

DURBAN CORPORATION
SPARKS ESTATE TYPES CA & ADA
SETTING OUT PLAN
CONTRACT PLAN OF 20 HOUSES & 42 HOUSES

6668-W7
DRAWING NO. 1229-66
SCALE 40 FT TO 1 INCH

CITY ENGINEER'S DEPT



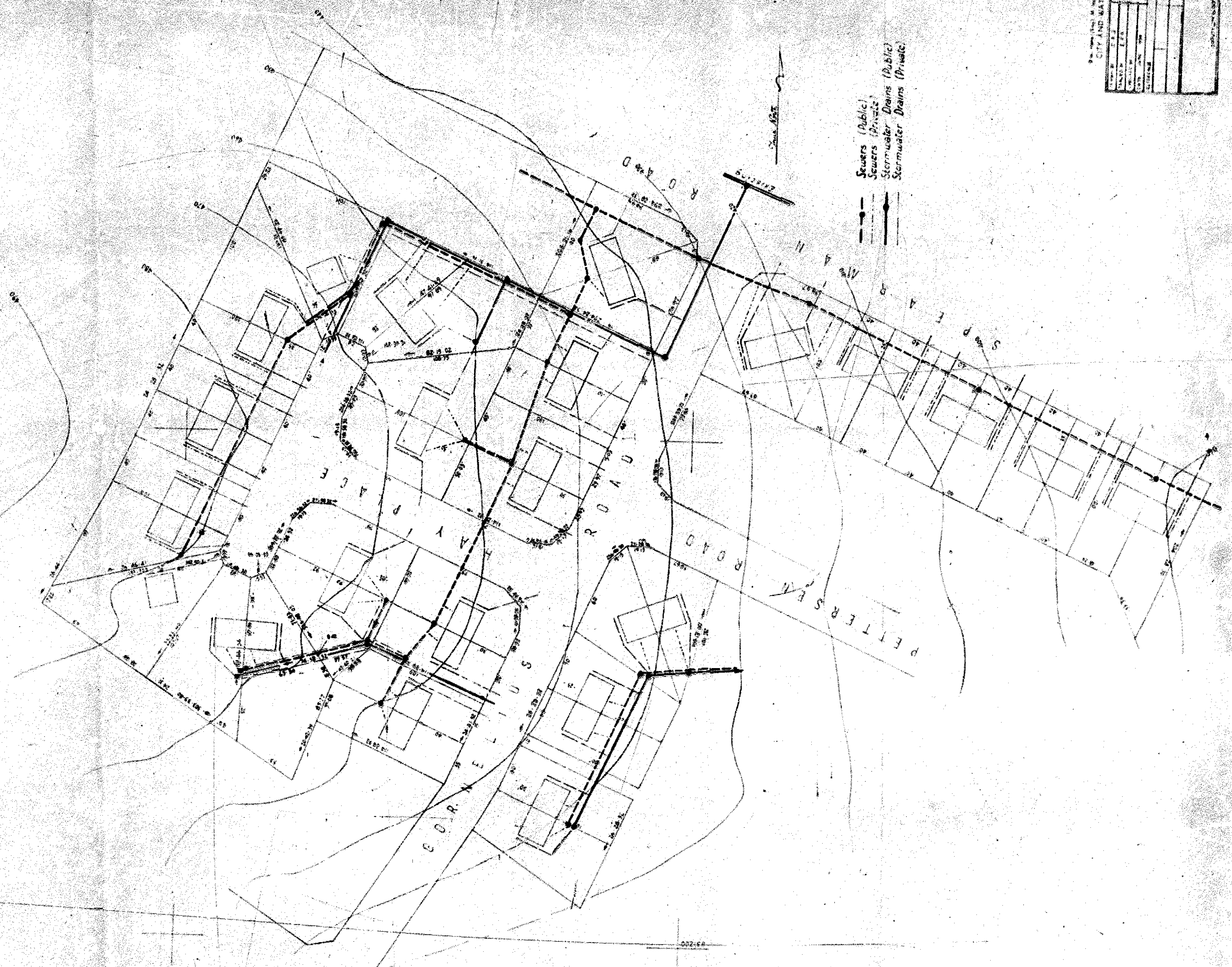
TYPE CA
TYPE ADA

CITY ENGS. DEPT.

SCALE 1 INCH = 40 FEET

DURBAN CORPORATION
SPARKS ESTATE
CENTENARY HOUSING SCHEME

PLAN NO. 1220



By the City Engineer in Charge of the Works
CITY AND WATER ENGINEER

PLAN NO.

1220 61

DATE

1961

John

TOWN PLANNING SECTION
 APPROVED
 DATE 24 MAY 1976
 SIGNATURE *[Signature]*

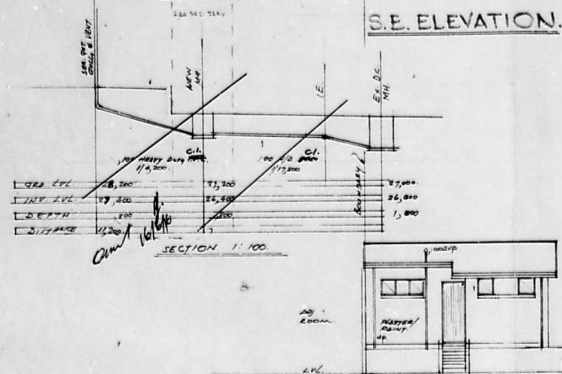
ORIGINAL
AS BUILT

N/John 25-5-72

S.E. ELEVATION.

N.E. ELEVATION.

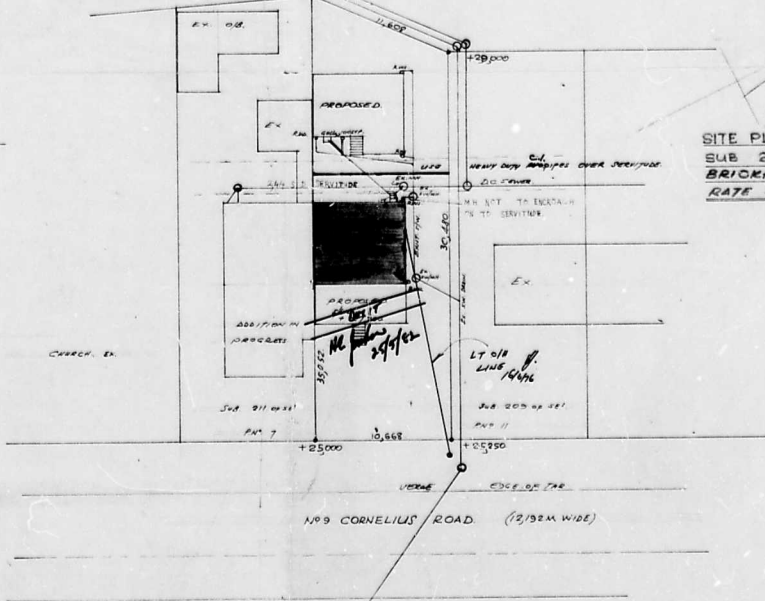
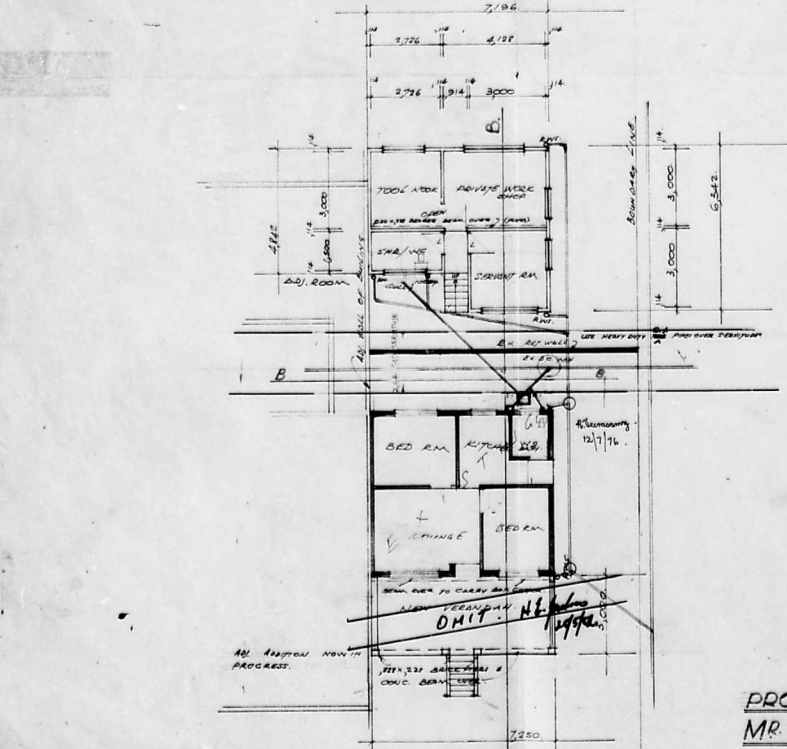
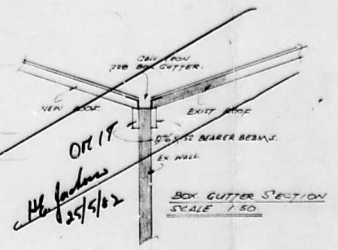
N.W. ELEVATION.



ROOF TILES ON 102 X 102 BATTENS ON UNDERLAY ON DEFTIES RAFTERS @ 800 c/c
 127 ASB. HFR COUNTERS # 10% R.W.D. 1012 X 732 FASCOM

SECTION BB.

SECTION AB.



SITE PLAN SCALE 1:200.
 SUB 210 OF SE1 OF
 BRICKFIELD 806.
 RATE NO 651970

GRD. FLR. PLAN. 1:100.

**PROPOSED ADDITION TO EXISTING DWELLING & OUTBUILDING FOR
 MR. H.E. JACKSON, 9 CORNELIUS ROAD.**

Patrick A. Joseph
 21 POWBANDAR BUILDINGS,
 242 GREY STREET, DURBAN.
 PHONE 24636.
 DOMESTIC ADDITIONAL AREA 0.8 30,000 M²
 HOUSE ADD 21,250 M²
 TOTAL 61,615

NOTES

ALL BUILDING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL BUILDING REGULATORY AND STANDARDS ACT (BARS 6480 1994) ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT.

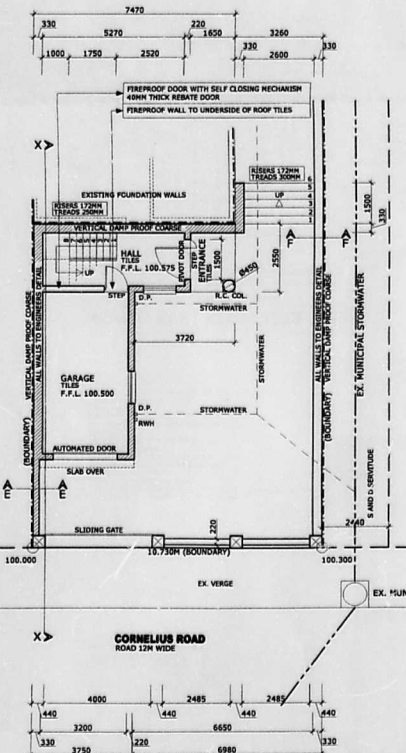
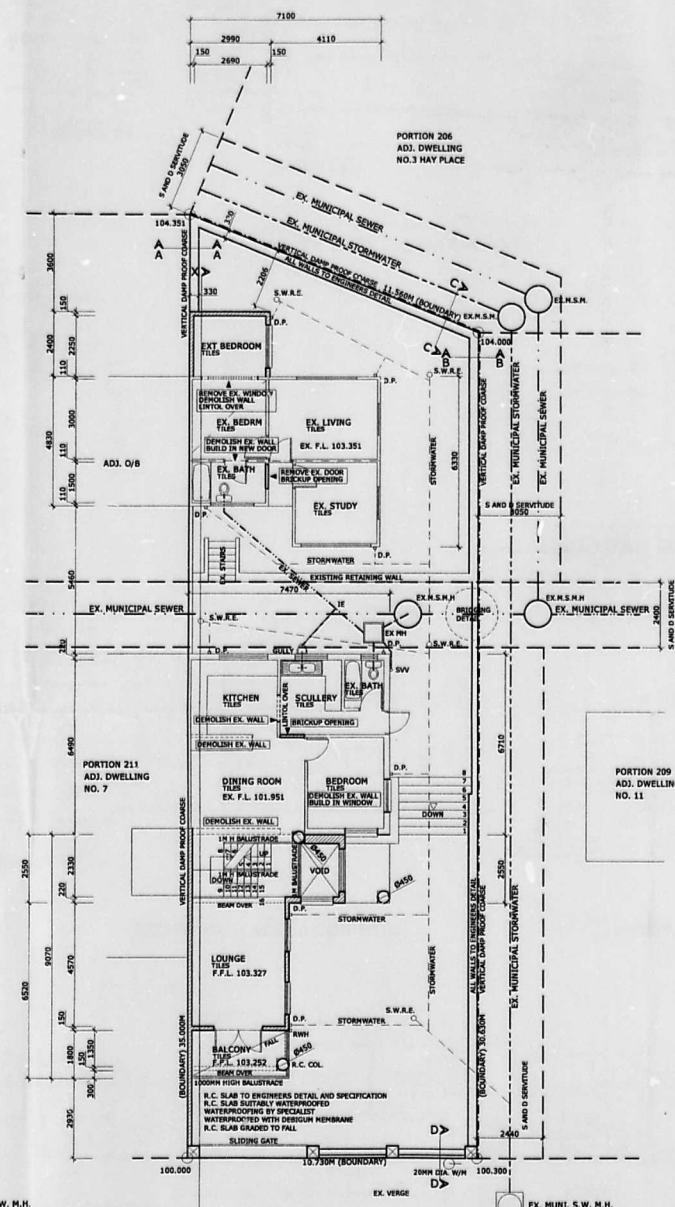
ALL WORK TO BE AT A MAXIMUM OF 2% DEE COMPENSATION FIGURES TO BE USED IN PREFERENCE TO SCALING. ALL STRUCTURAL WORK TO ENGINEERS DETAILS AND SUPERVISION. ANY QUERIES TO BE REFERRED TO ARCHITECT OF PLANS PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION.

BRICKWORK
 140MM - S.A.S. CORO CLAY HAZI
 100MM - S.A.S. CORO CLAY HAZI
 REFERS TO PLAN OR OTHERWISE SPECIFIED BY ENGINEER.
 TWO COURSES OF BRICKWORK TO BE REINFORCED IN WITH BRICK-FRANCE 50/50 CEMENT MORTAR JOINT BELOW WALL/CILL LEVEL, ABOVE WINDOW HEAD LEVEL AND BELOW WINDOW CILL LEVEL.

AIRBRICKS
 TWO VENTILATED AIRBRICKS TO BE PROVIDED IN THE EXTERNAL WALLS OF ALL HABITABLE ROOMS. (BLACK) MINIMUM TWO AIRBRICKS PER ROOM.

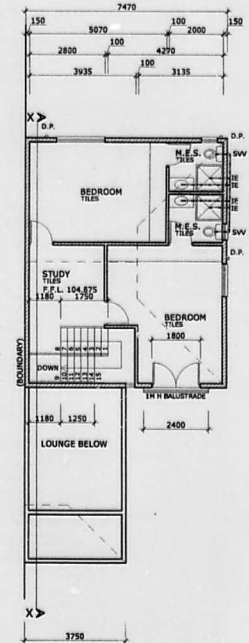
SITING AND EXCAVATIONS
 CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO DRAWING SERVICE.
 CONTRACTOR IS TO CONTAIN AND ENSURE CORRECTNESS OF FLOOR AND ENTRANCE LEVELS PHYSICALLY ON SITE WITH LOCAL AUTHORITY INSPECTOR BEFORE COMMENCING WORK.
 IF THE SITE IS FOUND TO CONTAIN CLAY, SHALE, GROUND WATER OR ANY OTHER SUSPECT SOIL CONDITION, THEN ALL FOUNDATIONS ARE TO BE TO PROFESSIONAL ENGINEER'S DETAIL AND BUILT UNDER HIS SUPERVISION.
 ALL FOUNDATIONS TO BE TAKEN TO HARD, VIRGIN GROUND NO BACK FILLING OVER EXCAVATED AREAS WILL BE PERMITTED.
 FOUNDATION DEPTHS TO BE DETERMINED ON SITE BY ENGINEER.

DRAINAGE
 THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT STORM-WATER DAMAGE TO THE WORK IN PROGRESS OR THE NEIGHBOURING PROPERTIES DOES NOT OCCUR DURING CONSTRUCTION AND THAT THE SURFACE WATER DRAINAGE IS ADEQUATE.
 APPROVAL FOR THE SITES OF SEPTIC TANK AND SOAKWAYS TOGETHER WITH ANY PERCOLATION TESTS WHICH MAY BE REQUIRED IS TO BE OBTAINED FROM THE LOCAL AUTHORITY BY THE CONTRACTOR BEFORE COMMENCING ANY BUILDING WORK.
 THE CONTRACTOR IS REQUIRED TO ENSURE THAT THE LOCAL AUTHORITY INSTALLS NECESSARY STORMWATER AND SEWER CONNECTIONS BEFORE DRAINAGE WORK COMMENCES. IT IS THEREAFTER THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE FALLS TO THESE CONNECTIONS.
 ALL SANITARY FITTINGS TO BE TRAPPED AND/OR PROVIDED TO LOCAL AUTHORITY REQUIREMENTS.
 ALL BENDS AND JOINTS IN DRAINS TO BE FITTED WITH INSPECTION EYES.
 ADEQUATE ACCESS PANELS TO BE FITTED IN ALL DUCTS OVER INSPECTION EYES.
 ANY DAMAGED FITTINGS TO BE REPLACED.
 ALL GULLY SURROUNDS AND MANHOLE COVERS TO BE 75MM ABOVE GROUND LEVEL.
 SEWER CONNECTION TO BE EXPOSED BEFORE COMMENCING WORK.
 ALL SOIL PIPES TO BE 100MM DIA. P.V.C. (S.A.S. APPROVED).
 WASTE PIPES TO BE 50MM DIA. P.V.C. (S.A.S. APPROVED).
 ALL DRAINAGE PIPES UNDER BUILDING TO BE 100 DIA. U.PVC RIBBED PIPES.



SITE PLAN 1:100

GROUND PLAN 1:100



NAME	ADDRESS	TELEPHONE	SIGNATURE
✓ MRS. A. WRIGHT	3 HAY PLACE	031 2074 732	<i>A. Wright</i>
✓ MR. ERROL HOUSTON	7 CORNELIUS ROAD	031 2063191	<i>E.P. Houston</i>
✓ MR. ERROL COLLINS	11 CORNELIUS ROAD	031 2063957	<i>E. Collins</i>
✓ MR. ATKIN ADAMS	10 CORNELIUS ROAD	083 630 1637	<i>M. Adams</i>
✓ MURRAY STERFOW	12 CORNELIUS ROAD	083752846	<i>M. Sterfow</i>

SHEET 1/2 COPY 2

ETHEKWINI MUNICIPALITY
CENTRAL

Plan No: 214 11 073

APPROVED in terms of The National Building Regulation and Building Standards Act Number 103 of 1977

15 JAN 2008

This Plan is approved in terms of the Information (Access to Information) Act Number 94 of 1997

Local Authority

ANTIGARD D.P.C. VERTICAL D.P.C.
SOIL POISONING REQUIRED

ALL GLAZING TO COMPLY WITH PART N12 AND N13 OF SABS 6400

ENGINEERS DETAIL REQUIRED

BOUNDARY BEACONS
BEFORE TO EXPOSE THE BOUNDARY BEACONS BEING STARTING THIS WORK IS AN OFFENCE

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE BB 4"

ELECTRICITY SERVICES
Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Officer, Durban Metro Electricity, the location of any electrical services and verify the location of the proposed works. DMC requirements regarding Substation, Water, phone, and Cable route.

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SCHEDULE OF AREA INTO M SQ.

SITE AREA	350
EXISTING OUTBUILDING	39.18
EXISTING DWELLING	50.12
ADDITION	42.37
GROUND	39.29
FIRST	69.17
ADD TO CUT BUILDING	7.17
TOTAL ADDITION	156.00
ALLOWABLE COVERAGE	140.00
TOTAL COVERAGE	139.97

PROPOSED ADD/ ALTERATIONS
PORTION 210 OF ERF 818
BRICKFIELD
NO. 9 CORNELIUS ROAD
FOR

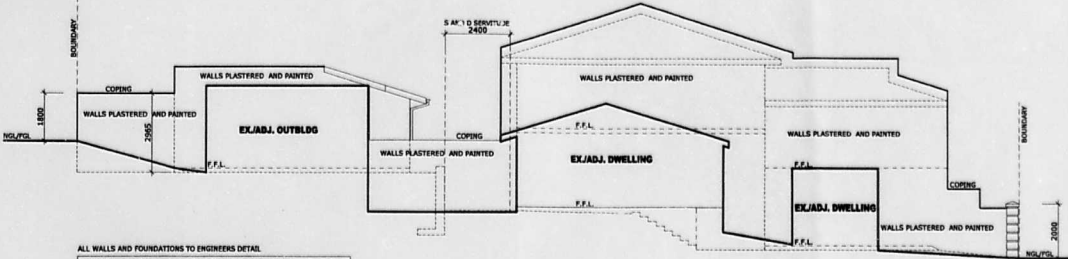
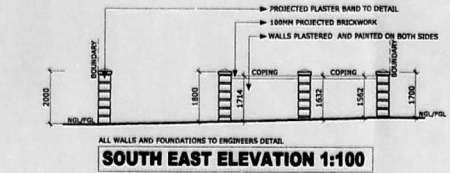
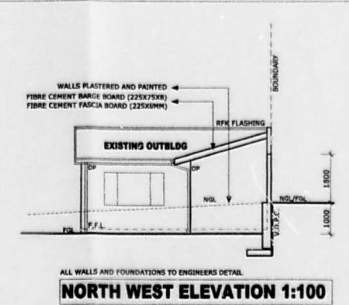
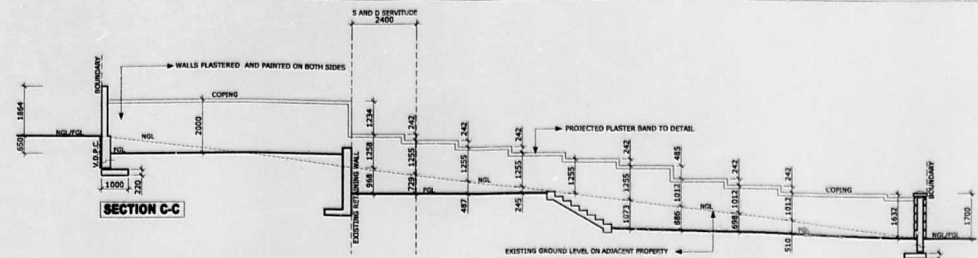
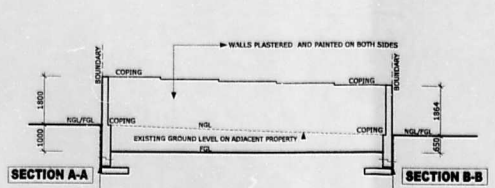
MR. C. P. ANDERSON
DRAWING 1 OF 2

SIGNATURE: *C. P. Anderson* TEL: 083 922 7714
 DRAWING NO: 0 RATE NO: 651587037
 CHECKED: L.S. DATE: 20/08/2007

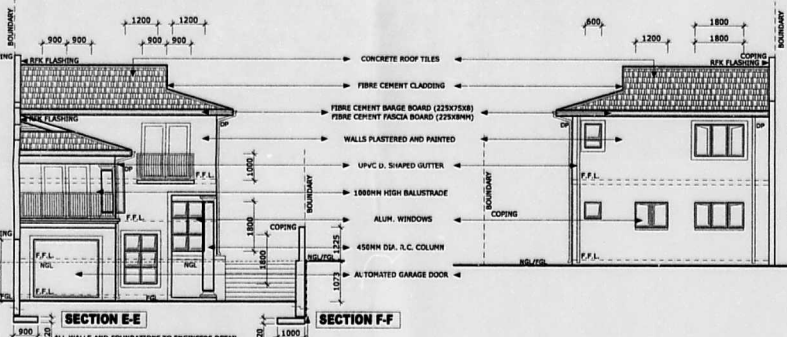
PREPARED BY: *Louke O'Neil*
LOUKE O'NIEL
SRIDUTT
 REG NO. 7 0111

P.O. BOX 76542
 MARLBORAY
 4031
 TEL: 031 578 7291
 CELL: 082 45 19311

SHOULD COMMENT WILL EXPIRE ANNIVER

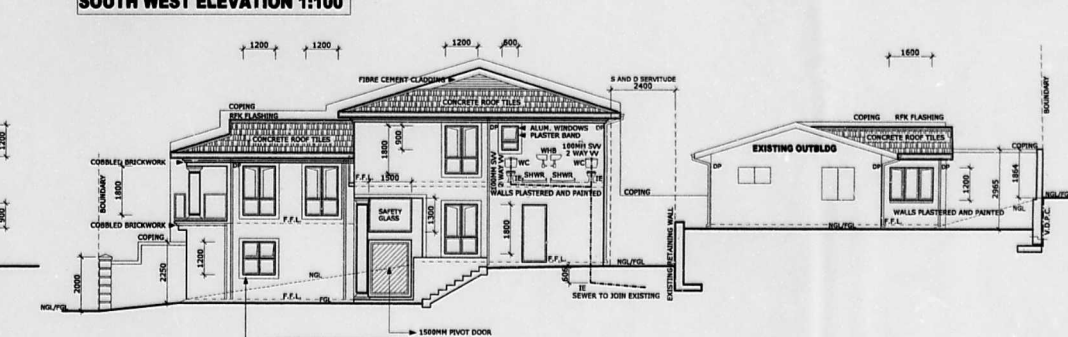


1. No part of boundary walls or their foundations are to project beyond the property boundaries.
2. Walls spanning services to be built on RC ground-beams to professional engineer's details.
3. Boundary wall footings parallel with service must not project more than 27mm into servitude.
4. All boundary beams are to be flagged by a registered land surveyor and the contractor is to obtain a certificate stating that the work has been correctly set out before proceeding with excavations.

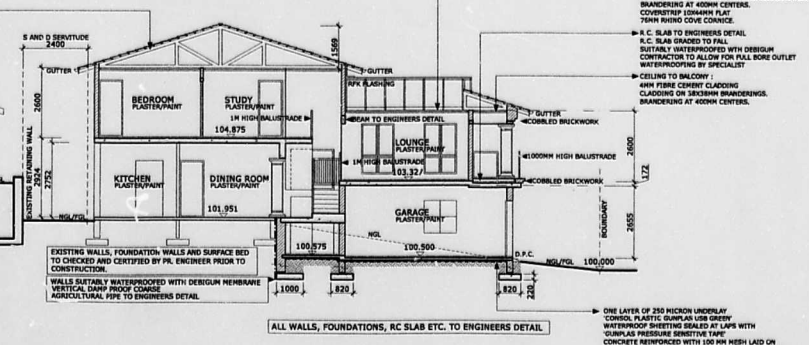
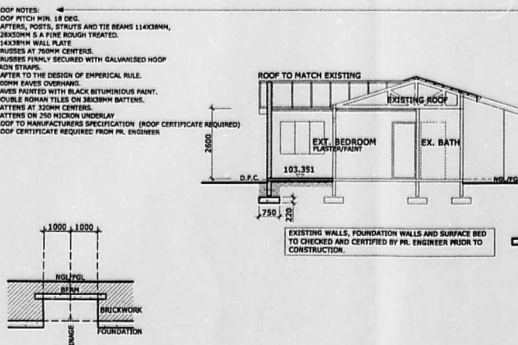


SOUTH EAST ELEVATION 1:100

NORTH WEST ELEVATION 1:100



NORTH EAST ELEVATION 1:100



ALL WALLS, FOUNDATIONS, RC SLAB ETC. TO ENGINEERS DETAIL

BRIDGING DETAIL 1:100

SECTION X-X 1:100

ALL WALLS, FOUNDATIONS, RC SLAB ETC. TO ENGINEERS DETAIL

NAME	ADDRESS	TELEPHONE	SIGNATURE
Mrs A WRIGHT	3 HAY PLACE	031 2074732	<i>A Wright</i>
Mr ERROL HUSTON	7 CORNELIUS ROAD	031 2083191	<i>E.P.H.</i>
Mr Rudolf Collins	11 CORNELIUS ROAD	031 2083987	<i>R Collins</i>
Mr Andrew Adams	10 CORNELIUS ROAD	083630 163 7	<i>A Adams</i>
MERCY SHEBOO	12 CORNELIUS ROAD	083 775 2846	<i>M Shebo</i>

PROPOSED ADD/ ATERATIONS
PORTION 210 OF ERF 818
BRICKFIELD
NO. 9 CORNELIUS ROAD
FOR

MR C. P. ANDERSON
DRAWING 2 OF 2

SIGNATURE: *Anderson* TELE: 082 922 7714
 TELE: 031 2094610
 DRAWING NO: 0 RATE: R87187037
 CHECKED: L.O.S. DATE: 20/08/2007
 PREPARED BY:



