

Submitted in order
19/11/02

BOUNDARY BEACONS
FAILURE TO EXISTENCE OF THE BOUNDARY BEACONS BEFORE STARTING THIS WORK IS AN OFFENCE

SHEET **1/2** COPY

CITY OF DURBAN
133 01 02

PLAN No. **133 01 02**

APPROVED: Ms. J SUBBAN
EXECUTIVE DIRECTOR DEVELOPMENT
17 JAN 2003

DATE: _____ PER: _____

SITE INSPECTION IN ORDER

D. B. I. _____

S. B. I. _____

DATE **19.11.2002**

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

"It should be noted that this plan has been approved on the basis of information thereon."

ROOF STRUCTURE TO BE TO EMPIRICAL RULES* OR TO NATIONAL DESIGN COMPLYING WITH REFERRED TO SATISFY RULE BB-4*

ENGINEERS DETAILS REQUIRED

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH MM3 AND DD2.4 OF SABS 0400.

ELECTRICITY SERVICES

Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director: Durban Metro Electricity.

- The location of any electrical services and servitudes in the vicinity of the proposed works.
- DME requirements regarding Substation, Meter rooms, and Cable ducts.

ELECTRICITY SERVICES

Any person undertaking erection of a structure in accordance with this plan is to ensure that:

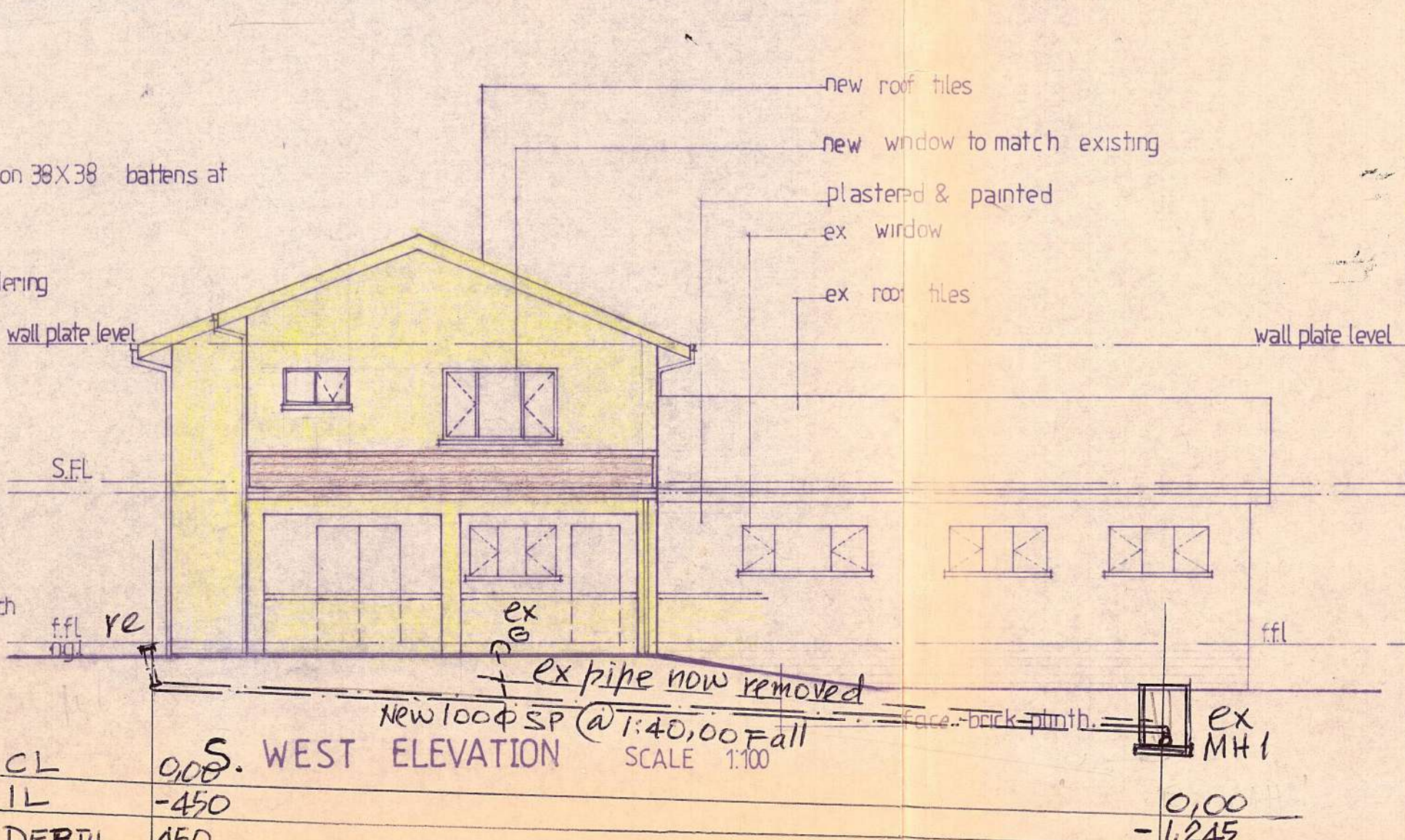
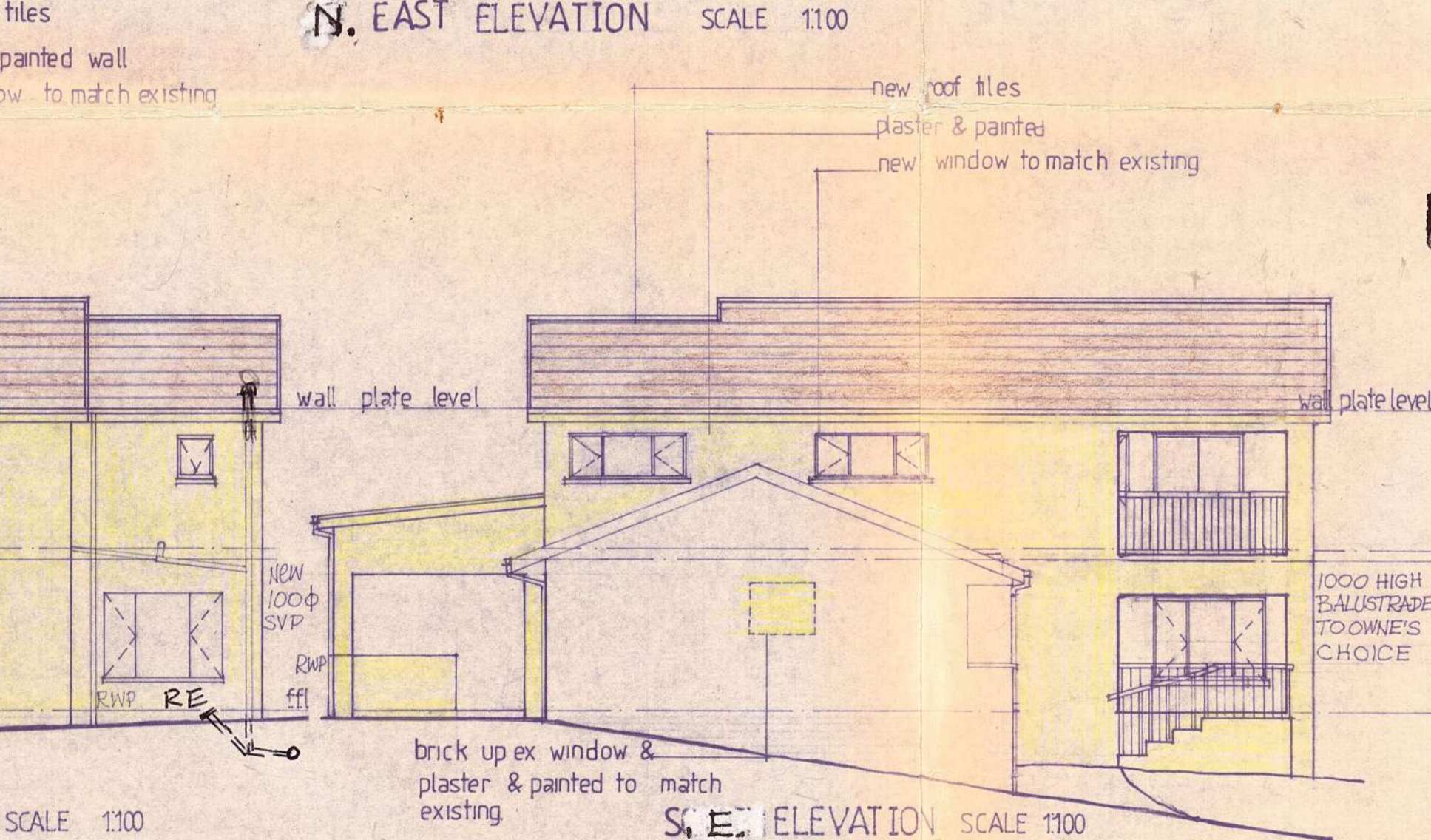
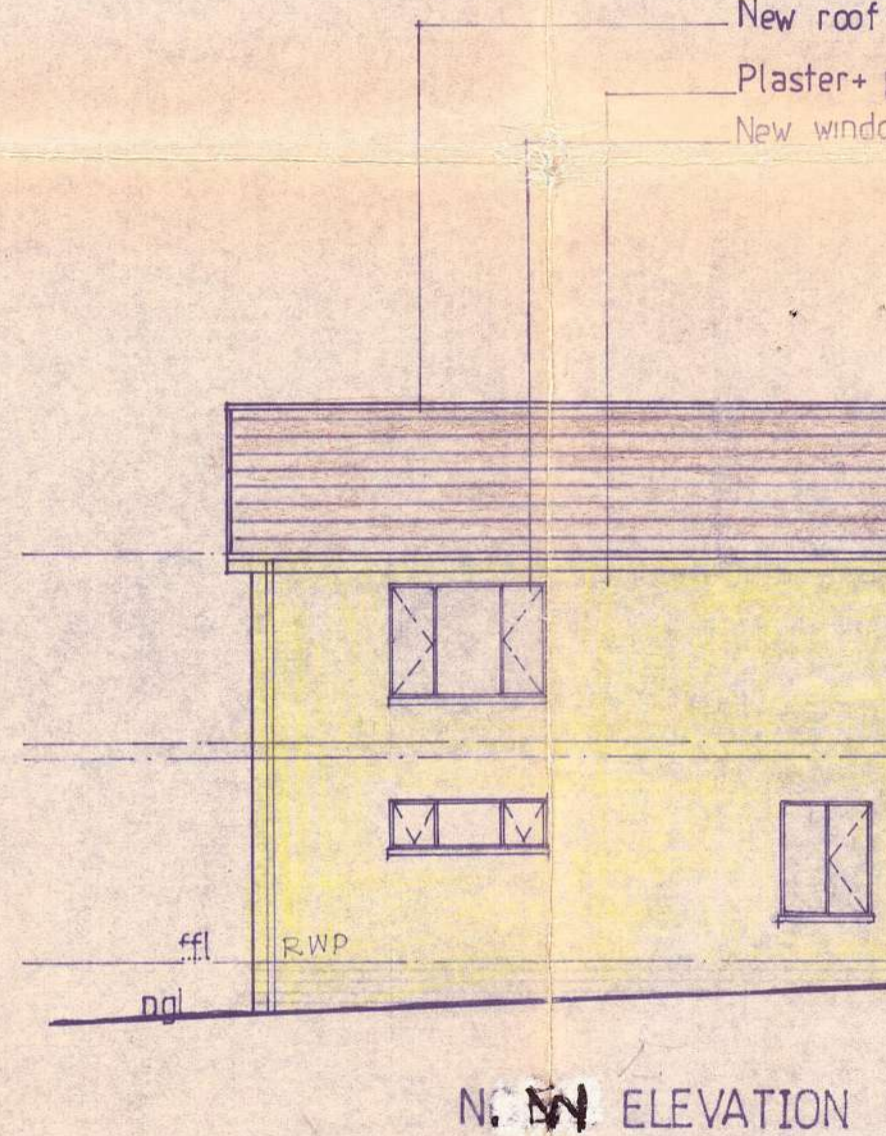
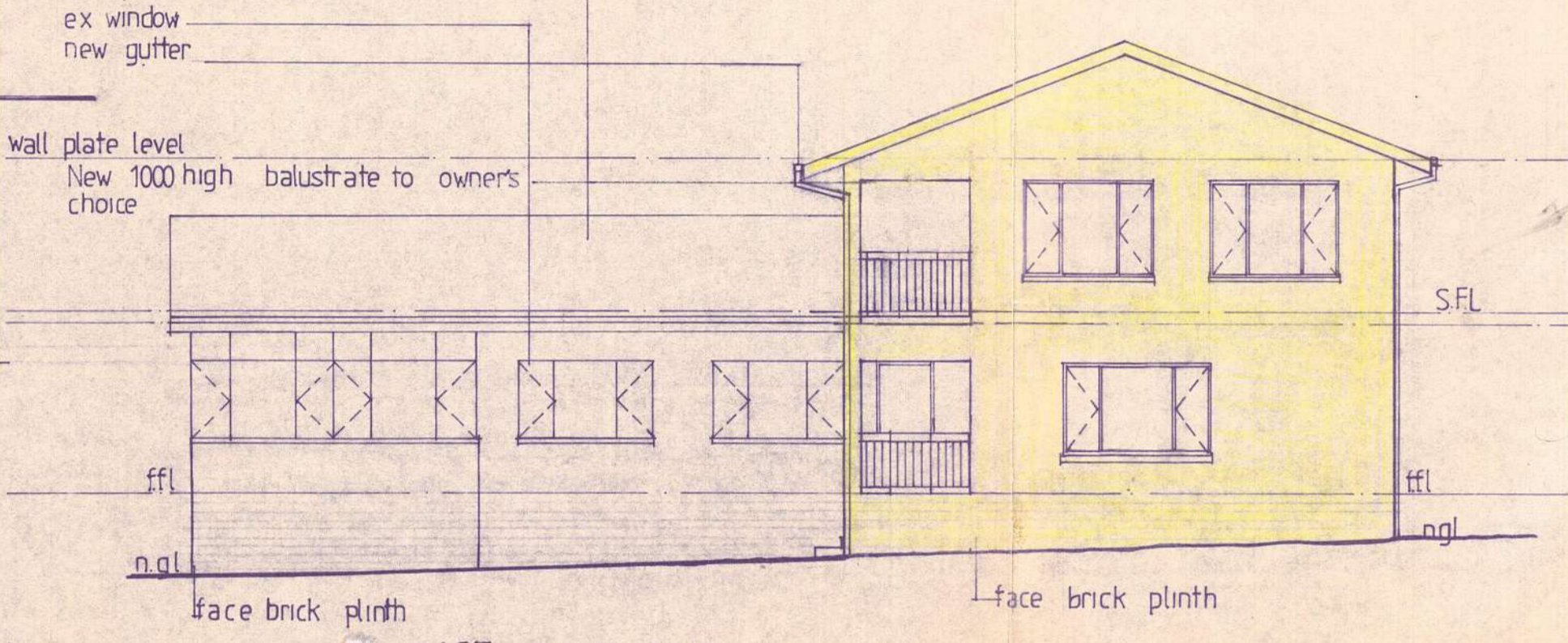
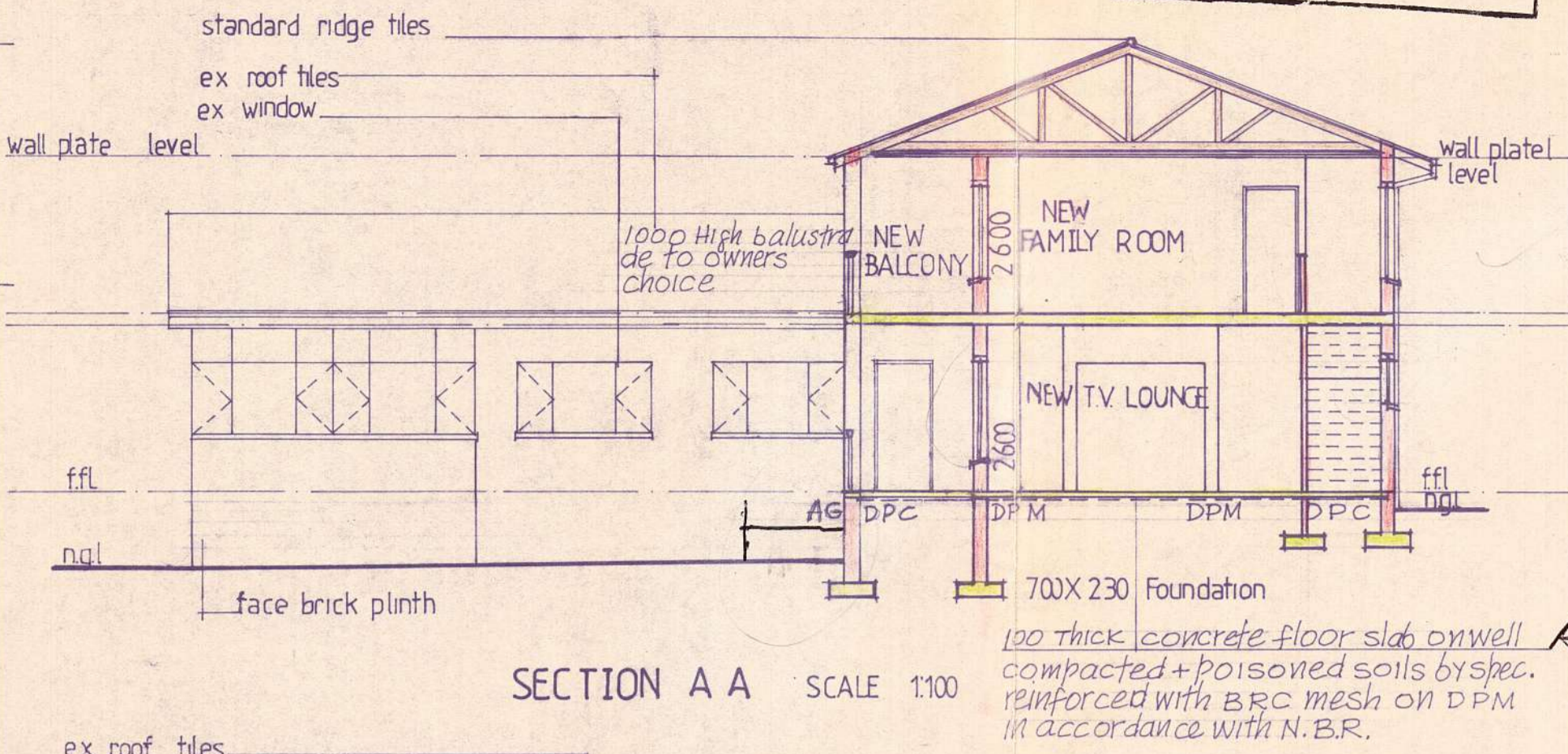
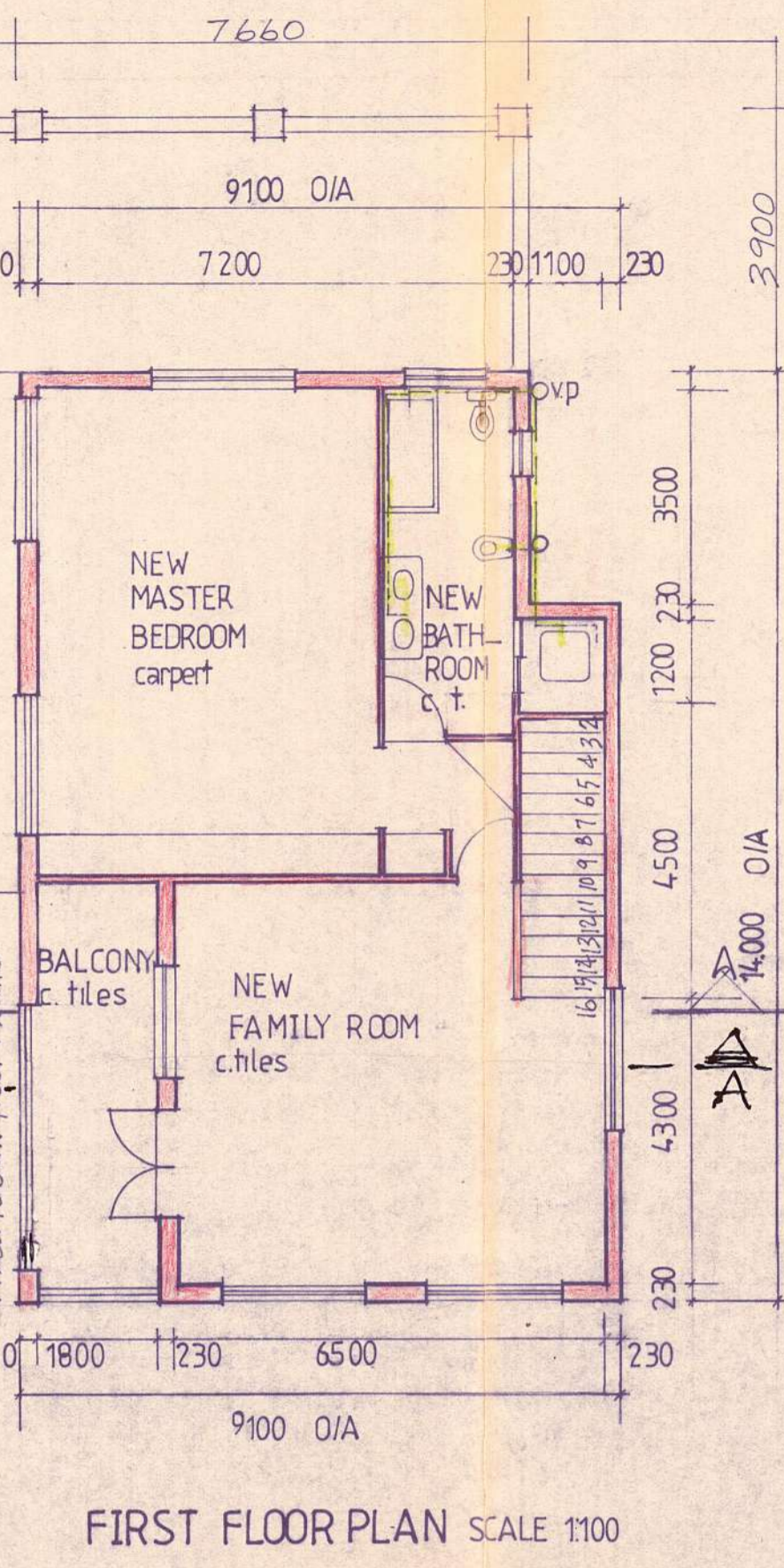
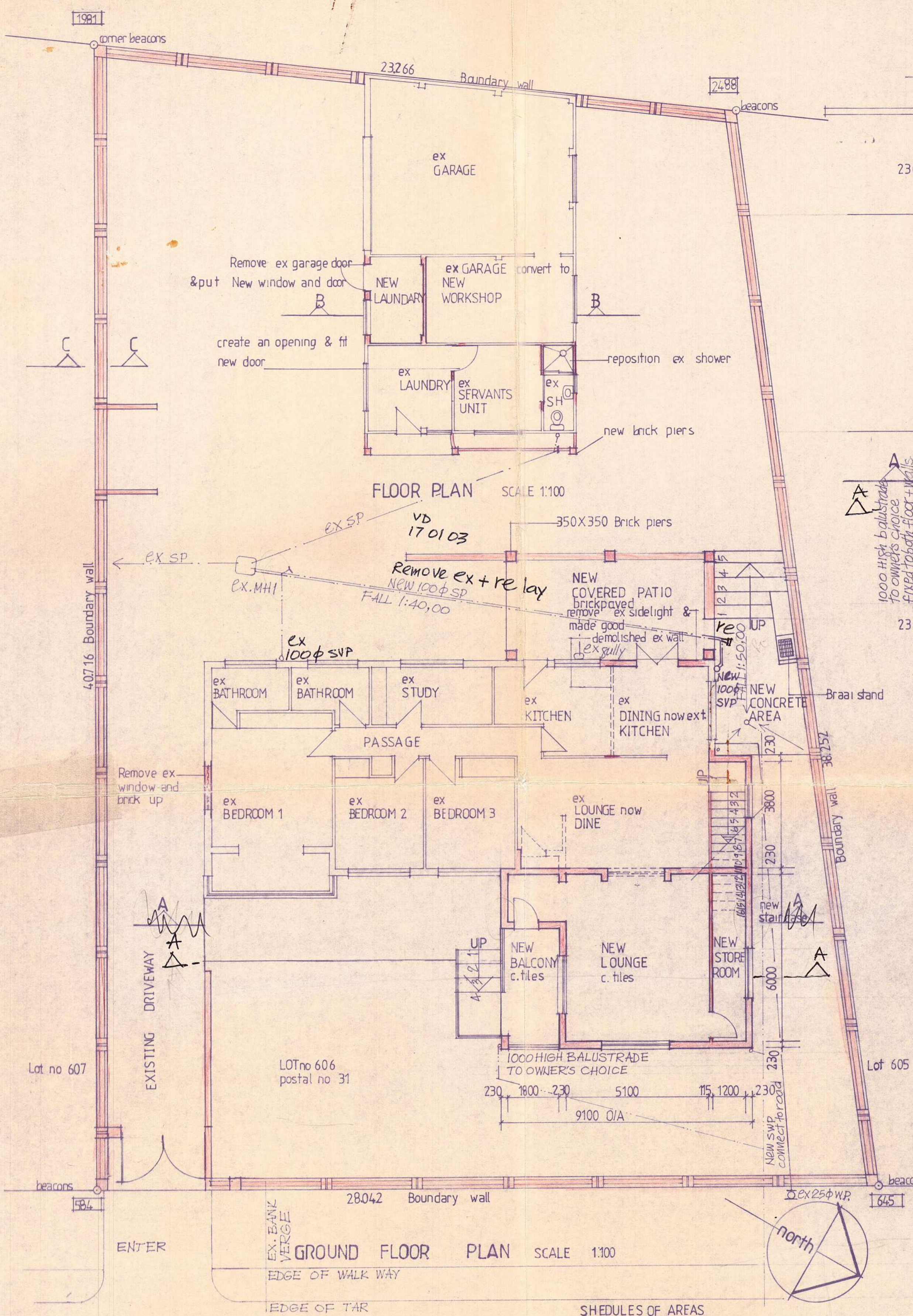
- The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142:1995 as amended, and the Occupational Health and Safety Act 85/1993
- A certificate of Compliance and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source
- Adequate earthing to the satisfaction of the Director: Transmission, DME is provided.

PROPOSED ADDITION & ALTERATION TO EXISTING DWELLING on SUB 606 GLENASHLEY at 31 MARION AVENUE for Dr. MC+ MRS EM MARSHALL

DPLN ARCHITECTS
91 FLORALYN
53 ST ANDREWS STREET
DURBAN 4001
PHONE (031) 3010674

project no **00288** drawing no **005**

Plans elevations
design **VD** scale **1:100**
date **11 12 2001** scale **1:100** approved
repl by no



NOTES.

Roof.
22 pitch roof tiles on 38 x 114 fusses at ±750 centres on 38 x 38 battens at ± 300 centres with dakseet underlay

CEILING.
ceilings skimmed 6mm rhinoboard fixed to 38 x 38 branding at 450 centres.

Walls.
new 230 walls externally plaster & painted to match existing.
New 115 walls internally plastered & painted to match existing

DOORS & WINDOWS.
New doors & windows to match existing

RAINWATER GOODS.
pvc half-round gutters and pvc rainwater down pipes to match existing

FLOORS.
25mm cement screed on 100mm thick conc slab with BRC mesh.

FOUNDATION.
700X 230 conc foundation

SCHEDULES OF AREAS

site area	=995
existing area	=1573
proposed ground floor	=62,0
proposed first floor	=14,2
total proposed area	=176,2
proposed new patio	=29,8

Any construction work undertaken by the owner which encroaches upon a Council's jurisdiction is undertaken solely at owner's consent. Any consent by the Council thereto shall not be deemed to be a waiver of any of the Council's rights in respect of such encroachment.

CL	000	0,00
IL	-450	-1,245
DEPTH	450	-1,245
MATERIAL		Pvc

BOUNDARY BEINGS
 FAILURE TO EXPOSE THE BOUNDARY
 CONDITIONS BEFORE STARTING THIS
 WORK IS AN OFFENCE

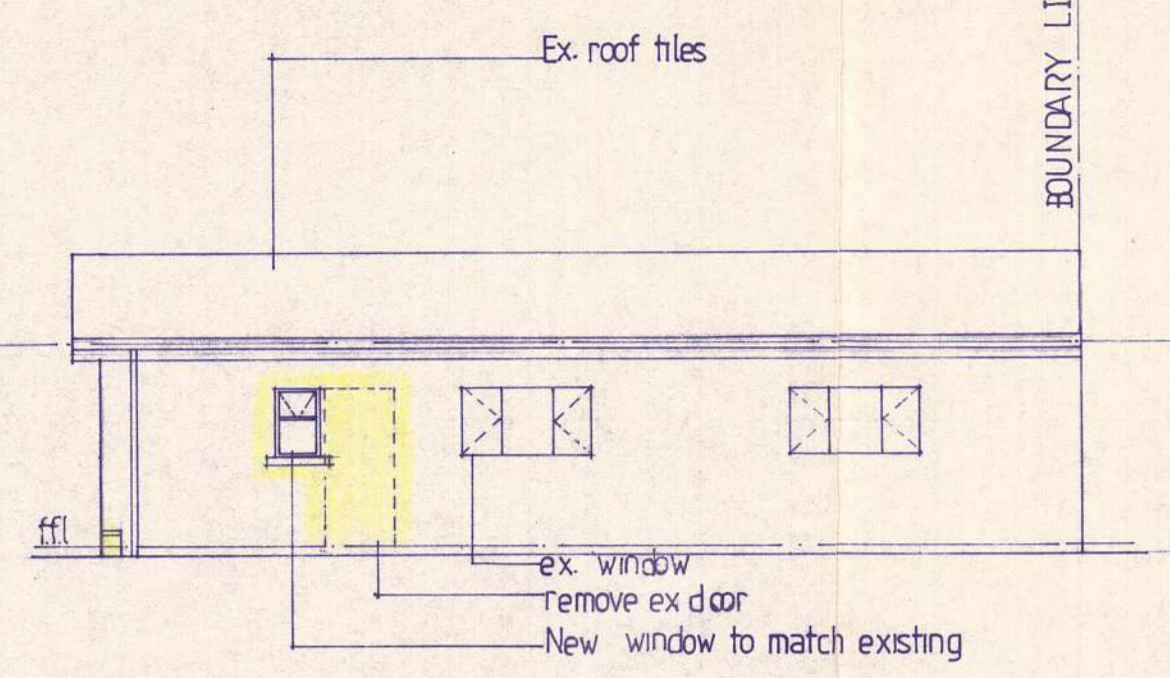
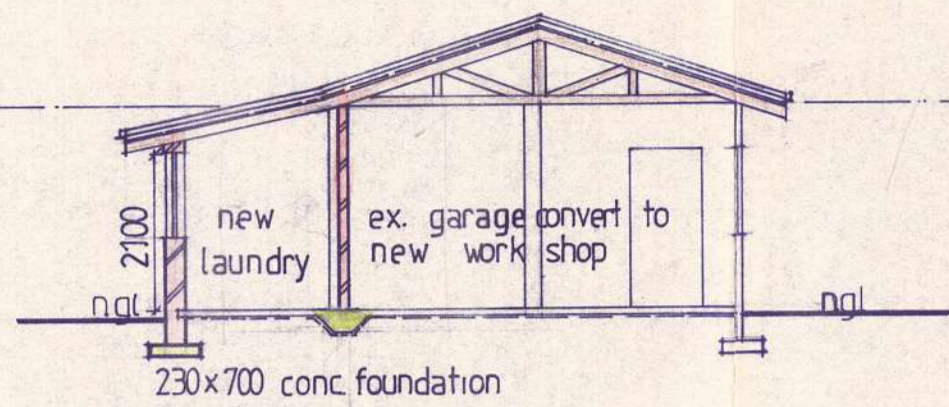
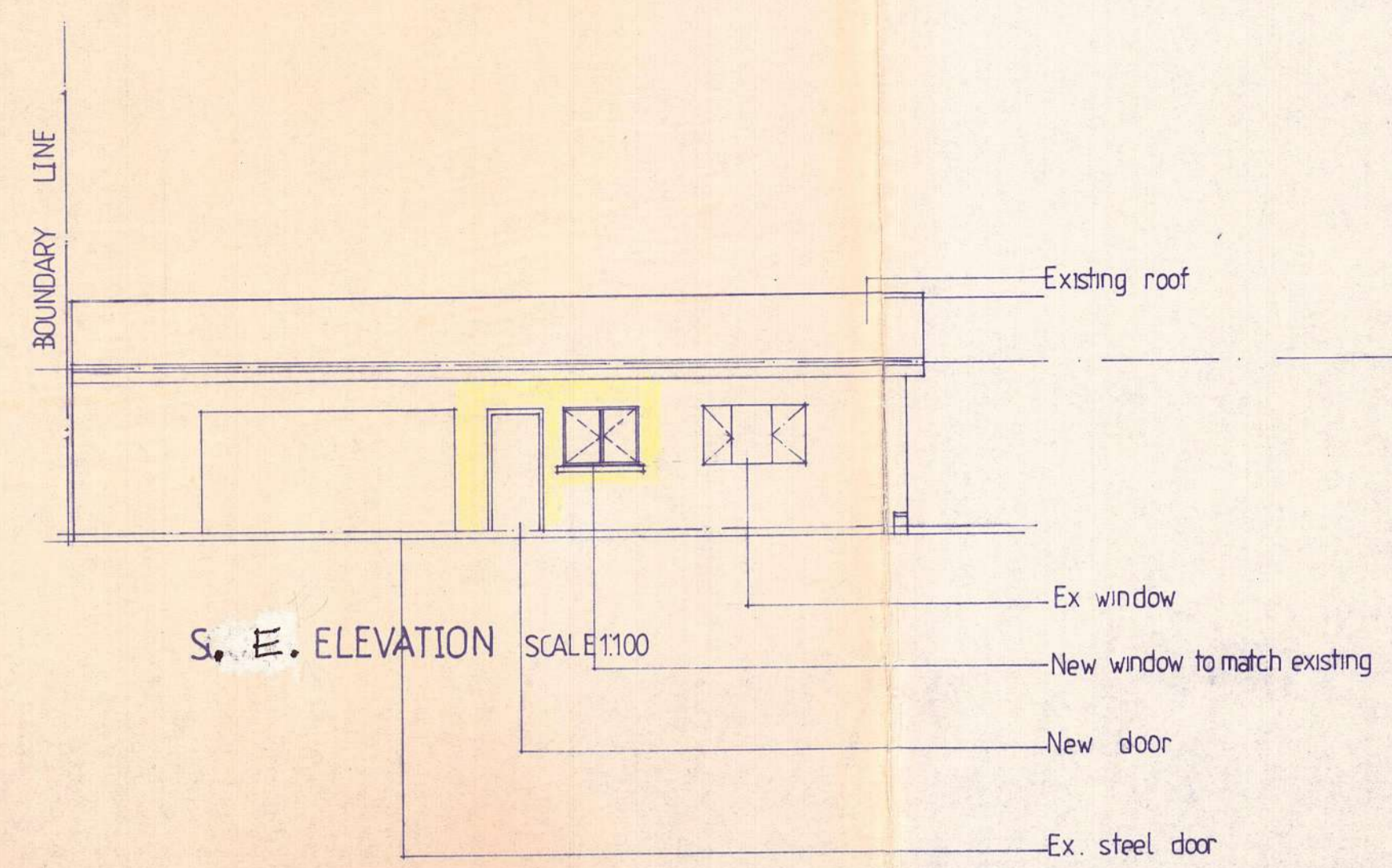
SHEET **42** COPY /

CITY OF DURBAN

PLAN No. **133 01 02**

APPROVED: Ms. J SUBBAN
 EXECUTIVE DIRECTOR, DEVELOPMENT
 EXECUTIVE PLANNING UNIT

DATE: PER:



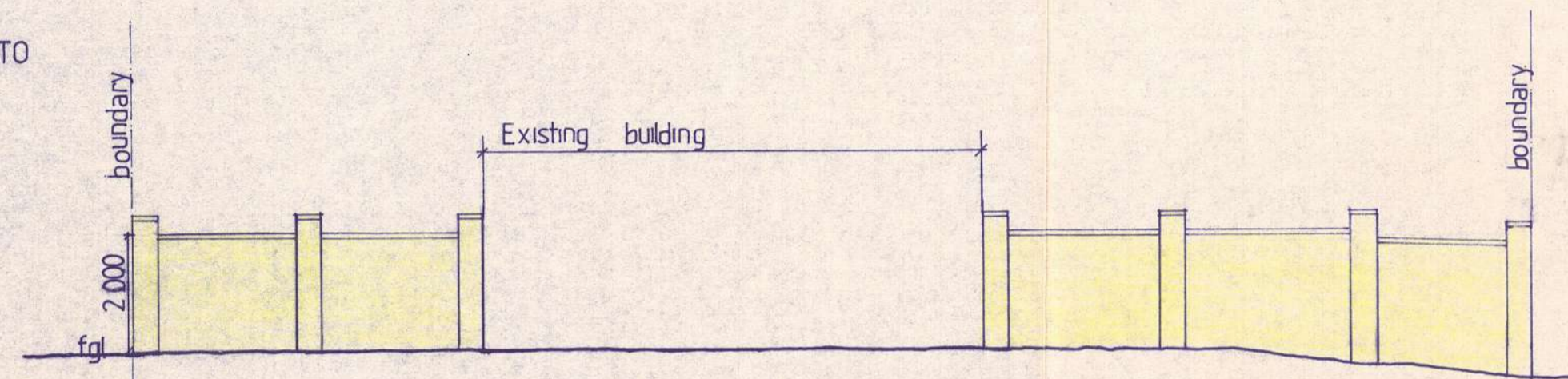
• NOTES

WALLS:
 NEW 230 WALL EXTERNALLY PLASTERED & PAINTED TO MATCH EXISTING

WINDOWS:
 NEW WINDOW TO MATCH EXISTING EXISTING.

DOORS:
 NEW DOORS TO MATCH EXISTING

FOUNDATIONS:
 700x230 CONCRETE FOUNDATION



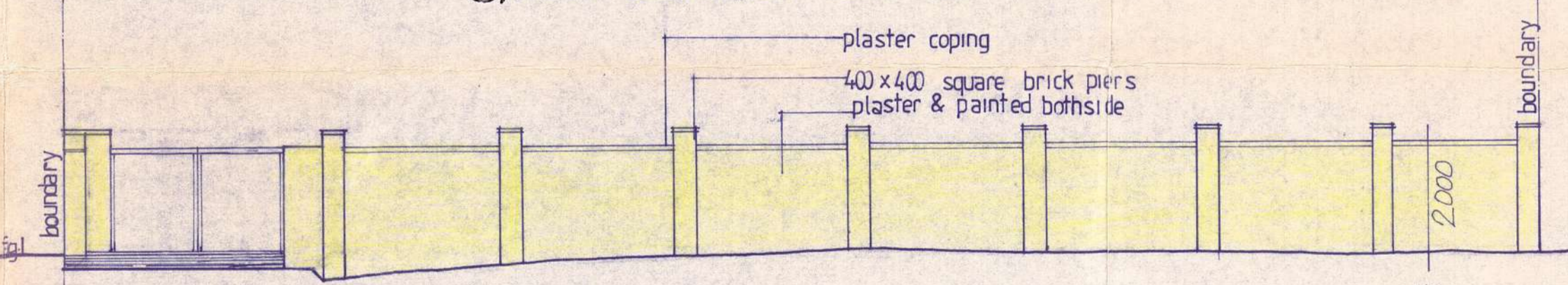
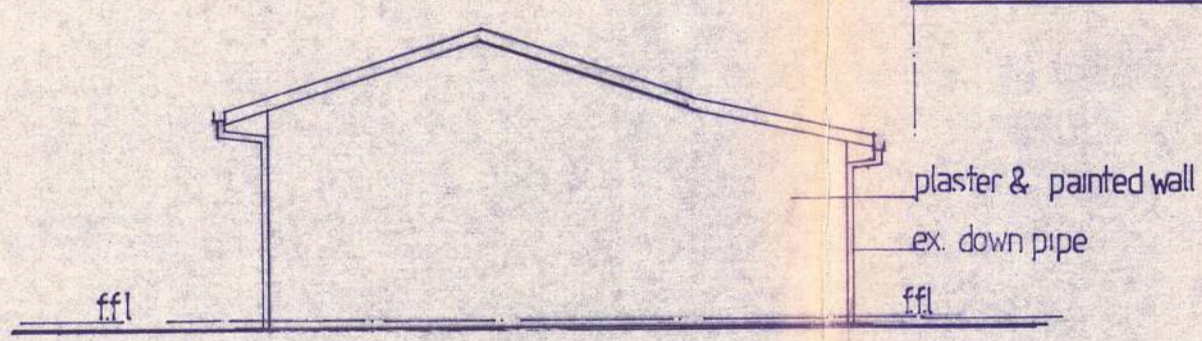
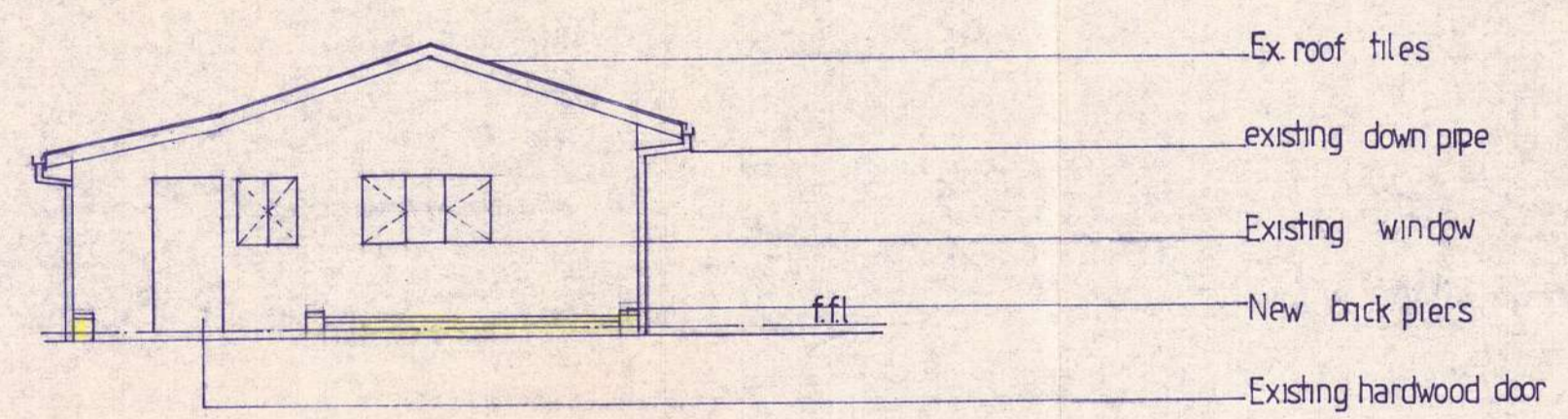
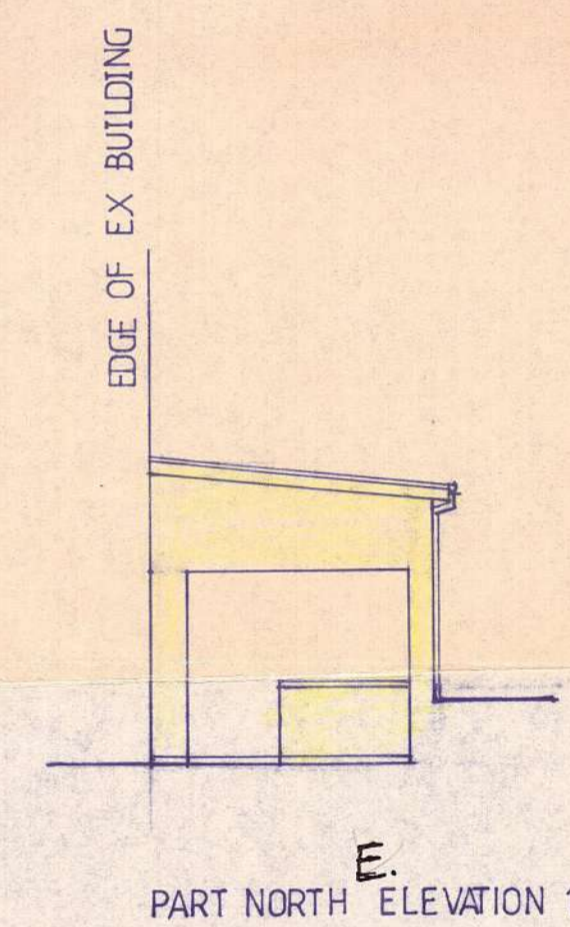
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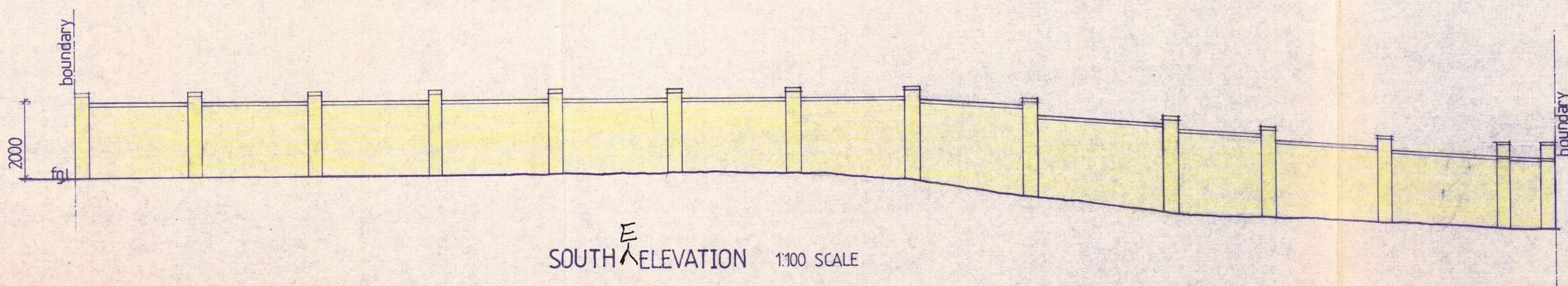
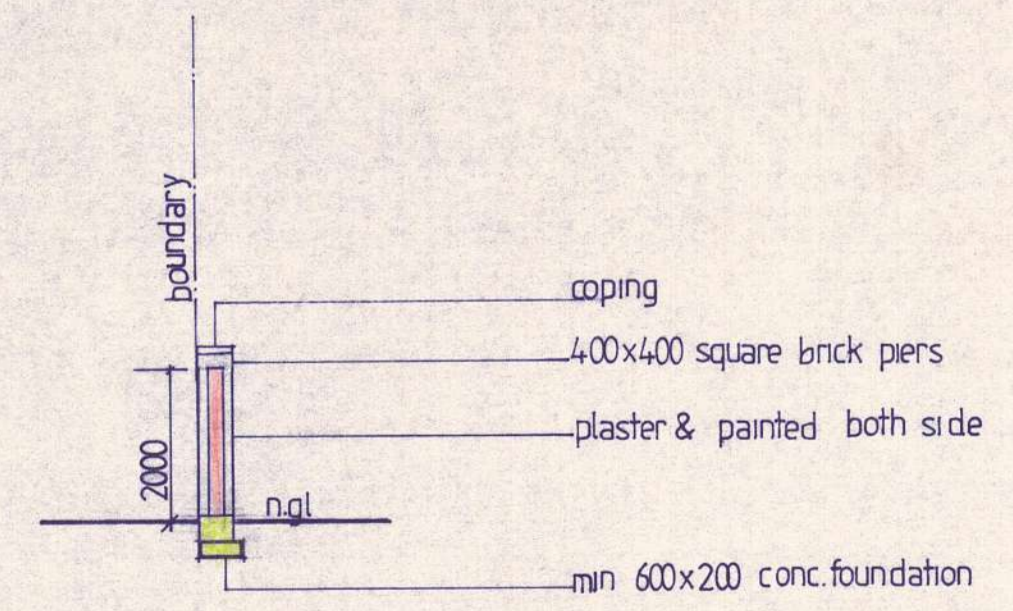
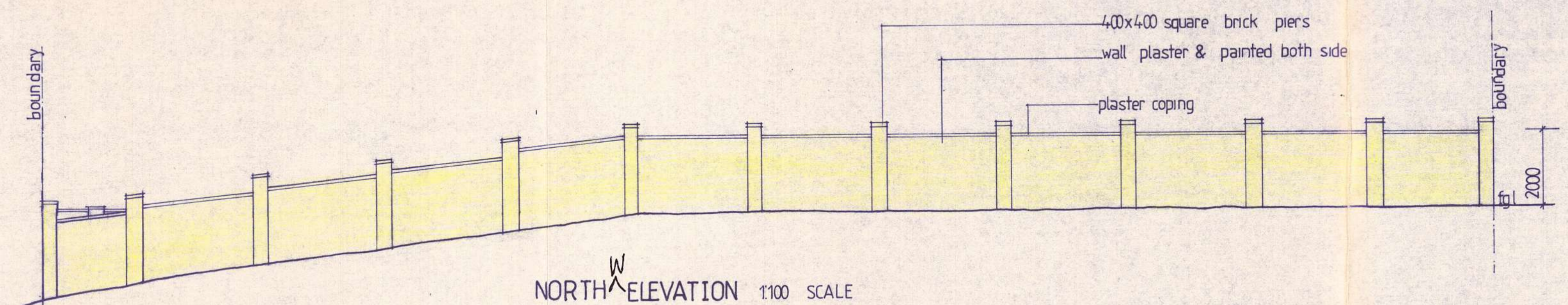
STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE BB.4"

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH SABS 0400.

ENGINEERS DETAILS REQUIRED



VD 19/12/02



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING DWELLING on SUB 606 GLENASHLEY at 31 MARION AVENUE for Dr.MC+MRS E.M MARSHALL

DPLN ARCHITECTS 91 FLORALYN 53 ST ANDREWS STREET DURBAN 4001 PHONE (031) 3010674

project no. **00288** drawing no. **006**

designation **Elevations Boundary walls**

design: VD [signature] drawn: [signature] approved: [signature]

date 11/12/2007 scale 1:100 repl by no