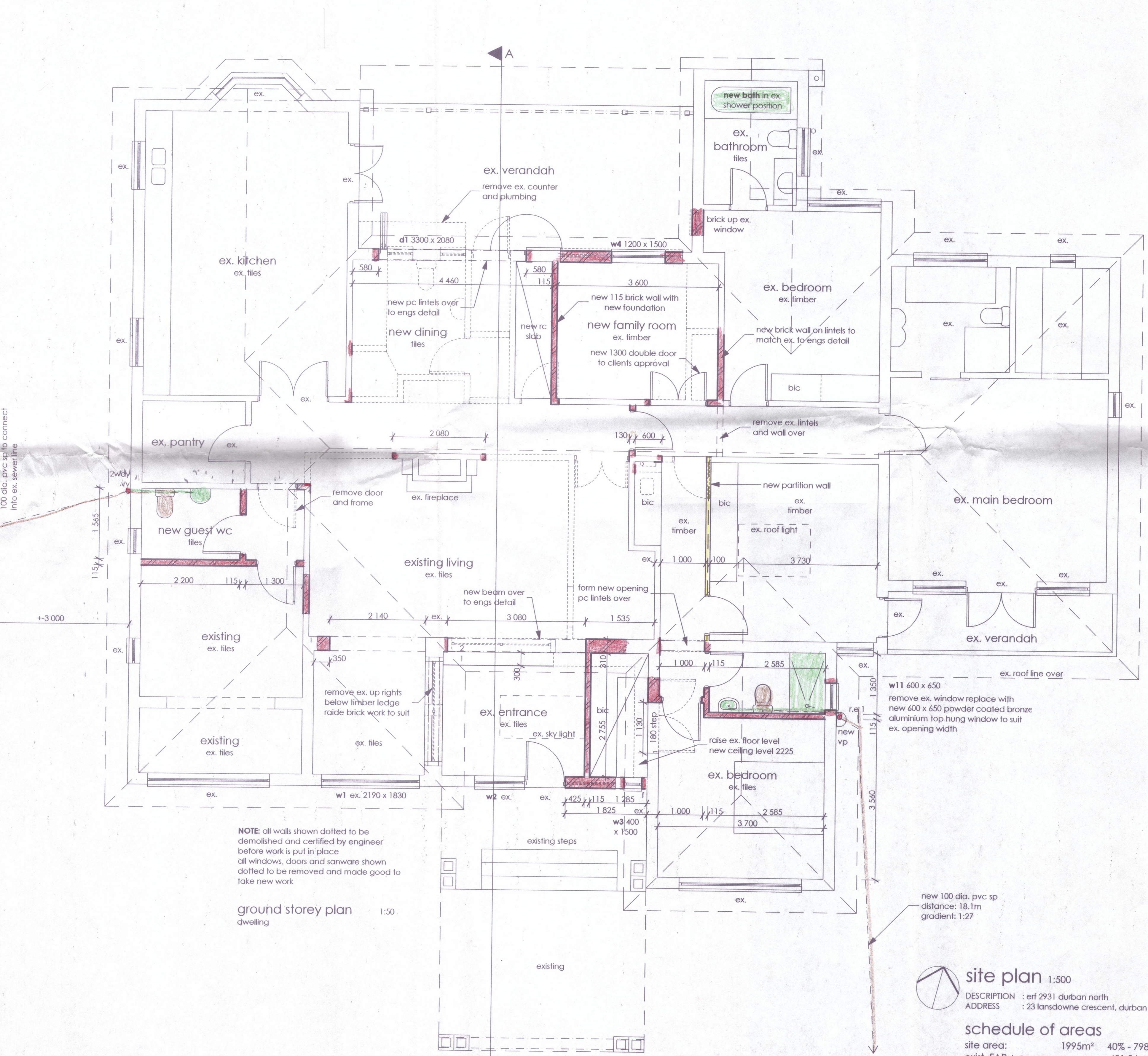


door & window schedule

note: monolithic = monolithic annealed glass
 - all glass to be single clear
 - all doors and windows to be standard sizes
 - shower glass enclosures to be min. 6mm thick toughened SG to specialists specification
 - all safety glass materials shall be permanently marked on each individual pane
 - such markings are to be visible after installation



NOTE: all walls shown dotted to be demolished and certified by engineer before work is put in place
 all windows, doors and sanware shown dotted to be removed and made good to take new work

ground storey plan dwelling 1:50

site plan 1:500
 DESCRIPTION : erf 2931 durban north
 ADDRESS : 23 lansdowne crescent, durban north

schedule of areas
 site area: 1995m² 40% - 798m²
 exist. FAR + coverage: 431.36m²

*no additional FAR + coverage

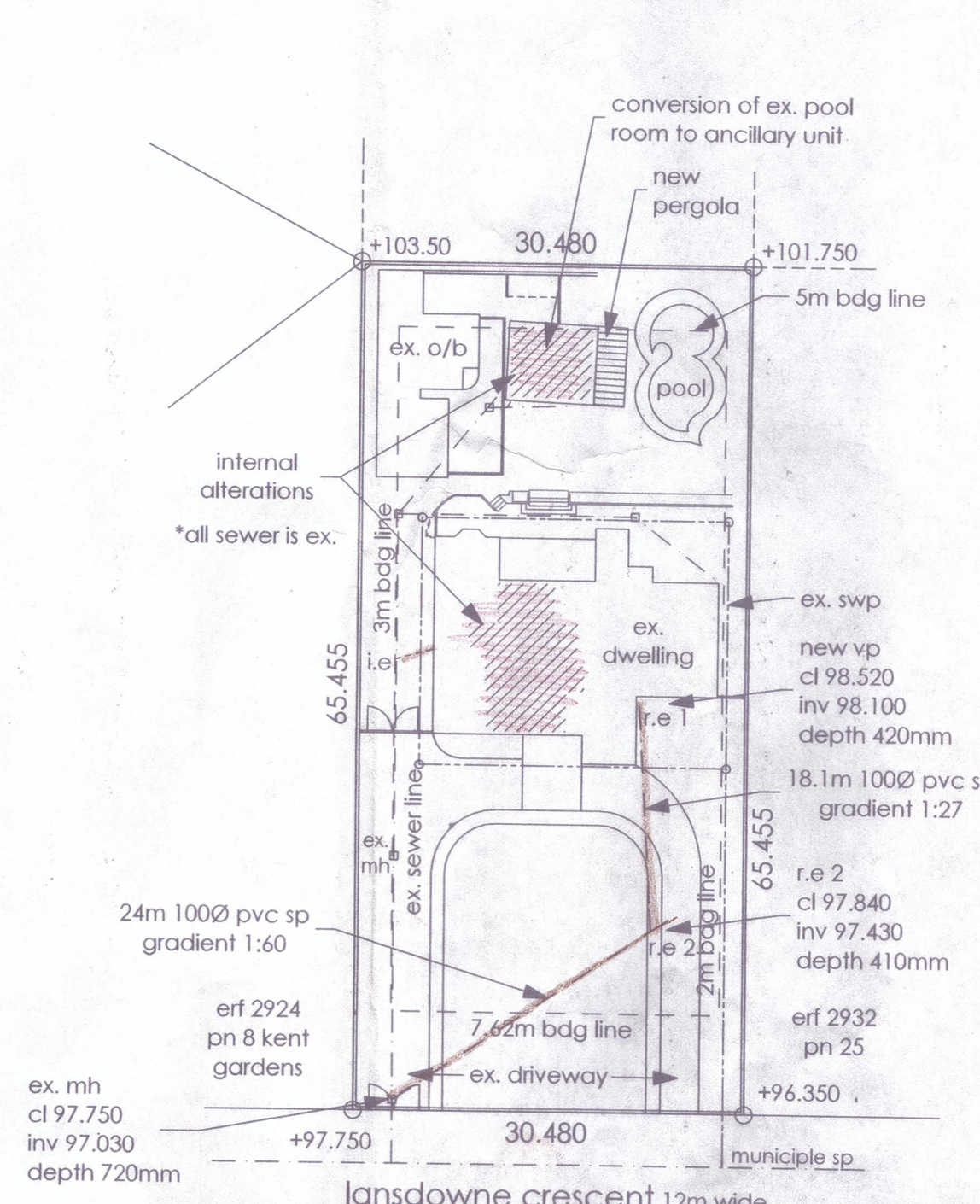
SECTION AND ELEVATION NOTES - DWELLING & ANCILLARY UNIT

roof construction: existing roof
ancillary unit pergola: timber 'lunga' on 230x75 h/w beam on 150x150 h/w posts on gms shoe bracket bolted to pavers
ceilings: new skimmed plasterboard to rooms where alterations occur
cornices: standard cornices to clients approval
skirting: to suit floor finish
walls: clay bricks - new brick walls to tie into existing walls
 plaster and paint internal and external
 - metal wall ties shall have min. thickness of 750g/m²
 - brick force shall be manufactured from pre-galvanized wire and galvanizing shall be in accordance with SANS 935 for grade 2 coating
 lintels - shall be provided above all door and window openings in accordance with the requirements of 4.2.9
 - all lintels to engineer's detail
plinth: facebrick - existing windows and doors that have been bricked up to match ex.
windows: see schedule - plastered and painted window cills
doors: see schedule
dwelling floor construction: 100mm thick mesh reinforced concrete surface bed on polyolefin under floor membrane that shall have a thickness not less than 250 µm, on well compacted and poisoned soil - AG +DPC
foundations: 600 x 230 in dining/family room in dwelling
plumbing: to be installed by a certified plumber
 - all hot water supply pipes are clad with insulation with a min. R Value of 1
 - hot water pipes - 22mmØ copper pipes to have 12/20mm wall 'Armour Flex' lagging to be installed in accordance with manufacturers instructions
geyser: 54kw heat pump to be installed by specialist and to manufacturers specification
 - geyser to have insulation blanket

NAME	ADDRESS	TELEPHONE	SIGN
J. A. van der Veen	25 LANSDOWNE CRESC. D/NORTH	031-5631485	<i>[Signature]</i>
K Gray	39 CADOGAN DRIVE D/NORTH	031-5644128	<i>[Signature]</i>
E. JACOBY	6 KENT GARDENS D/NORTH	031-5640995	<i>[Signature]</i>
P. L. FARRAR	8 KENT GARDENS D/NORTH	031 5636684	<i>[Signature]</i>
J. REDDY	10 KENT GARDENS D/NORTH	031 5637937	<i>[Signature]</i>
A. THORVALDSEN LJ THORVALDSEN	4 CARNARVEN PLACE D/NORTH	031 5633286 082 4931402	<i>[Signature]</i>
Keri Buck	6 CARNARVEN PLACE D/NORTH	083 5002131	<i>[Signature]</i>
Kerry Bailey	8 CARNARVEN PLACE D/NORTH	082 4189666	<i>[Signature]</i>

GENERAL NOTES

- all dimensions, levels and materials to be checked on site before commencing any work.
- all new work to match existing unless otherwise stated.
- do not scale drawing.
- if any discrepancies occur, client to be notified before continuing with work.
- all new materials to be SABS + client approved.
- all new glazing to comply with SANS 10400 Part N.
- new brick walls to comply with SANS 10400 Part K.
- structural engineer to detail, supervise and certify all structural work.
- All plumbing to be installed by a certified plumber.
- no building material (i.e brick wall/window and door type/roof materials) may be changed without the permission of the plan drawer/architect as this may change the energy efficiency calculation and may cause non compliance with Building Regulations.
- construction on site will only be built according to the council stamped approved plan (this will include all referral amendments)
- retain ex. materials if suitable for re-use i.e timber flooring
- ex. timber floors to be protected throughout construction to contractors responsibility
- before any walls are demolished, ex. roof trusses to be checked and certified by engineer
- engineer to certify new brick walls on existing floor slab



M.J. Young
30/09/2013
W. L. O'Brien
30/09/2013

classification: H3
 climatic zone: S
 soil profile classification:
 *this plan is to be read in conjunction with dwg 1315/W2
 *whilst project is under construction, there are to be no deviations to the approved council plan

conversion of pool room to ancillary unit & internal alterations to existing dwelling for m & l young
 DESCRIPTION : erf 2931 durban north
 ADDRESS : 23 lansdowne crescent, durban north
submission drawing
clotilde ive - st0236
 drawn by: R.Ive
 131 Kensington drive, durban north, 031-564 6422
 DATE : 14 august 2013
 SCALE : 1:50
 DRAWING NO.: 1315/W1