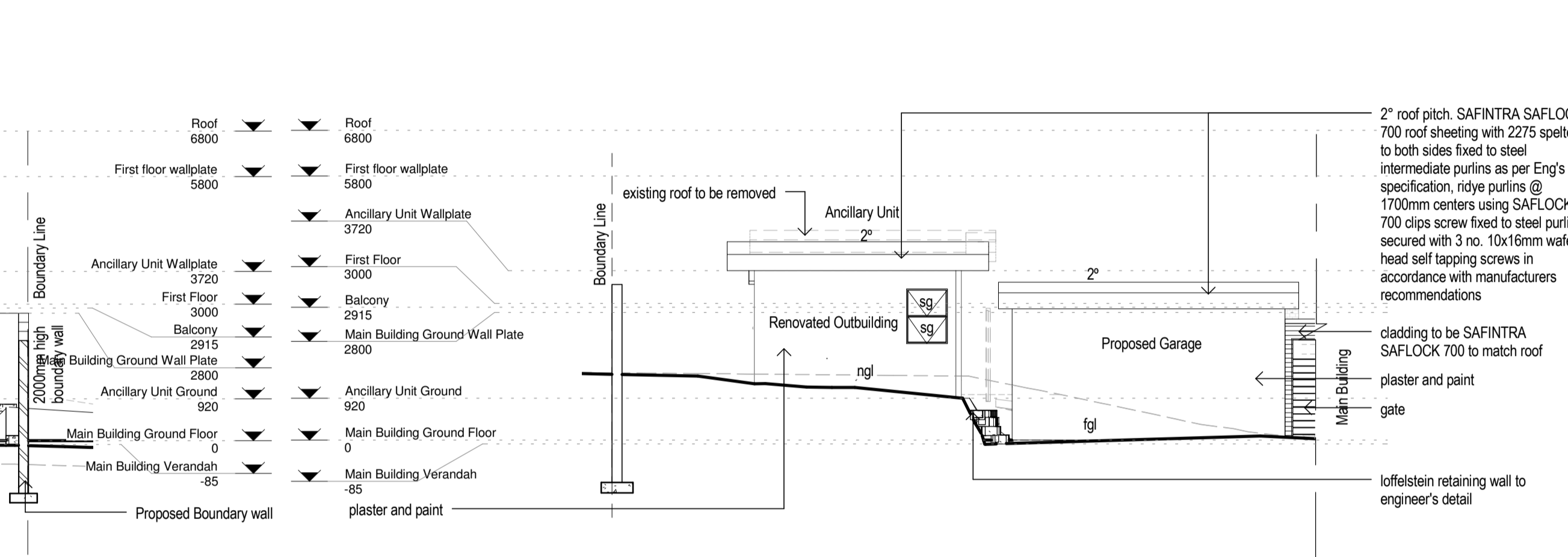
Garage/Ancillary Unit North West Elevation

1 : 100



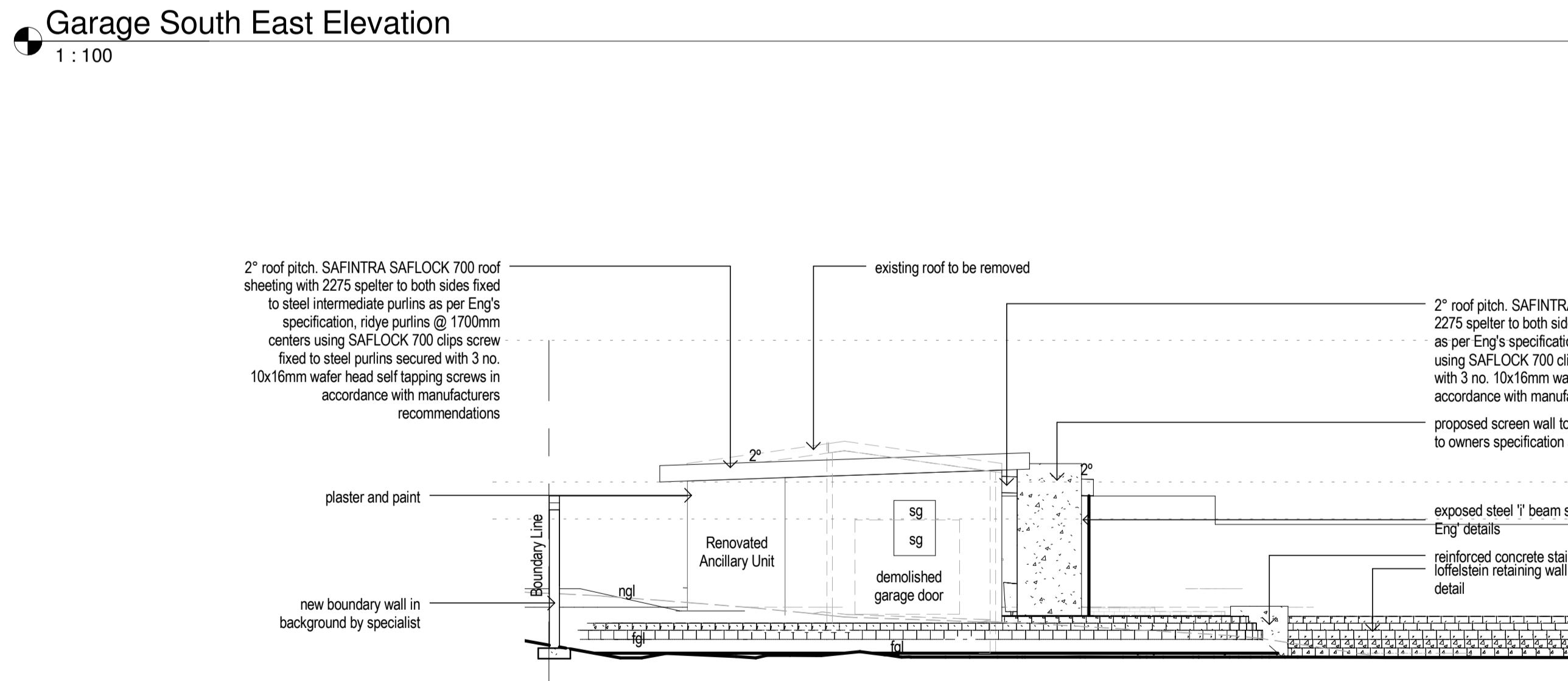
Garage South East Elevation

1 : 100



Garage/Ancillary Unit South West Elevation

1 : 100



Ancillary Unit South East Elevation

1 : 100

NEIGHBOURS DETAILS		NEIGHBOURS DETAILS		NEIGHBOURS DETAILS		NEIGHBOURS DETAILS	
NAME	:	NAME	:	NAME	:	NAME	:
ID NO.	:	ID NO.	:	ID NO.	:	ID NO.	:
ADDRESS	:	ADDRESS	:	ADDRESS	:	ADDRESS	:
TEL.	:	TEL.	:	TEL.	:	TEL.	:
SIGN	:	SIGN	:	SIGN	:	SIGN	:
NAME	:	NAME	:	NAME	:	NAME	:
ID NO.	:	ID NO.	:	ID NO.	:	ID NO.	:
ADDRESS	:	ADDRESS	:	ADDRESS	:	ADDRESS	:
TEL.	:	TEL.	:	TEL.	:	TEL.	:
SIGN	:	SIGN	:	SIGN	:	SIGN	:

RESPECT OF S. A. STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS, SANS 10400:2010

GENERAL

- sanitary fixtures to be required by the Machinery Occupational Safety Act (act 6 of 1983)
- all underground ducts, pipes & vents to be adequately sealed against methane seepage.
- all slabs, foundations & structural steel to engineer's details premises to be rendered rodent proof in accordance with N.B.R.

PART D: PUBLIC SAFETY

- all Public Safety to comply with SANS 10400-D: 2011
- all swimming pool & swimming baths to comply with annex D4

PART M: STAIRWAYS

- dimensions of stairways to comply with MM2
- all balustrading to be minimum 1000mm high to comply with MM3
- all treads to be minimum 250mm wide & risers to be maximum 200mm high

PART N: GLAZING

- all glazing to comply with SANS 10400-N: 2010, as follows:
- doors 6.5mm laminated safety glass or 6mm for less than 1 sqm
- windows 3mm for areas less than 0.75 sqm
- 4mm for areas less than 1.5 sqm
- 6mm for areas more than 1.5 sqm

PART O: LIGHTING & VENTILATION

- all lighting & ventilation comply with SANS 10400-O: 2011 and Annex A
- Part 01 Lighting & Ventilation Requirement and Part 02 Special Provision of Natural Lighting as well Part 07 Fire requirements

ELECTRICAL

- all electrical installations shall be carried out strictly in accordance with latest edition of:
- SABS 0142: code of practice for the wiring of premises;
- SABS 0114: code of practice for interior artificial lighting Part 1 & O of SANS 10400
- SABS 0400: emergency lighting;
- the Municipal by-laws & special requirements of the local supply authority;
- Telkom: regulations of the Department of Posts and Telecommunications;
- the Occupational Health & Safety Act No. 85 of 1993;
- regulations of the Local Gas Board

PART T: FIRE PROTECTION

- all fire protection to comply with SANS 10400-T: 2011
- all openings to be protection compliance with T: 4.10
- all ceilings to comply with T: 4.13
- all floor coverings to comply with T: 4.14
- all internal finishes to comply with T: 4.15
- all services in structural or separating elements to comply with T: 4.41
- all building materials to comply with T: 4.56

construction notes

ROOF

- *2° pitch, SAFINTRA SAFLOCK 700 roof sheeting with 2275 spelter to both sides fixed to steel intermediate purlins as per Eng's specification, rdye purlins @ 1700mm centers using SAFLOCK 700 clips screw fixed to steel purlins secured with 3 no. 10x16mm wafer head self tapping screws in accordance with manufacturers recommendations
- *all fascias, bargeboards and roof trims to be fibre cement painted white (to architects selection).
- *flashing: steel flashing painted plascon
- *all rainwater goods to be white (to architects selection) consisting of gutters and aluminum downpipes.
- *ceilings: internal to be gypsumskimmed rhinoboard, with taped joints, on 38 x 38 softwood brandering.
- *external to be painted fibre cement, with taped joints, on 38 x 38 softwood brandering.

WALL

- *all plaster work to be rendered smooth.
- *all external brickwork to have outside face of internal skin bagged and bitumised.
- *two courses brickwork to be provided at slab, sill and wall plate level.
- *c intols to be provided at all openings.
- *stepped dpc's to all sills and above all openings.

FLOOR


- *ground floor: mesreinforced concrete surface bed, to be certified by an Engineer, on approved damp proof membrane on well consolidated and poisoned soil.

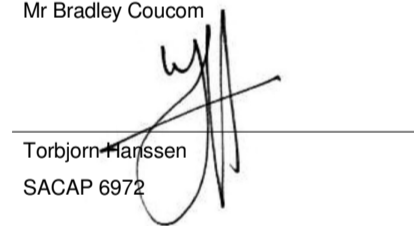
FOUNDATIONS

- *all foundations to pr. Engineers detail.

STORMWATER

- *all stormwater pipe sizing, sumps and layouts to pr. Engineers detail.

Client: 
Mr Bradley Coucom

ARCHITECT: 
Torbjorn Hansen
SACAP 6972

Proposed Additions and Alterations, Garage and Ancillary Unit to dwelling for Mr B Coucom at 667 Andrew Zondo Road, Athlone Park, ERF 1172 of AMANZIMTOTI EXT 3

SUBMISSION DRAWINGS elevations

RATE NO. :70-02508074-0



Scale	Date	Drawn By
1 : 100	January 2013	B.S
Proj No.	DWG NO.	Rev.
1206-01	la_201	-