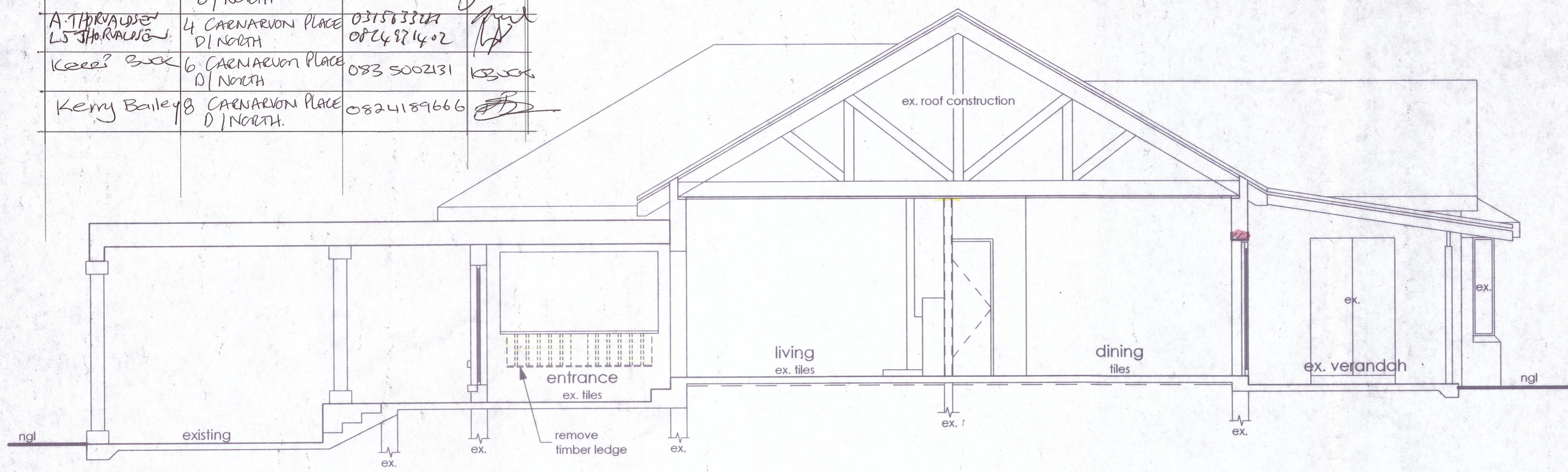
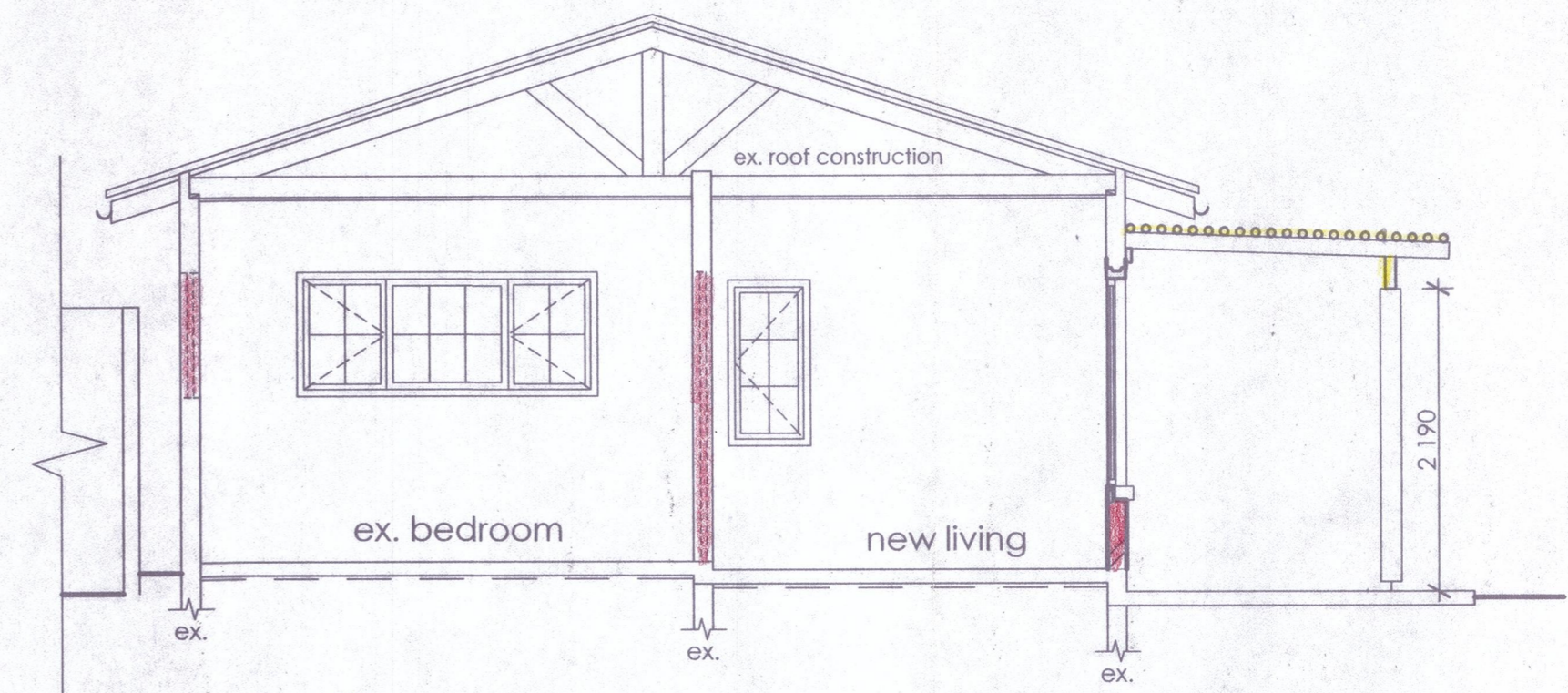


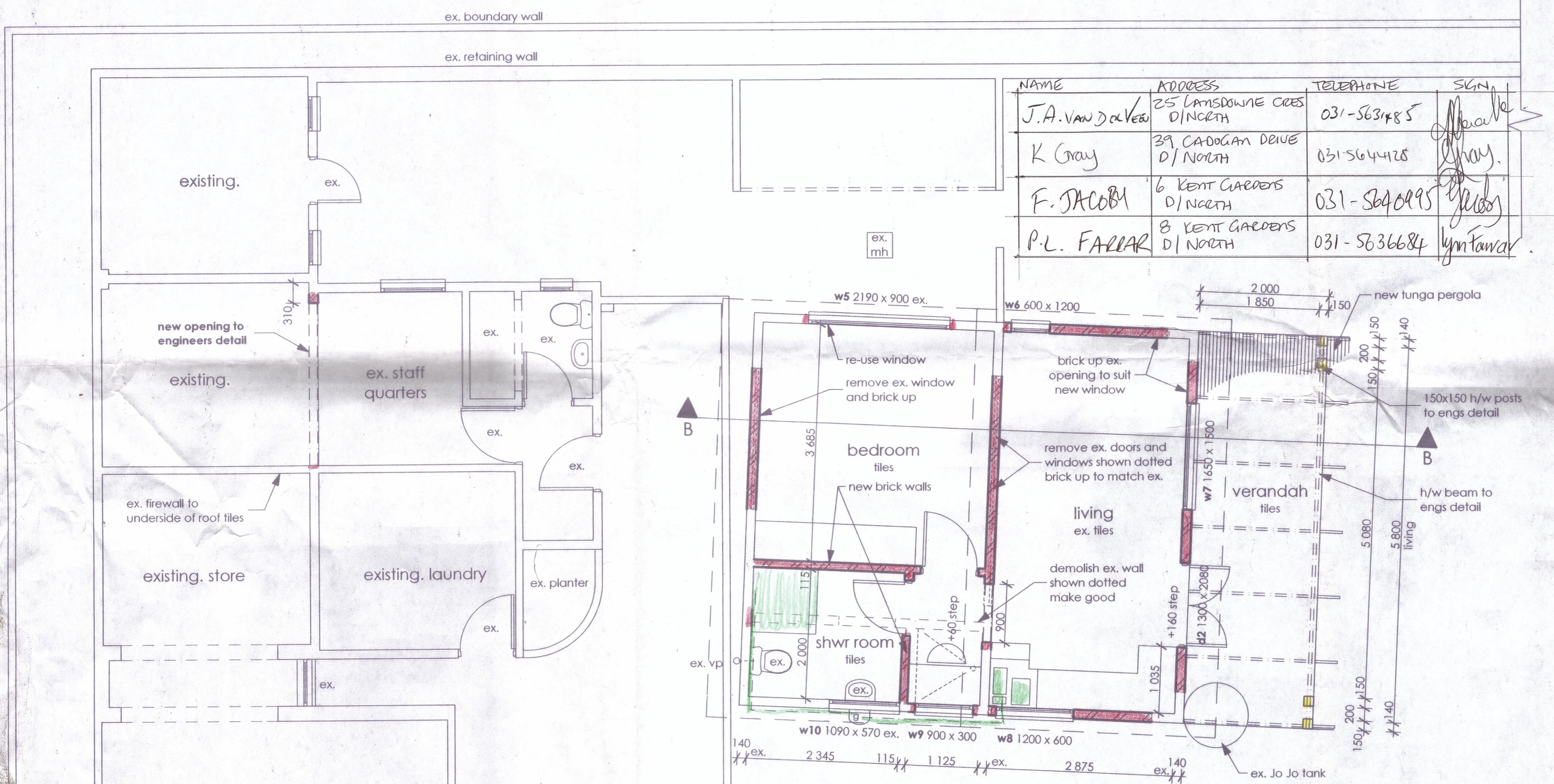
NAME	ADDRESS	TELEPHONE	SGN
J. Reedy	10 KENT GARDENS D/NORTH	031 5637934	<i>J. Reedy</i>
A. THORAVAR	4 CAENARVON PLACE D/NORTH	031 5633274	<i>A. Thoravar</i>
Kees? Bux	6 CAENARVON PLACE D/NORTH	083 5002131	<i>Kees Bux</i>
Kerry Bailey	8 CAENARVON PLACE D/NORTH	082 4189666	<i>Kerry Bailey</i>



section AA 1:50 dwelling



section BB 1:50 ancillary unit

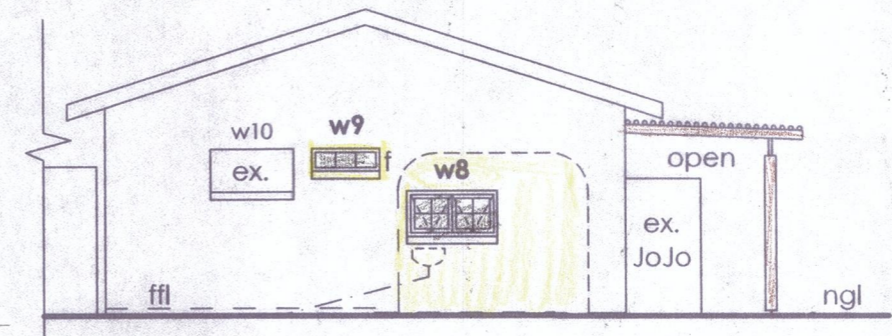


ground storey plan 1:50 ancillary unit floor area: 41.818m²

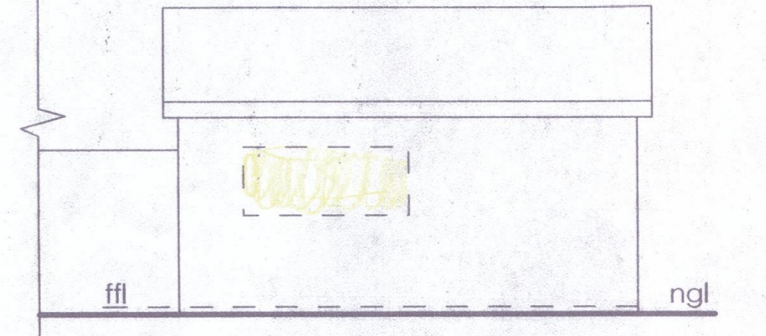
NAME	ADDRESS	TELEPHONE	SGN
J.A. VAN DER VES	25 LANSLOWNE CRESC D/NORTH	031-5637485	<i>J.A. Van der Ves</i>
K Gray	29 CADOGAN DRIVE D/NORTH	031 5644728	<i>K Gray</i>
F. JACOBI	6 KENT GARDENS D/NORTH	031-5640995	<i>F. Jacobi</i>
P.L. FARRAR	8 KENT GARDENS D/NORTH	031-5636684	<i>Lynn Farrar</i>

GENERAL NOTES

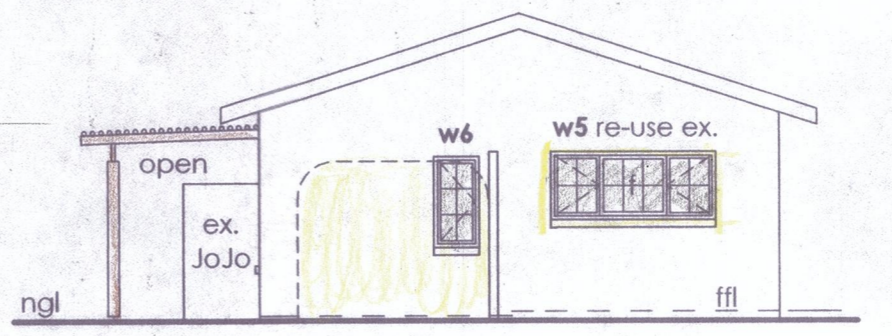
- all dimensions, levels and materials to be checked on site before commencing any work.
- all new work to match existing unless otherwise stated.
- do not scale drawing.
- if any discrepancies occur, client to be notified before continuing with work.
- all new materials to be SABS + client approved.
- all new glazing to comply with SANS 10400 Part N.
- new brick walls to comply with SANS 10400 Part K.
- structural engineer to detail, supervise and certify all structural work.
- All plumbing to be installed by a certified plumber.
- no building material (i.e brick wall/window and door type/roof materials) may be changed without the permission of the plan drawer/architect as this may change the energy efficiency calculation and may cause non compliance with Building Regulations.
- construction on site will only be built according to the council stamped approved plan (this will include all referral amendments)
- retain ex. materials if suitable for re-use i.e timber flooring
- ex. timber floors to be protected throughout construction to contractors responsibility
- before any walls are demolished, ex. roof trusses to be checked and certified by engineer
- engineer to certify new brick walls on existing floor slab



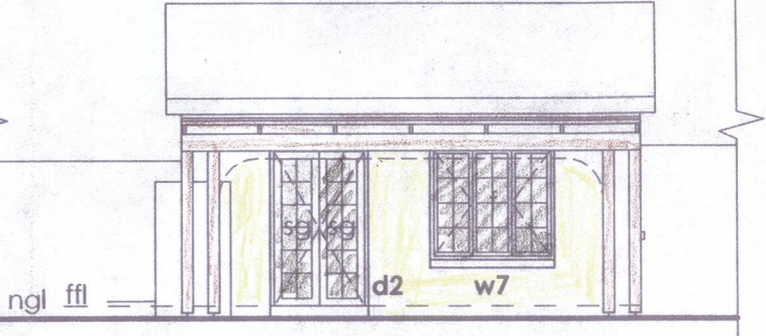
south elevation 1:100 ancillary unit



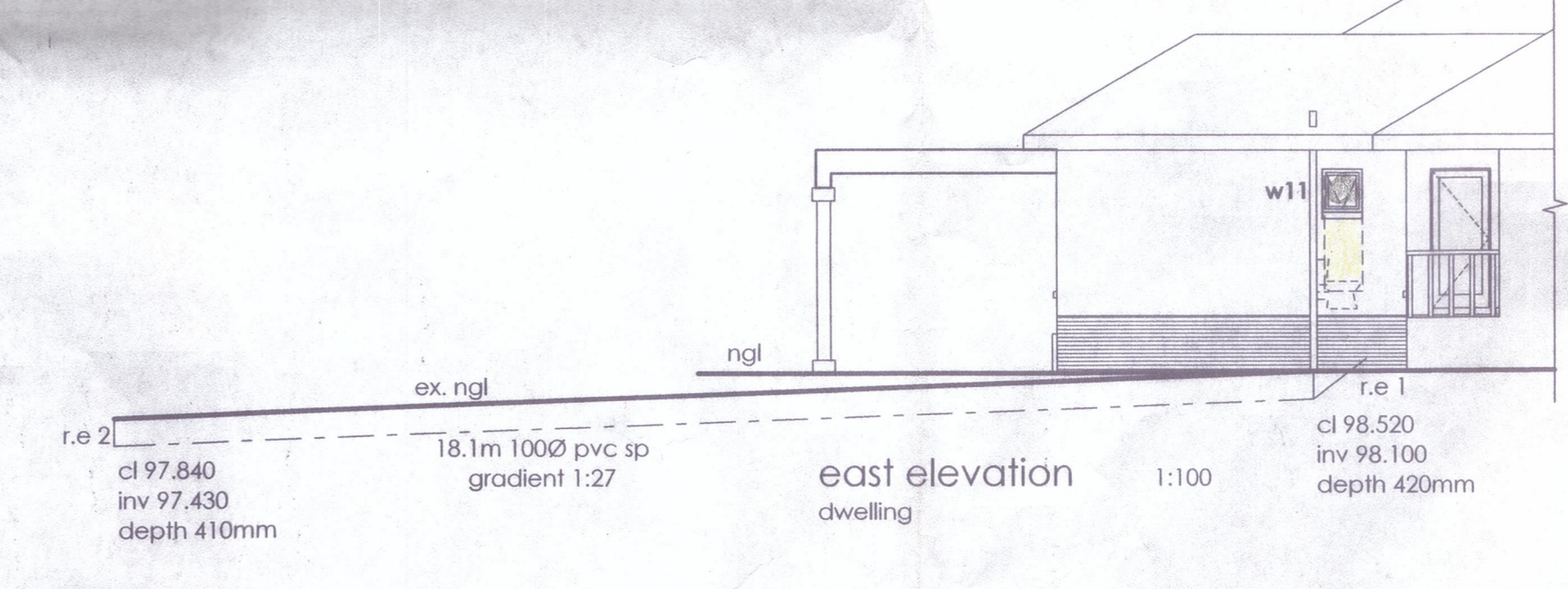
west elevation 1:100 ancillary unit



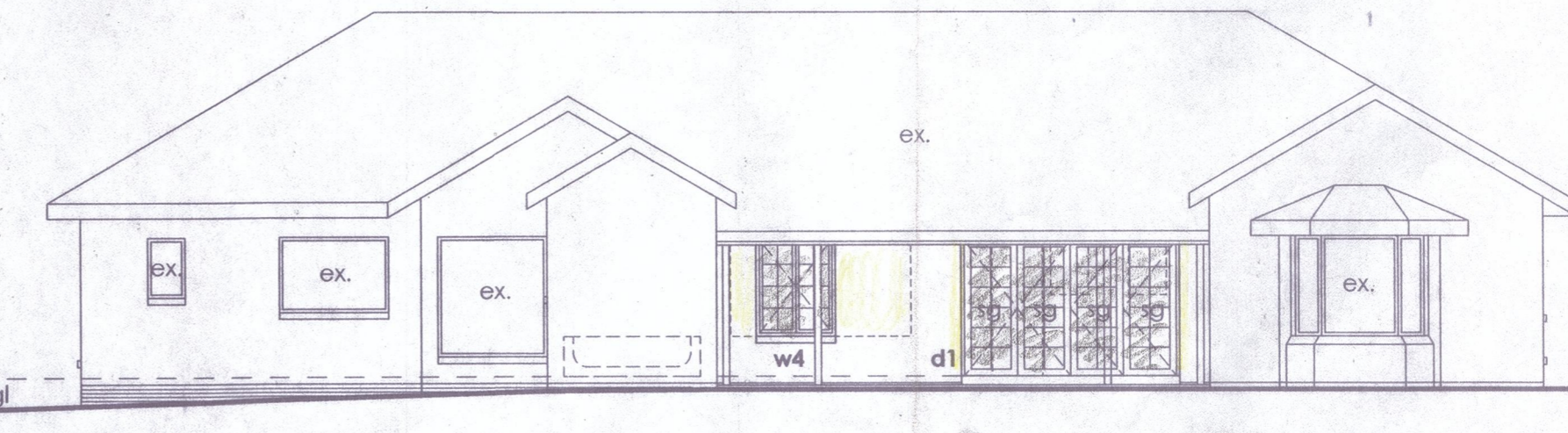
north elevation 1:100 ancillary unit



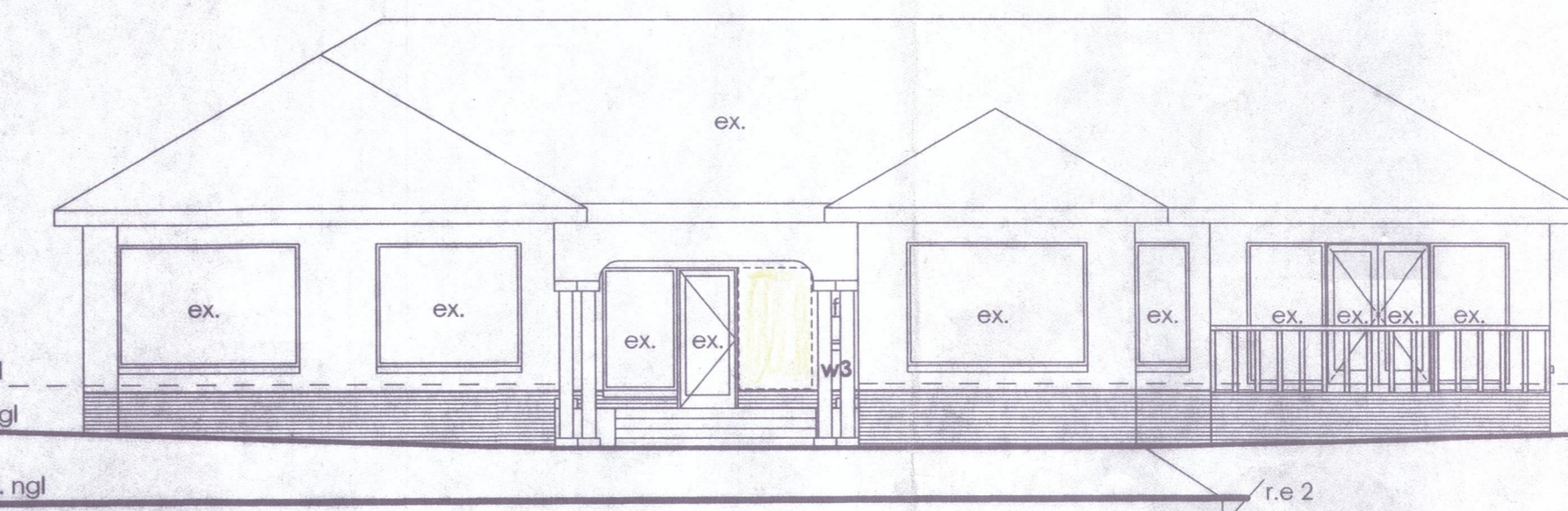
east elevation 1:100 ancillary unit



east elevation 1:100 dwelling



north elevation 1:100 dwelling



south elevation 1:100 dwelling

M.J. Young
30/09/13
Clotilde
20/09/13

classification: H3
climatic zone: 5
soil profile classification: 1

*this plan is to be read in conjunction with dwg 1315/W1

*whilst project is under construction, there are to be no deviations to the approved council plan

conversion of pool room to ancillary unit & internal alterations to existing dwelling for m & I young
 DESCRIPTION : erf 2931 durban north
 ADDRESS : 23 lansdowne crescent, durban north
 submission drawing
 Clotilde ive - st0236
 drawn by: R.Ive
 131 kensington drive, durban north, 031-564 64 22
 DATE : 14 august 2013
 SCALE : 1:50
 DRAWING NO.: 1315/W2