

DROSTDY HOTEL

GRAAFF REINET

DRAFT HERITAGE STATEMENT

FOR COMMENT

In accordance with sections 27 of the National Heritage Resources Act of 1999
Prepared by Helen May | Urban Concepts | April 2013

HERITAGE VISION

Heritage Vision | Revitalisation of the Drostdy, Graaff Reinet

Exposure of the heritage resources to the public, community and tourists; to educate, reveal and share the history of the property and the town.

The integration of the historical fabric to create a coherent whole to facilitate continuity throughout the precinct, i.e. link main building with other areas such as Kromm's, Stretch's Court and Ferreira House. This will assist visitors in experiencing the entire precinct as a single entity.

Accentuate and express the changes that have occurred over time i.e. clear definition between old and new fabric: Re-interpretation of old proportions without copying any architectural details.

The new layer of elements and buildings to display simplicity, to ensure that the focus and interest remains with the old. The new layer should enhance and not detract from significance of the heritage resource.

Retain a fine grain of pedestrian routes. Movement around the precinct should be a discovery, there should be an element of surprise, i.e. the precinct should not be designed for vehicles, but rather for people, pedestrians.

Retain the rural character of larger parking areas with careful greening of the site, to avoid vast open spaces during quiet periods.

Introduction to Heritage Principles

Indicators are derived from the heritage significance of the identified heritage resources. They are formulated to protect and enhance the historical and cultural attributes in the area. The locale is examined at the precinct scale and the indicators are 'broad brush' at the level of urban design, addressing planning, landscaping and architectural issues.

Heritage Principles:

Protect and enhance local character
Protect old fabric
Reduce possible impact of new development
Respect historical layering
Ensure sustainability

urbanconcepts

URBAN DESIGN ARCHITECTURE HERITAGE

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METHODOLOGY

The heritage research component included a field survey, scrutiny of previous research and publications from SAHRA records, as well as input from local community members who were involved in the day to day running of the hotel prior to closure.

KEY OBJECTIVES

- >> Develop an agreed understanding of the heritage significance of the property;
- >> Provide a set of heritage related design indicators to guide alterations and additions to the property;
- >> Encourage the appropriate conservation of heritage buildings, the cultural landscape and significance spaces;
- >> Assist the heritage authorities in the decision-making process regarding the submission of this and future applications.

CRITERIA OF ASSESSMENT OF SIGNIFICANCE

The following criteria was used to assess the heritage significance of the various components on the site, as well as the site as a whole:

- >> Types of significance – Historical, Aesthetic, Scientific, Social
- >> Degree of significance – Rarity, Representivity
- >> Three tier system for grading:
 - Grade I = National significance
 - Grade II = Provincial significance
 - Grade IIIA = Local significance (maximum protection at local level, any alterations regulated)
 - Grade IIIB = Local significance (less stringent protection than IIIA at local level, internal alterations not regulated)
 - Grade IIIC = Local significance (protection if within declared conservation or heritage areas)

COVER PAGE: Thibault's 1804 design of the Drostdy Graaff Reinet [SAHRA library: 3/K/Graaff/1]

PROJECT OVERVIEW

This report is compiled as part of an application to the Heritage Resources Authorities, in terms of sections 27 of the National Heritage Resources Act, 25 of 1999 (from hereon referred to as “the Act”); to conduct improvements and changes to buildings of significance, maintenance to buildings of significance; demolitions of buildings of no or low significance, and the construction of additional new buildings on the properties Erf 3476 Drostdy Hotel, Erf 3477 Stretch’s Court & Erf 1176 no. 5 Parlement Street, Graaff Reinet, Eastern Cape. The proposals are intended to meet the requirements to modernise the hotel, while still maintaining a viable business entity.

Declared Provincial Heritage Sites exist on erven 3476 & 3477. However there are building on all three the erven which are older than 60 years, but which were not part of the of the PHS declarations [ref Figure 12]. There are also newer buildings which are of no heritage significance.

The South African Heritage Resources Agency (SAHRA) has confirmed that they will be the Heritage Authority to deal with this application, since the Eastern Cape Provincial Heritage Resources Authority (ECPHRA) has not yet been granted competence to manage applications for Provincial Heritage Sites (old National Monuments).

The property has functioned as a hotel since 1878. In recent months the property has been left vacant by the tenant, after a massive decline in business and eventual closure of the hotel operations. The property owners have therefore seen an opportunity to renovate and upgrade this significant heritage resource of Graaff Reinet, to the standard that it deserves. This involves the endorsements of the restoration carried out in 1975 by Munnik Visser, which in effect was a restoration to the early 19th century period. The decision was made early in the project to respect the existing layering. Intervention is to accept that layering and not attempt to return it to a period in the past.

The property is owned by the SA College of Tourism (SACT). The SACT has appointed dhk Architects to design proposals which address and resolve the issues which the property and hotel business has experienced. Due to the historical significance of the property, Helen May of Urban Concepts has been appointed as an independent heritage consultant, to manage the heritage applications for this property.

The project objective is to ensure retention and enhancement of the heritage significance, and revive the property and hotel business, by carefully maintaining, and/or restoring structures of historical significance; and reorganising spatial layouts for efficient foot and vehicular flow.

The emphasis remains on the significance of the old Drostdy building and its special context. Where new buildings are proposed, these are to complement the existing.

The town of Graaff Reinet is short of upmarket accommodation. This is an ideal opportunity to provide this class of accommodation in part; with alternative accommodation options available across the extent of the property.

Proposals include the removal of outdated, inadequately placed insignificant structures to allow for better spatial flow; and to shift functions such as Back of House/Stores to areas on the property where these busy functions are well screened from the public.

Opportunities exist to activate underutilised outside spaces such as the historic garden and courtyard behind the old Drostdy building. Further opportunities exist to reactivate the street edges along Church Street, while retaining the facades and character of the streetscape and town.

An opportunity also exists to transform one of the old residences, previously used as a pub, into a more appropriate use, such as a small spa or wellness centre.

Submissions for comment to Heritage Authorities and Interested and Affected Parties (I&APs) will be done in stages:

Stage 1: Draft Heritage Statement with existing site plan and proposed master plan, with high level proposal ideas; including a proposed demolition plan for approval. The intention is to obtain first round comments from the adjoining neighbours and the Graaff Reinet Heritage Society. This will run parallel to obtaining interim comment, endorsement of heritage grading and approval of the proposed demolition plan from the Heritage Authorities (SAHRA).

Stage 2: Second draft Heritage Statement with existing and proposed detailed sketch design. Comments from the first round of participation will be included here. The intention is to obtain final comments from the Graaff Reinet Heritage Society, and to obtain the final round of comments and in principle approval of the sketch designs from the Heritage Authorities (SAHRA); as well as final endorsement of the demolitions plan, if not yet obtained.

Stage 3: Feedback received from Stage 2 will be incorporated into the final permit application documentation to SAHRA.

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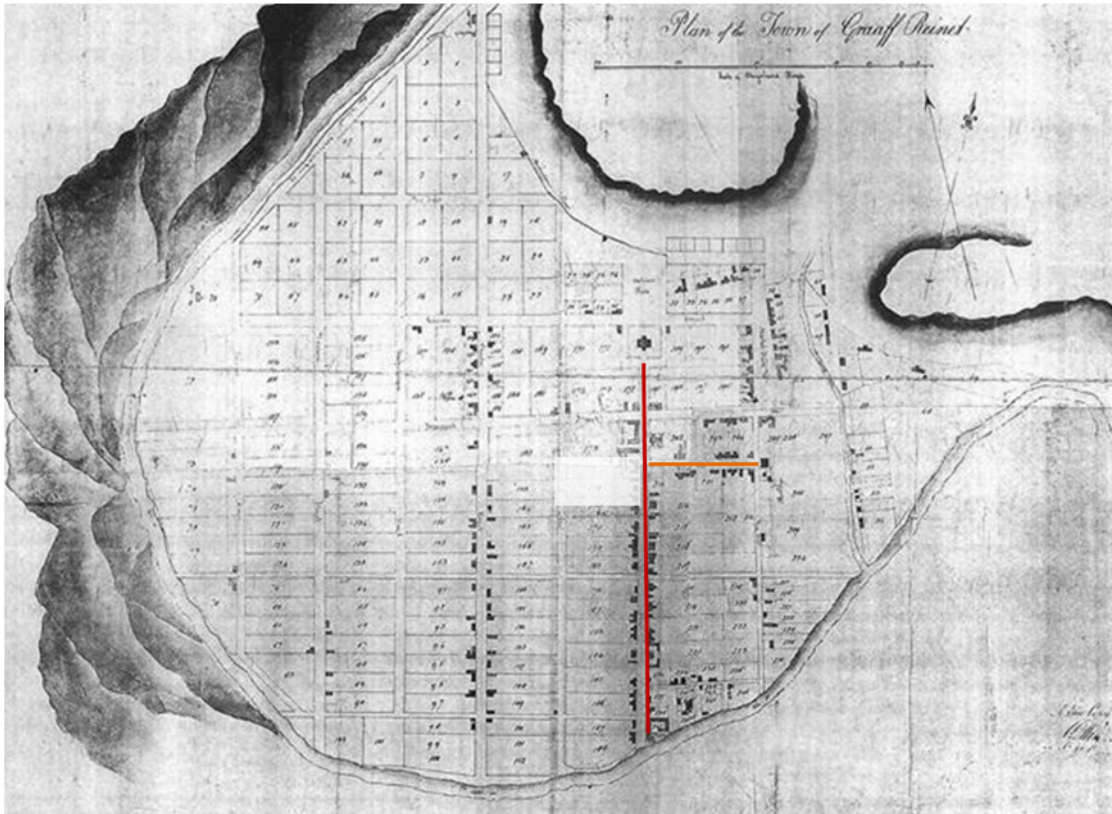
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01

BACKGROUND

01 BACKGROUND

>> LOCATION



KEY




-  Project Site location
-  Church Street
-  Parsonage Street



FIGURE 1: Plan of Graaff Reinet c.1823 by G. Thompson [Fransen, 2006]



FIGURE 2: Panorama 1 of Graaff Reinet looking East [dates unknown: THEN & NOW by Mark Senekal of Propix, GR]



01 BACKGROUND



- KEY
- Project Site location
 - Church Street
 - Parsonage Street

FIGURE 3: Aerial view of the town of Graaff-Reinet [Google Earth 2013]



FIGURE 4: Panorama 2 of Graaff-Reinet looking East [dates unknown: THEN & NOW by Mark Senekal of Propix, GR]



01 BACKGROUND



FIGURE 5: Aerial view of the context of the Drostdy property [Google Earth 2013]



FIGURE 6: Aerial view of the extent of the Drostdy property [Google Earth 2013]

01 BACKGROUND

>> PROPERTY DESCRIPTION

The properties are situated along the main axis of Church Street in the historic town centre of Graaff Reinet. Established in 1786, Graaff Reinet is the fourth oldest town in South Africa, after Cape Town, Stellenbosch and Swellendam. The properties are bounded by Church Street to the East, Parlement Street to the north, Bourke Street to the west (also known as Hussys Walk in old site diagrams), and residential erven to the South.

Graaff Reinet was designed and laid out by the Dutch in a gridiron system; but with a slight shift in the course of the parallel streets in order to place a church at the focus of this major street. Hence the name Church Street. Graaff Reinet, Cape Town and Uitenhage are the only towns with the rectilinear grid carried through consistently. A short street of just one block (Parsonage Street) was also introduced to Graaff Reinet to “enable the fine situation of the Drostdy and the Parsonage at either focus”. [Fransen, H (2006); *Old Towns and Villages of the Cape*; CTP Book Printers, Cape Town]

The site is made up of three erven. Erf 3476, Erf 3477 and Erf 1176 in the district of the Camdeboo Municipality, Graaff Reinet, Eastern Cape. Erf 3476 and 3477 are made up of previously consolidated erven, while Erf 1176 is a single erf. All three erven are in the process of being consolidated.

1.1 Extent & Infrastructure

Erf 3476 >> 8432 m²

Bounded by Church Street (East), Parlement Street (North), Municipal building (South) and private land (West). Existing buildings or structures are Kromm’s Inn (KI), Drostdy Hotel (DH) and Camdeboo Restaurant (CR) and servicing buildings, Thibault Room (TH), passage between TH and CR, swimming pool grounds

and ablutions; as well as the empty strip of land to the south of the property, currently accessed from Bourke Street.

The main Drostdy built in the U-shaped Cape Dutch style, with thatched roof. A courtyard space along Church Street separates the Camdeboo Restaurant from the Drostdy

Just south of the Camdeboo Restaurant on Church Street is the Thibault Room. Directly west of the Camdeboo Restaurant and Thibault Room are the kitchen, stores, “back of house” and food and beverage offices for the hotel. This area is linked to the Drostdy via the kitchen and garden courtyard.

The Drostdy courtyard and garden to the rear, leads out to the parking area and Kromm’s Inn. Kromm’s Inn is an early Georgian styled Karoo-type residence which fronts onto Parlement Street. This building has previously functioned as a pub for the Drostdy Hotel complex.

A swimming pool area with ablutions and a large piece of vacant land to the south of the property (previously cultivated as an orchard) also form part of this site. A laundry and boiler room building straddles the boundary with Erf 3477.

Erf 3477 >> 5452 m²

Bounded by Bourke Street (West), private land (North) and Erf 3476 to the east and south. Existing buildings or spaces are Ferreira House (FH) and outbuilding and Stretch’s Court (SC) cottages (1 to 15) and lane.

The overnight accommodation for the hotel is located on this Erf.

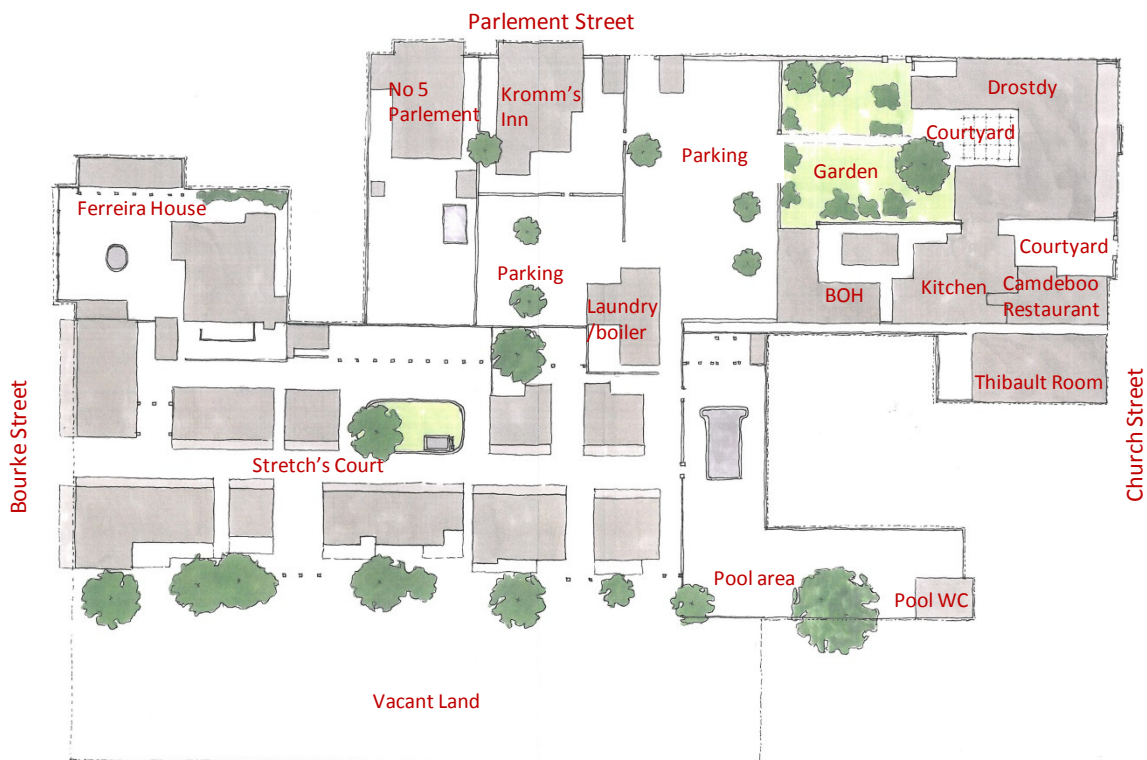


FIGURE 7: Existing site layout [refer Annexure B: dhk Architects]

01 BACKGROUND

These are fifteen Karoo-type cottages set along an alleyway known as Stretch's Court, and Ferreira House is a small Victorian styled residence. There is an outbuilding alongside Ferreira House which has been converted into a parking garage. These buildings are located on and just off of Bourke Street.

Erf 1176 >> 863m²

This property faces onto Parliament Street, directly adjacent to Kromm's Inn which forms part of Erf 3476, and backs onto the Stretch's Court cottages which form part of Erf 3477.

A late Victorian residence with sheet metal pyramid roof. This building is not currently included in the uses of the hotel complex.

1.2 Zoning

Erf 3476 has a split zoning of Business Zone 1 (business, guest house) for the Hotel, Kromm's Inn and swimming pool sites; and Residential Zone 1 at the vacant erf along Bourke Street.

Erf 3477 is zoned Residential Zone 4 (flats, guest house).

Erf 1176 is zoned Residential Zone 1 (private residence)

Camdeboo Municipality Planning Department requires that all erven be rezoned Business 1 with a consent use of Residential Building (Licensed Hotel).

1.3 Current Use

All properties, except for Erf 1176, have thus far in some way been linked to the functioning of the hotel i.e. accommodation (cottages and Ferreira House), bar (Kromm's Inn), restaurant (Camdeboo), function hall (Thibault Room), ladies bar, reception and lounge (Drostdy). The land along Bourke Street is vacant. Erf 1176 has been a private residence.

It is intended that the current uses be maintained, with the exception of Erf 1176, which will be used to house hotel staff.



FIGURE 8: Overlays of the three site diagrams [Surveyor General]

01 BACKGROUND

1.4 Extract from Zoning Scheme map

In the extract from the zoning map, and the key alongside, the split zoning of Erf 3476 is clearly visible.

GRAAFF REINET ZONING SCHEME








-  AGRICULTURAL ZONE 1
-  RESIDENTIAL ZONE 1
-  RESIDENTIAL ZONE 3
-  RESIDENTIAL ZONE 4
-  RESIDENTIAL ZONE 5
-  BUSINESS ZONE 1
-  BUSINESS ZONE 3



FIGURE 9: Extract from Annexure E - Graaff Reinet Zoning map [Camdeboo Municipality]

01 BACKGROUND

>> HISTORICAL BACKGROUND

1.4 Graaff Reiniet

The fourth district established in the Cape Colony and the last of the towns established under Dutch rule in 1785 was the long overdue drostdy town of Graaff Reiniet. It serviced this remote area of the Karoo which was home to hundreds of farmers. The towns name is a combination of two names – those of Governor CJ van de Graaff and his wife Reiniet.

The town was established in a bend in the Sundays River, on a piece of land which was made up of two farms owned by Dirk Coetzee. He had built a small homestead and some barns on the slope of one of the surrounding hills, not far from the Sundays River, along the track used by the farmers who lived in the Sneeuberg.

The Drostdy at Graaff Reiniet was established in response to petitions from the Boers of the region. The satisfaction that this provided was short-lived. The attitude of the officials of the Dutch East India Company antagonized the Boers, who resented being oppressed.

Coetzee's land was chosen to establish the Drostdy of Graaff Reiniet. He was paid a handsome sum of money for his buildings and provided with land free of rent. The new Landdrost and his officials resided in the farm house, and set about business.

Life in the village was hard, as fortune seekers soon realised. Land was available on a yearly lease only, and residents had to be satisfied with mud and daub or mud brick buildings. The Drostdy, Goal and Public Offices were constructed in this way, since it was too expensive to import proper bricks and wood.

In spite of the presence of the Landdrost, there was little order and the country was in the grip of a drought. Villagers lived as if on farms, self sustained by the crops grown in their back gardens. [Westby-Nunn, T (2004)]

The appointment of Andries Stockenstrom as landdrost in 1803 resulted in the ineffective and drab-looking drostdy of the early years, being replaced by a proper drostdy building. Little information exists about the appearance of the town prior to 1803 and the erection of the "fine drostdy building" in Church Street. Church Street is likely to exist from an early stage, since it is the main axis through the town from the South, with the first church of c.1796 as its focus.

Traveller Barrow in 1797 mentions 'mud huts' placed in two rows some distance from each other. It was not a formal street with building lines. Traveller & writer, MHK Lichtenstein in 1804 describes twenty or so houses built on both side of a straight street, suggesting some kind of formalisation. One of the first pictorial representations of the town is a delicate pencil drawing by William Burchell in 1812. The image shows the newly built drostdy on a dead straight, wide and seemingly endless Church Street. Neatly lined up along the street, a row of thatched and gabled houses. Burchell counted 74 houses, and others being built. Burchell notes the gardens adjoining each house are "well planted with fruit trees and continually supplied with water" – via leivoor systems which are still evident, but no longer in use. He was one of many visitors to mention the semi-rural character of the streets, and visitor Andrew Wiley commented on the number of vineyards used for making bad brandy.

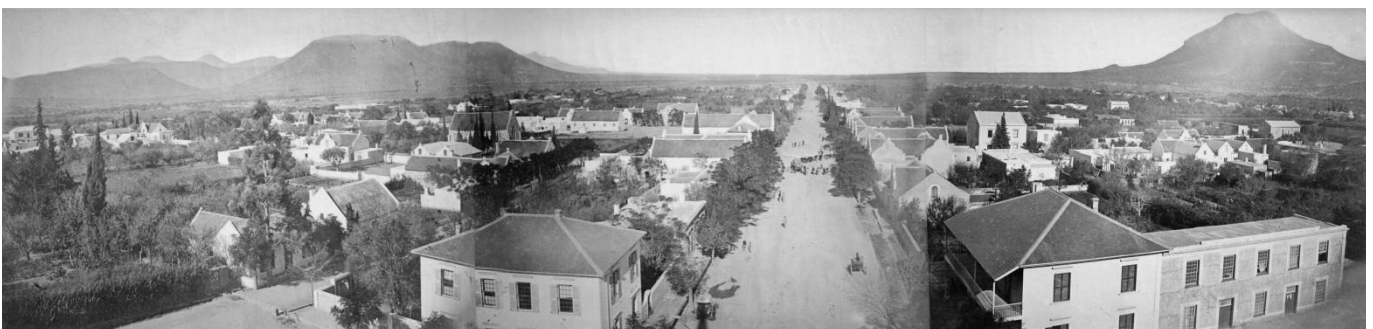


FIGURE 10: Panorama with Church Street from Church steeple by William Roe c.mid 1800s [Graaff Reiniet Museums]

01 BACKGROUND

1.5 Drostdy Hotel

Designed by Louis Michel Thibault, the Drostdy (Magistrate) in Graaff Reinet is the second oldest Drostdy in the country (Swellendam is about 50 years older), and was built by local tradesmen in 1804 - '05. It is assumed that Thibault did not oversee the construction, since many essential aspects of his design differs from what was executed. Local craftsmen must have adapted his plans as they thought fit. The dome in the gable became a squat stepped gable, edged with a crude moulding and decorated with stucco stars. The square windows were replaced by high sash windows, characteristic of the 18th century [refer to the front cover]. This building served as the Magistrate's residence until 1847, when it was sold to a private owner, JF Ziervogel. It changed hands a few times until Henry Kromm bought and converted it into Kromm's Drostdy Hotel in 1876. It changed hands many times and went through various style changes, but has remained a hotel to date. In 1975, the Oude Meester Group bought the building. With the collaboration of Historical Homes of South Africa Ltd. the Drostdy was restored to its original form as depicted in historical images of 1812 and 1880, with the addition of modern facilities.

A large piece of land attached to the Drostdy was comprised of seven erven. In 1855 Ziervogel re-sold this land to Captain Stretch; an Irishman with the British troops, who had a long standing role as a Civil Servant and Government Land surveyor. In about 1858 Stretch had divided these erven into allotments, with cottages built to accommodate coloured labourers. These properties were later transferred to the occupants. A public right-of-way which led from Church Street to the present Bourke Street through the Drostdy gardens ("wandelgang") was turned into a cul de sac.

When the Drostdy became a hotel, the street was renamed "Free Street" or "Vrystraat" (c. 1876), and again later renamed Stretch's Court, and Drostdy Hof. Over time, the cottages became neglected and the occupants moved to the coloured township. Historical Homes of South Africa acquired the properties in and about 1966, with the view to restoring the entire complex.

The building known as Kromm's Inn stands on a portion of the original Drostdy grounds along Parlement Street. JF Ziervogel transferred to CB Ziervogel in 1860, and the estimated date of erection is c.1847, with the addition of the veranda in 1857 [Christa Hahne]. The property changed hands numerous times before it was acquired by De Oude Graaff Reinetse Drostdy (Edms) Bpk in 1987, and incorporated into the Drostdy Hotel complex as a bar.

Other buildings on the site, which have little known historical background are Camdeboo Restaurant, Ferreira House and Thibault Room. Camdeboo Restaurant was once the Drostdy Hotel liquor store, before being converted into a restaurant. Ferreira house was purchased by the Oude Meester Group in 1990, and converted for use as part of the hotel accommodation. This building was the former residence of Mrs Rita Ferreira, who ran a fish shop from the building that is now known as Thibault Room. Prior to that, the Thibault Room was a motor parts store.

Erf 1176 was part of the original transfer of 1847 to JF Ziervogel, but the Victorian residence is estimated to date after 1873. The date of the surveyors diagram for the subdivision.



FIGURE 11: Site morphology [Urban Concepts]

01 BACKGROUND

>> HERITAGE PROTECTION STATUS

1.6 Provincial Heritage Sites

Various portions of the Drostdy Hotel precinct were proclaimed National Monuments between 1981 and 1992, under the old National Monuments Act, 1969. Today, these are protected as Provincial Heritage Sites (PHS) under Section 27 of the new National Heritage Resources Act, no. 25 of 1999 (*the Act*).

The diagram below illustrates the PHS erven and dates at which they were proclaimed. The diagram also indicates which buildings lie within the different proclamations.

It is interesting to note that the Stretch's Court cottages were proclaimed six years prior to the Drostdy, even though the Drostdy had already been restored back to its original form, and the precinct as a whole was already operating as one business.

The façade of Thibault Room was proclaimed at the same time as the Drostdy; possibly due to its significance to the character of the streetscape adjacent to the Drostdy and Camdeboo Restaurant building.

It is worth noting here that some buildings contained within the boundaries of the proclaimed Provincial Heritage Sites are less than 60 years, and have no heritage significance. Proposals for these buildings will still however be managed under the ambit of Section 27 of the Act.

1.7 Buildings older than 60 years

The portions of the property which were not proclaimed, but which are older than 60 years:

- The erf on which Ferreira House and outbuilding stand (now included in erf 3477).
- The erf which contains the swimming pool and ablutions.
- The vacant piece of land to the South of the property, along Bourke Street (now included in erf 3476).
- Erf 1176, being a recent acquisition to the hotel complex.

All of the above are automatically protected under Section 34 of the Act of 1999. However, proposals for these areas will be managed under the ambit of Section 27, along with the rest of the site.



FIGURE 12: Erven with Provincial Heritage Site protection [Urban Concepts]

01 BACKGROUND

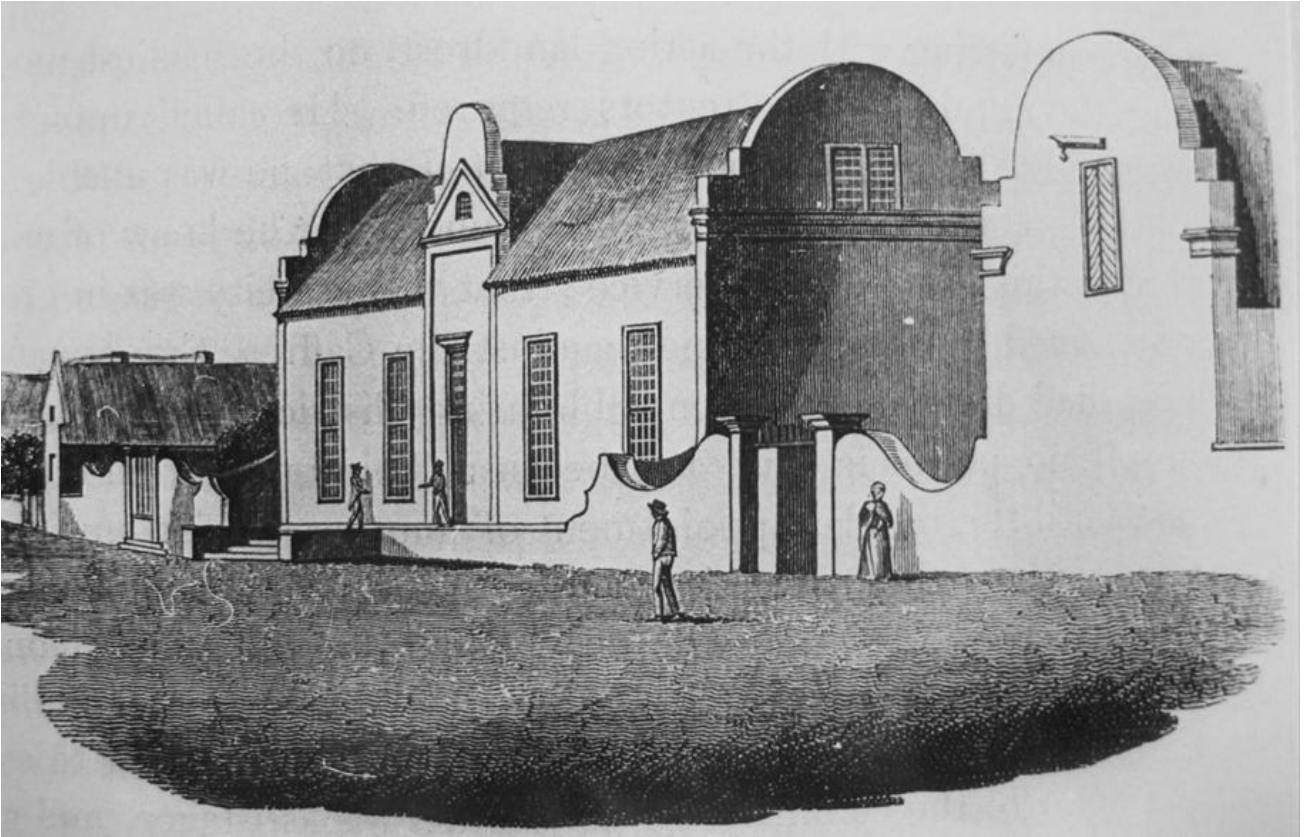


FIGURE 13: William Burchell's sketch of the Drostdy, c.1812



KEY

- Section 27: PHS
- Section 34: older than 60 years

FIGURE 14: Heritage buildings protected under the NHR Act [Urban Concepts]

02

HERITAGE RESOURCES & SIGNIFICANCE

02 HERITAGE RESOURCES & SIGNIFICANCE

2.1 Graaff Reinet

Figure 3 is a plan dated 1823, by G Thompson showing the town of Graaff Reinet very much as it is today. The main axis of Church Street is curiously off centre. In this plan, the main parallel blocks are all neatly divided up into full-depth gardens, resulting in the alternate streets being lined with houses, and the streets to the rear of the properties remained 'garden-gate' streets. By 1820 the town counted close to a hundred houses and had become one of the biggest towns in the Cape. Remarkable for a barely forty year old town in a remote district.

By the end of the 19th century a group of thatched roofs and white walls and gables existed. Between the thatched roofs were dozens of flat-roofed houses with slightly raised parapets in the centre, more commonly associated with Karoo towns due to the low rainfall. Judging by the present, well-preserved townscape, it seems that the flat-roof probably outnumbered the thatch ones. Many of the thatched buildings, including the Drostdy, were Victorianised. Thatch was replaced by corrugated iron, gables were clipped, new doors and windows were inserted, and verandas added.

Quite a few of the old thatch buildings have since been restored to their original appearance. Among them the Drostdy, Reinet House and Urquhart House. The former now part of the Graaff Reinet Museums.

During the last few decades of the 19th century, double storeys started to appear; mainly on street corners for commercial use, which helped to articulate the streetscape. The town was never rich in Victorian architecture, but the small suburb of Cypress Grove does date from this time.



FIGURE 15: View south of Church Street from the steeple c.1866 [Fransen, 2006]

The townscape is held together by the monumental Edwardian Dutch Reformed Church in a neo-Gothic style, which presides over the townscape, and sits at the end of the Church Street axis. This is an example to be followed by many church towns all over the Cape, especially the flat Karoo areas. [Fransen, H (2006)]

In 1980 Dr Anton Rupert set up the "Save Reinet Foundation" and approached companies across South Africa for funding. Significant properties were identified and the owners were approached to restore the facades at their own cost, or with funding from SR Foundation at no interest over a certain repayment period. In 1986 the first 100 restored homes were gazetted, and more were to follow. As a result, Graaff Reinet has over two hundred and twenty heritage sites (National Monuments). This is believed to be the highest number of National Monuments in any town in the whole of South Africa. As a result of the efforts of the individual households and Historical Homes of South Africa (a company founded by Dr Anton Rupert), Graaff Reinet has managed to preserve its architectural character as a Karoo town; retaining the aesthetic significance of the historic settlement.

>>significance

Historical significance: the fourth oldest town in the country, and the political role that it played in the conflicts between major national ethnic groups over the centuries.

Aesthetic significance: the best preserved and most interesting of the small Karoo towns, the structure of which, in principle, is the same as in the early 19th century. It reflects the architectural heritage of frontier and colonial times, retaining many of its original buildings.

Social significance: The town is the birthplace of Dr Anton Rupert and Mangaliso Robert Sobukwe, founder of the PAC; and is frequently referred to in historic traveller's records.



FIGURE 16: Reinet House at the other end of Parsonage Street [Urban Concepts]



FIGURE 17: Parsonage Street looking from Reinet House to the Drostdy [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE



[Photographs by Urban Concepts]

1. Church Streetscape (from left to right – Thibault Room, Camdeboo Restaurant, Drostdy)



2. Parlement Streetscape (from left to right – Drostdy, historic wall, Cobbler's Shop, Kromm's Inn, No. 5 Parlement Str)



3. Bourke Streetscape (from left to right – Ferreira House, no's 14 and 15)



4. Stretch's Court streetscape (south side from left to right – nos. 8, 7, 6, 5, 4, 3, 2, 1, 15)



4. Stretch's Court streetscape (north side from left to right – nos. 9, 10, 11, 12, 13, 14)

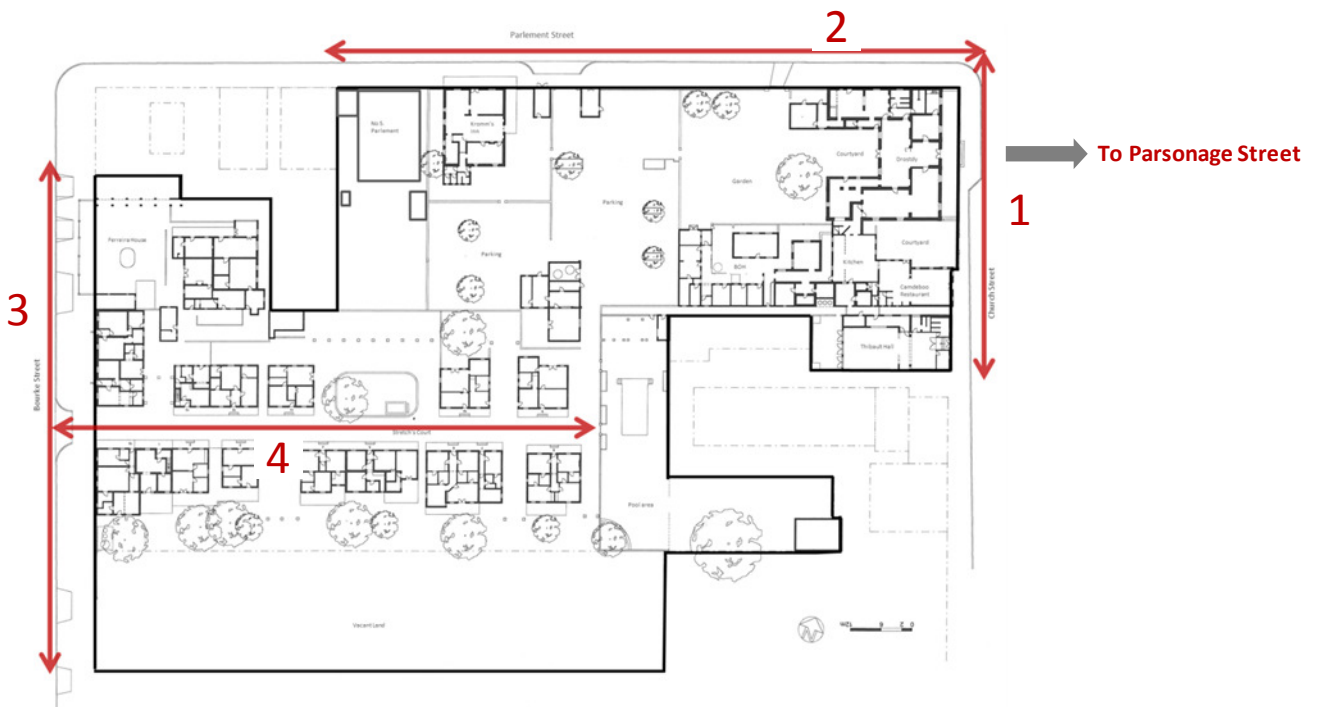


FIGURE 18: Significant streetscapes [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE

[Photographs by Urban Concepts]



Stretch's Court looking west towards Bourke Street



Corner of Bourke Street and Stretch's Court



Bourke Street facades of Stretch's Court



Bourke Street edge of Stretch's Court



FIGURE 19: Significant buildings and facades [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE

2.2 Drostdy

The Drostdy was designed by renowned French Architect, Louis Michel Thibault in 1804 - '05. It remained the Graaff Reinets Drostdy until it was considered too costly to repair, and was replaced by a new building. The Drostdy and its adjoining plots were sold to JF Ziervogel by private auction in 1847. In 1854 and 1860, he subdivided the property and sold off the plots, including the Stretch's Court plot. He retained the Drostdy as his residence until 1873, when he moved to the Transvaal and sold to CC Schultz. In 1878, Henry Conrad Kromm purchased the Drostdy and converted it into a hotel. In the following century it remained a hotel, but it was subjected to major changes in form and style. Its internal Cape Dutch essence was secretly retained under a slap of paint. Historical Homes of South Africa acquired the property, and took on the task of restoring it to its original form and style, as depicted in the pencil drawing of 1812 by William Burchell [figure 13], and a William Roe photograph of the early c.1880s [figure 17]. There is almost no change evident in the style of the main building as depicted in these images. The building, its stables, slave quarters, carpenter's workshop and coach house were close together on Church Street. An outbuilding to the North of the Drostdy has been lost to time.

A furrow brought water from the Sundays River to the Drostdy's garden, which extended as far as Cradock Street.

The Drostdy is a Cape Dutch U-shaped building, with wings of equal width under thatch roofs, enclosing a gallery or 'agterkamer' under a flat roof. It has a teak double front door with fan light. Four small pane sash windows with solid shutters flank the front door; the only ones of their kind in the original design. The rest of the windows were all either single or double casements. However, during the restoration, the lessee requested sash windows to the south elevation at the dinigroom. A stoep with end wall seats completes the front elevation. Windows and shutters were reproduced during the 1970s restoration.

Over the years the building underwent considerable changes. The first were the addition of two fireplaces – one on each end of the front gable, and flat roof corridor-like extensions were built against the rear wings on either side of the courtyard. The kitchen was moved from the north to the south side, probably after Parlement Street was made. Kromm converted the old kitchen into a bar, which was later moved to the front right of the building, where the façade was altered to add a door to the far right of the stoep. In 1879 the gables were clipped and the thatch replaced by a corrugated iron roof. A victorian veranda was erected over the stoep. Old windows were replaced by victorian sash windows with louvered shutters. Ten new bedrooms were added, as well as a billiard, ladies lounge and stables for 90 horses [Figure 23].



FIGURE 20: Drostdy Family & Commercial Hotel c. early 1870s [Graaff Reinets Museums: William Roe Collection]



FIGURE 21: Kromm's Drostdy Hotel c. late 1870s [Graaff Reinets Museums: William Roe Collection]



FIGURE 22: W Bunton's Drostdy Hotel c. early mid 1880s [Graaff Reinets Museums: William Roe Collection]



FIGURE 23: Side of Drostdy Hotel c.1880s [Graaff Reinets Museums : William Roe Collection]

02 HERITAGE RESOURCES & SIGNIFICANCE

The Kromm's hotel changed hands a few times, and in the early 20th century it underwent a conversion from a single storey to a double storey [Figure 24]. The 'agterkamer' was subdivided to provide a staircase opposite the entrance, and the west wall in the 'agterkamer' was replaced by a bay window, facing onto the courtyard [ref Annexure A]. The hotel again changed hands and name numerous times. It became Freeman's Hotel, when it was bought by Alfred Freeman in 1934. Jack and Harry Serman bought the hotel in 1950, and once again named it Drostdy Hotel. The Sermans owned the hotel until it was acquired by the Oude Meester Group in 1975, and restored by Architects Munnik Visser Black & Fish Architects. It has since operated as the Drostdy Hotel. Munnik Visser Black & Fish received an award of Merit from the Institute of SA Architects for the restoration.

Much time and expenditure was put into the restoration of this significant building of Graaff Reinet. The material layering was investigated, and records were kept of the changes that were made over the years [ref annexure A]. The broken lines indicate walls that had been demolished. This image illustrates what has remained of the original Drostdy at ground floor level. Based on the old photographs, the gables were reconstructed. While the original front door was still in position, new windows had to be made to fit the openings in the brickwork. The original lintels were still in place, and it was possible to make the windows exactly right.

Internally the position and size of the screen could be determined from the springing of the relieving arch which was found in the old brickwork. Similarly at the sides and the back, the positions and proportions of windows, doors, wall cupboards and the kitchen hearth were established. The height and slope of

the roof over the 'agterkamer' at first presented a problem as it had been completely removed at the time of the building of the upper storey, but the sawn-off ends of some beams were found in the walls. The old yellow wood beams used in the reconstruction were placed exactly in the same positions. Most of the old flooring had been replaced; new yellow wood boards were put down and in the bars the fine old oregon pine floor joists of the upper storey were re-used as floor boards. The teak posts of the old veranda provided much of the timber for joinery and the pine veranda posts were used as lintels where, for practical reasons new openings had to be made in old walls.

The garden and courtyard to the rear (west) of the Drostdy are special spaces, which are considered integral to the social and recreational past of the property.

Over the years it has become widely recognised as one of the top heritage hotels in South Africa, accommodating countless travellers with its unique old world charm, and serving as a gateway to the rich history and magic of Graaff-Reinet and the Great Karoo. [SAHRA file no. 9/2/033/0052]

A little building next to the current gate along Parlement Street was a Cobbler's Shop up until 1968 and the Group Areas Act. This building functioned out of its double doors onto Parlement Street, and is believed to date to c. 1850. It is an important part of this streetscape.



FIGURE 24: Victorian era Drostdy Hotel c. early 1900s [Graaff Reinet Museums: William Roe Collection]

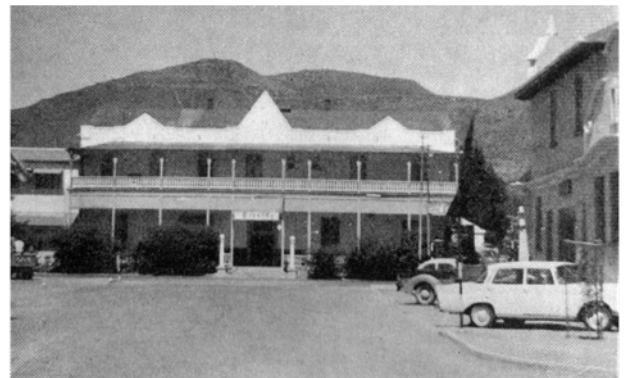


FIGURE 25: Drostdy Hotel c.1965 [Graaff Reinet Museums]



FIGURE 26: Drostdy Hotel c.2012 [Urban Concepts]

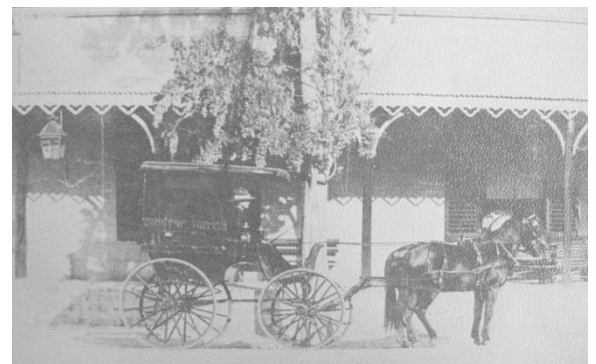


FIGURE 27: Drostdy Hotel cab c. 1885 [Westby-Nunn]

02 HERITAGE RESOURCES & SIGNIFICANCE

Many interesting visitors and personalities have passed through Graaff Reinet and the doors of the Drostdy. These include Lord Charles Somerset, Sir John Cradock, Sir Rufane Donkin, William Burchell, Rev. Andrew Murray, Thomas Pringle, Queen Elizabeth, Pres. Nelson Mandela, Rev. Beyers Naude and of course Dr Anton Rupert; as well as sporting personalities Danie Craven and Gary Player.

>>significance

Historical significance: its origins in the early 19th century, as the Drostdy which governed the fourth district of the Cape Colony, and around which it developed and prospered.

Social significance: its history as a hotel for more than one hundred years; hosting visitors and events of varying degrees of social importance, and being the grand tourist attraction of the town for decades. Rev. Andrew Murray married the daughter of the first private owner, JF Ziervogel.

Architectural significance: its association with Thibault, and it being a fine example of early 19th century Cape Dutch style.

Aesthetic significance: Its stature and prominence as the focus of Parsonage Street. Its landmark quality along Church Street which is the main axis through the town.

>>Existing Grading: II

>>Recommended Grading: II

The Camdeboo Restaurant is a 3 bay Karoo-type cottage with pedimented parapet with fine mouldings and heavy cornice. Half-glazed double door with small panes fanlight and 9x9 sashes. It was renovated in the 1970's. [SAHRA file no. 9/2/033/0002-398]

Thibault Room is a 3 bay saddled roofed cottage with 2 small triangular front gables and very heavy cornices. Saddle roof with 2 covered triangular gables with fretwork barge-boarding, finials and circular vents. Roof has ornamental cast iron crest. Façade has plaster quoins in corners and moulding around door and windows. Half reflective glazed double door with side and fanlight. Narrow sash windows with a single louvred shutter on each. It was renovated in the 1970's. [SAHRA file no. 9/2/033/0002-389]

The Cambdeboo Restaurant, Thibault Room and Cobbler's Shop are all included in the Drostdy Hotel heritage site.

>>significance

Aesthetic significance: These buildings are significant, predominantly as part of the character of the town and streetscape.

>>Existing Grading: II

>>Recommended Grading: IIIC



FIGURE 28: Thibault Hall as the Graaff Reinet Fishery in the mid 20th Century [Mark Senekal]



FIGURE 29: Thibault Hall and Camdeboo Restaurant c. 2012 [Urban Concepts]



FIGURE 30: Old Cobbler's Shop Parment Street c. 2012 [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE

2.3 Stretch's Court

Originally awarded to JB Wiese in 1806, Stretch's Court was the neighbouring property to the Drostdy land. At some point it was also owned by JF Ziervogel, who sold the land to Capt. Charles Lennox Stretch in 1855. Stretch subdivided it into lots in 1858. Here he built slave cottages for his workers after the emancipation of slaves in 1834. The exact date of construction of each cottage is unknown. These properties were eventually transferred to the occupants. The little houses with flat roofs and two-foot wide stoeps were "like dolls houses. Once shaded by great pear trees, this must have been a charming street". Time wore away at these low income dwellings, and the families moved on. The cottages and street were renovated as upmarket rental accommodation in the late 1960s, then again in 1975 with the restoration of the Drostdy, as part of the overnight accommodation. "Today they form a unique architectural street scene of harmonious proportions". [Graaff Reinet Publicity Association]

An undated document found in the Historical Homes of SA archive was written by an unknown author prior to the restoration in the 1960s. This document highlights certain aspects of the character of the cottages before restoration. Including the fact that only two cottages were in their original condition. Another document notes that there were thirteen two bedroom cottages, and three one bedroom cottages. The houses had tiny doors and windows, mostly crooked and mostly original. Ceilings were low and rafted, with reed in some of the kitchens. Backdoors were stable doors, with old hinges. Some floors were yellowwood, but most were about six inches below street level. One little cottage had a slate stoep, and an "old man lived in a cottage which had a ceiling covered in tapestry; said to have been there his entire life". [Simon van der Stel Foundation, Bulletin 9, October 1964].

The restoration project was undertaken by CA Broodryk & Cutting Architects. Where possible, during the 1968 renovation, walls, ceilings, doors and windows were retained, including reed ceilings. Recycled klaat and other doors, windows and shutters were purchased from the University of Stellenbosch, after the demolition of Denneoord. Four panel doors and period fittings as well as interior and exterior light fittings were sourced or reproduced to order. A Cape Town based company was commissioned to mix the paint colours for the doors and windows to precisely match Malay colours. [Melville Cutting, Graaff Reinet Advertiser, July 13, 1970]

These typical Karoo-style cottages have flat roofs, stepped or pitched parapets with face brick stoeps (added in the 1960s). The front of all buildings have similar four or six panel doors with



FIGURE 31: Stretch's Court before restoration c. 1968 [Mark Senekal]

fanlights and matching brass fittings. Windows to the front are mainly twelve-pane sash windows with louvered shutters. A variety of shapes and styles of windows and doors appear to the sides and rear of the cottages. Windows vary from two to fifteen-pane sashes, and five to fifteen-pane casement windows. Doors vary from stable doors, to single panel and pane doors, to double panel and pane french doors.

Internally, ceilings vary between Oregon Pine, SA Pine, reed and plaster board. Wooden ceilings have beams, a few of which are Oregon pine. Room 14E has a matchboard ceiling. Floors vary between Oregon Pine, Pine, laminate and carpeted concrete and wooden floors, with an occasional slab at the threshold to some rooms, where new door openings were made. Built in the 1960's, the staircases are Meranti and Pine.

Mainly three sets of plans have been used in the fabric analysis. The earliest dates to the 1968 restoration to residential accommodation (dotted lines illustrate walls proposed for demolition); the 1975 renovation to hotel accommodation, and the existing plan from the architectural survey conducted in November 2012.

Fabric analysis and site photos (refer Annexure A) of the cottages are explored in greater detail on the following pages. Three degrees of intactness have been identified and assigned to the cottages, along with their proposed heritage grading:

- >>1 Wall fabric 70 to 90% intact. Some internal finishes significant to the character of the building. Replace / patch inappropriate finishes with that stripped from other buildings i.e.. Oregon Pine instead of plasterboard, carpeted concrete.
- >>2 Wall fabric 50 to 70% intact. Internal finishes not significant but authentic to the character of the building. Allow internal finishes to be replaced / patched from stripped cottages, or updated with minimal intervention to the remaining historic wall fabric.
- >>3 Wall fabric 20 to 50% intact. Internal finishes not significant nor authentic to the character of the building. Allow full extent of interior to be updated.

>>significance

Aesthetic significance: the unified facades and continuity of the street scape. They form an ensemble and coherent streetscape of distinction.

>>Existing Grading as a group: II

>>Recommended Grading as a group: IIIA



FIGURE 32: Stretch's Court after restoration [Mark Senekal]

02 HERITAGE RESOURCES & SIGNIFICANCE

Cottage 1

The images below illustrate this building as it was pre-1968 and how it looks today. It is attached at both sides to cottages 2 and 15. It was a double storey shed-like structure with barn doors at street level, and a full length door above. The 1968 plan shows 2 large rooms, suggesting a single storey at the back. In 1969 it was converted into an office with a spiral staircase to the upper level. This plan shows the changes to the front and back facades, demolition of the middle of the central spine wall, and the added floor to the back. The difference in age between front and back rooms is evident in the remaining reed ceiling (upper floor) and Oregon pine beams and ceiling (ground floor) of the front rooms. The back rooms have pine ceilings and floors. The plan also shows an inter-leading door between the front and back room, and another from the back room to the cottage next door (cottage no 15). There is a difference between the 1975 and 2012 plans, in that the layout is swapped around, (staircase to the left instead of the right), suggesting that changes were made on site during construction.

The shell is intact, however the south section of the upper floor was added in 1969, and therefore no historic fabric exists here. A small portion of the west and east sections of the internal spine wall remain. The south wall of the first floor front room is mostly intact. The use of materials such as reed and Oregon pine for ceilings and floors is historically significant. These materials are significant to the character and history of this cottage as an old outbuilding.

- >>Degree of intactness: 1
- >>Existing Grading: II
- >>Recommended Grading: IIIB



No. 1 Stretch's Court today [Urban Concepts]



No. 1 Stretch's Court prior to restoration [Mark Senekal]



FIGURE 33: Stretch's Court layout, numbering and grading [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE



No. 2 Stretch's Court today [Urban Concepts]



No. 3 Stretch's Court today [Urban Concepts]



No. 4 Stretch's Court today [Urban Concepts]



No. 5 Stretch's Court today [Urban Concepts]

Cottage 2

Figure 31 shows this building much as it is today. It is attached to cottage 1, and the shell is in tact. The dimensions of majority internal walls suggest that these are newer. The only probable historic fabric is the west side of the spine wall separating front from back. The ceilings are plaster board throughout, and the floors are wood strip Oregon pine in the front bedroom A, and carpeted concrete in bedroom B. There is no historic value in retaining any of the interior finishes.

>>Degree of intactness: 3

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 3

Like cottage 2, figure 31 shows this building much as it is today. The shell is intact, and the dimensions of the majority of the internal walls suggest that these are intact and therefore a substantial amount of historic fabric exists, with the exception of the dividing wall between the existing bathrooms. The ceiling finishes are Oregon pine to the front room, and plaster board to the back room. The floors are Oregon pine wood strip. There is historic significance in the use of Oregon pine. There is no significance in the plasterboard ceiling.

>>Degree of intactness: 1

>>Existing Grading: II

>>Recommended Grading: IIIB

Cottage 4

Figures 31 shows a pitched roof building with a flat roof extension. Cottage 4 and 5 are attached. Cottage 4 is the flat roof building. Additional rooms existed to the west, which were demolished in 1968. The shell and dimensions of the walls of the north west room suggest that these are intact and therefore historic fabric exists. The remaining internal walls may retain a little historic fabric, but are mostly new walls. The ceiling and floor finishes in the front rooms are Oregon pine. The floors are part patched in places. The back room ceiling and floor is pine and part concrete or plaster board ceiling. There is historical significance in the use of Oregon pine. There is no significance in the pine and concrete or plasterboard ceiling or pine floors.

>>Degree of intactness: 2

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 5

Figures 31 shows this cottage with a pitched roof with single gable end. Possibly with mono pitched roof to the south room. Majority of the shell is intact. The dimensions of the walls of the north west room and room east of the passage suggest that these are intact and historic fabric exists. The remaining internal walls are all narrower and therefore assumed to be newer. The south east corner of the shell was rebuilt in 1968. The ceiling finishes are Oregon pine and plaster board. The floors are Oregon pine wood strip. There is historical significance in the use of Oregon pine. The use of plasterboard is not significant.

>>Degree of intactness: 2

>>Existing Grading: II

>>Recommended Grading: IIIC

02 HERITAGE RESOURCES & SIGNIFICANCE



No. 6 Stretch's Court today [Urban Concepts]



No. 7 Stretch's Court today [Urban Concepts]



No. 8 Stretch's Court today [Urban Concepts]



No. 9 Stretch's Court today [Urban Concepts]

Cottage 6

Figure 31 shows this building façade with the flat stepped gable that it has today. The entire shell is intact, except for a small portion of the south east façade. Majority of the internal walls are new, however the walls either side of the passage, and the south wall of bedroom A are pre-1968. The dimensions of the dividing wall between bedroom C and D suggest that this is the only remaining internal historic fabric. The ceiling finishes are pine and Oregon pine. The floors are Oregon pine wood strip and carpeted concrete in bedroom C. There is historical significance in the use of Oregon pine. The use of concrete and carpet is not significant.

>>Degree of intactness: 3

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 7

Figure 31 shows this building façade attached to cottage 6, with the flat stepped gable as it is today. The entire shell is intact. The only remaining pre-1968 internal wall divides bedroom and bathroom A. The ceiling and floor finishes are Oregon pine. The floor is patched in part. There is historical significance in the use of Oregon pine.

>>Degree of intactness: 3

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 8

This building is unfortunately not visible in figure 31. The 1968 plan illustrates that the shell is intact. The dimensions and positions of the pre-1968 internal walls suggest that all of these walls are newer. It is highly likely that historic fabric exists in the walls dividing the passage and the two front rooms. The passage ceiling is pine. All other ceilings, beams and floors are Oregon pine, with the exception of bedroom D which has a carpeted concrete floor. It is likely that the Oregon beams, especially those in bedroom C, are original to a period in this cottage, and the use of Oregon as a material is significant. Pine, concrete and carpet is not significant to this cottage.

>>Degree of intactness: 3

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 9

This cottage was added to the street in 1968, in order to fill the street, and for additional accommodation. Therefore no historic fabric exists. Some interior walls were changed in 1975. The ceiling finishes are pine and plaster board. The floors are recycled Oregon pine wood strip.

>>Degree of intactness: no historic fabric exists

>>Existing Grading: II

>>Recommended Grading: IIIC

02 HERITAGE RESOURCES & SIGNIFICANCE



No. 10 Stretch's Court today [Urban Concepts]



No. 11 Stretch's Court today [Urban Concepts]



No. 12 Stretch's Court today [Urban Concepts]



No. 13 Stretch's Court today [Urban Concepts]

Cottage 10

As with cottage 9, this cottage was also added to the street in 1968. Therefore no historic fabric exists. Besides the shifting of functions, no interior walls have been changed since 1968. The ceiling finishes are plaster board and Oregon pine. The floors are recycled Oregon pine wood strip.

>>Degree of intactness: no historic fabric exists

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 11

The 1968 plan suggests that the entire shell, except for a small portion of wall at the north-east corner is intact. Internally, only the western and middle section of the internal spine wall dividing front and back still exists. The remaining walls are all mostly new. The ceiling finishes are Oregon pine. Floors are Oregon pine wood strip, patched in part, and bedroom B has a carpeted wooden floor. The use of Oregon pine is significant.

>>Degree of intactness: 3

>>Existing Grading: II

>>Recommended Grading: IIIC

Cottage 12

The 1968 plan reveals that the entire shell is intact, with the exception of a small portion of wall built to fill in the north-west corner. Internally, little has changed. It is likely that historic fabric exists for the entire length of the wall dividing bedroom A from the passage and bedroom C; the south western and middle of the western wall of bedroom C, and the wall dividing bathrooms B and C (originally part of the shell). The ceiling finishes are Oregon pine. The floors are Oregon pine wood strip, and pine (patched in part). There is historical significance in the use of Oregon pine.

>>Degree of intactness: 1

>>Existing Grading: II

>>Recommended Grading: IIIB

Cottage 13

This cottage was built in 1968 at the same time as cottages 9 and 10. The façade is an exact copy of Cottage 1. Even the peculiar placement of the punctures were copied. Additional interior walls were added downstairs during the 1975 conversion to hotel accommodation. With the exception of the wall adjoining cottage 12, no other historic fabric exists. Ceilings are pine, Oregon pine and plasterboard in bedroom D. Floors are Oregon pine wood strip, pine, and a portion of laminate in bedroom C. These materials are not historically significant to this building.

>>Degree of intactness: no historic fabric exists

>>Existing Grading: II

>>Recommended Grading: IIIC

02 HERITAGE RESOURCES & SIGNIFICANCE



No. 14 Stretch's Court today [Urban Concepts]

Cottage 14

Figure 31 shows this building façade facing onto Bourke Street, with a covered stoep clipped to the stepped gable. Cottage 14 is actually two separate attached cottages, with separate entrances. The entire shell is intact, with the exception of the garage which was a 1968 addition. Internally, minor alterations have been made to shift the functions of the rooms. The north wall of bedroom and bathroom A is intact. The north and south walls of bedroom B are intact. Very little historic fabric remains in the walls of bedroom C. Bedroom and bathrooms D and E are mostly intact, except for some infill where openings were closed. The ceiling finishes are a mix of Oregon pine, pine, reed with Oregon pine beams and matchboard in bedroom E. The floors are wood strip Oregon pine, with a laminate floor in the foyer to bedrooms D and E. The reed ceilings and the use of Oregon pine is of historical significance to this cottage.

>>Degree of intactness: 1

>>Existing Grading: II

>>Recommended Grading: IIIB



No. 15 Stretch's Court today [Urban Concepts]

Cottage 15

Figure 26 shows this building façade facing Bourke Street with a covered stoep. The entire shell is intact. Internally, only the west section of the south walls in bedroom B and C are intact. The remaining walls are all newer. As with cottage 1, to which it is attached, changes were made to the layout during construction in 1975. The main entrance from Bourke Street was moved to the north façade, off of Stretch's Court. Ceiling finishes are Oregon pine. Floors are wood strip Oregon pine, with a carpet in bedroom A. The use of Oregon pine is significant.

>>Degree of intactness: 3

>>Existing Grading: II

>>Recommended Grading: IIIC



FIGURE 34: Stretch's Court from left to right c. 1965, prior to restoration – no 4 with west addition, no's 3, 2, 1 and 15 on the corner [Fransen 2006]

02 HERITAGE RESOURCES & SIGNIFICANCE

2.4 Kromm's Inn

Estimated to have been built in about 1847, the building known as Kromm's Inn is a single storey symmetrical three-bay with stepped parapet at front with moulded cornice; straight parapet at the left hand side with strap moulding at top. The corrugated iron roof slopes from left to right. A later double storey outbuilding is attached to the rear. The walls are plastered brick &/or stone, with sash windows and louvered shutters, an eight-panel door with brass fittings is the front door.

Internal plastered brick/stone with a suspended partly yellowwood floor, spanish reed ceiling in the former passage, the remainder of the ceilings are are. There is an additional glass and wood panel french door to the east elevation, and Victorian fireplace ". [SAHRA file no. 9/2/033/027]

This typical 'Karoo-type' cottage stands on a portion of the original Drostdy grounds along Parlement Street. In about 1857 it had a Victorian ogee (S-shaped) corrugated veranda added with fretwork balustrades, supports and frieze on Parlement Street [Christa Hahne].

JF Ziervogel transferred to CB Ziervogel in 1860. The property changed hands numerous times before it was acquired by De Oude Graaff Reinetse Drostdy (Edms) Bpk in 1987, and incorporated into the Drostdy Hotel complex.

The former residence was converted into a pub, and for a very short while it functioned as a gymnasium (which was unsuccessful).

>>significance

Aesthetic significance: the building forms part of the nucleus of the historic part of Graaff Reinet, being adjacent to the Drostdy and Stretch's Court; opposite a number of other restored Karoo-type dwellings. It contributes to the streetscape and townscape.

Historical significance: the property formed part of the original Drostdy lands, prior to subdivision. It is once again part of this property.

>>Existing Grading: II

>>Recommended Grading: IIIB

[Photographs by Urban Concepts]



Kromm's Inn north elevation



Kromm's Inn east elevation



Fireplace detail



Kromm's Inn north elevation



East elevation access door



Internal shutter detail

02 HERITAGE RESOURCES & SIGNIFICANCE

2.5 Ferreira House and Outbuilding

This building in its original form is a later variant of a gabled house, with a corrugated iron saddle roof, decorative gable trim and a fretwork veranda.

Later additions to the south resulted in a squat roof scape. A second gable was added along Bourke Street. Stepped back and parallel to the original gable. This was later extended south with a lean-to roof, and looks as if it eventually incorporated an outbuilding with an old fireplace and chimney, which was likely the original kitchen.

A variety of two, four and twelve-pane sash windows with louvered shutters and wooden sills are used in the original facades, while the later additions have a variety of two and six-pane sash windows, as well as eight-pane casement windows on concrete sills. All interiors have carpeted wooden floors. The original structure has matchboard ceilings, while the ceiling in the additions are plaster board .

Ferreira house was the former residence of Mrs Rita Ferreira, who ran a fish shop from the now Thibault Room in the mid 20th century.

>>significance

Aesthetic significance: the building forms part of the historic Drostdy hotel complex. It is an example of an aspect of the early architecture of Graaff Reinet, although this style was not very common.

Historical significance: the property formed part of the Drostdy lands, prior to subdivision. It is once again part of this property.

>>Existing Grading: None

>>Recommended Grading: IIIC

[Photographs by Urban Concepts]



Ferreira House & garage west elevation



Ferreira House garage south elevation



East elevation roofline



Ferreira House gable trim



Ferreira House west elevation & forecourt



Door knocker detail

02 HERITAGE RESOURCES & SIGNIFICANCE

2.6 No 5 Parlement Street

Estimated to have been built in about 1873, at the time of the subdivision. It was part of the original transfer of 1847 to JF Ziervogel.

This late Victorian single storey symmetrical three-bay residence was likely to have been erected as a flat or mono pitch, with stepped parapet. Much like the neighbouring Kromm's inn. The later victorianisation resulted in the pyramid roof structure and stoep addition which extends over the boundary line to the pavement.

A later lean-to addition to the back clips onto the pyramid corrugated iron roof. The walls are plastered brick &/or stone, with double and single sash windows with louvered shutters to the front and side elevations. The exterior doors are later fabrications to replace the original frames.

Internal plastered brick/stone with a suspended wooden floor (possibly yellowwood or Oregon pine, or a combination of both). 1980's panel ceiling boards exist throughout. Interior doors are original oregon panel doors and frames, with porcelain and brass fittings. The fireplace was recycled from the old hospital building, and building into an art deco period mantle with keystone and brick design.

A garage / coach house entrance attached to the west of the front elevation has an arched, stepped gable, with an aged lintel, fixed into a wall with a width of approximately 450mm.

>>significance

Aesthetic significance: the building forms part of the nucleus of the historic part of Graaff Reinet, being adjacent to the Drostdy and Stretch's Court; opposite a number of other restored Karoo-type dwellings. It contributes to the streetscape and townscape.

Historical significance: the property formed part of the original Drostdy lands, prior to subdivision. It will once again be part of this property.

>>Existing Grading: None

>>Recommended Grading: IIIC

[Photographs by Urban Concepts]



No 5 Parlement facade



Garage / coach house entrance with aged timber lintel



Double sash windows



South (rear) façade of later lean-to addition



East façade adjacent to Kromm's Inn



Historic wall fabric

02 HERITAGE RESOURCES & SIGNIFICANCE

2.7 Cultural Landscape elements

Walls

There is a historical wall with old carriage entrance along Parlement street, a portion of which dates to before the 1880s. The victorianisation of the hotel led to a section of the wall being demolished to make way for new bedrooms [Figure 23]. This wall section was rebuilt during the restoration in the 1970s.

A second historic wall exists on the south side of the main parking area. Most of this wall has been lost over time. The 1859 surveyor general diagram shows this to be the original site boundary line with Lot No 176, the property containing Stretch's Court. This is likely the last bit remaining wall from the original 1859 boundary, and therefore older than the wall on Parlement Street (c.1870s).

>>significance

Historical significance: the last remaining memory of the 1859 site boundary.

Aesthetic significance: the walls along Parlement Street are significant to the character of this quiet street.

Furrows (leivoor)

Historically, Graaff Reinet was well watered throughout the original grid layout, by a system of furrows enabling the cultivation of the properties due to lack of fresh supplies in the

vast land. The furrows were taken out of use in the 1990s, but they do still exist in open or covered form to the front of the cottages in Bourke Street, Ferreira House, Kromm's Inn, No 5 Parlement Street, and along the south side of Stretch's Court, which mostly run beneath the stoeps of the cottages.

>>significance

Historical significance: the leivoor system is historically significant in that it played a vital role in the growth and survival of the town and its inhabitants, since the water that it supplied enabled the properties to be cultivated.

Vegetation

Although the landscaping stems mainly from planting and formalisation that occurred during the large scale restoration and renovation that took place in the 1960s and '70s, established vegetation such as the line of trees south of the cottages is considered to be significant. This planted vegetation is a crucial element in the Graaff Reinet landscape. The open space to the south of Stretch's Court was historically an orchard, and retention of this area as an open planted space is essential.

>>significance

Social significance: the gardens of the Drostdy Hotel have long been a social memory to those who have visited, stayed or enjoyed a cup of tea or beer in the garden or in the shade of the vine in the Drostdy courtyard. The vegetation at Stretch's Court is a memory of the gardens of the slave cottages.

>>Existing Grading: II

>>Recommended Grading of cultural landscape: IIIB



FIGURE 35: Significant cultural landscape [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE

>> HERITAGE RESOURCES GRADING DIAGRAM

The diagram below illustrates the full extent of the built infrastructure heritage resources and the proposed grading for these elements.

All intervention to graded buildings is subject to the approval of SAHRA.



FIGURE 36: Heritage Resources and grading [Urban Concepts]

02 HERITAGE RESOURCES & SIGNIFICANCE

>> ELEMENTS WITH LOW OR NO SIGNIFICANCE

The diagram below illustrates features or elements contained on the site which are of no or low significance, and which detract from the significance of the site. As a whole.

These are predominantly car ports erected during the 1968 restoration, run down and outdated back of house and service buildings, as well as features such as the swimming pool and pavilion, water features, and planters. Unlike the significant front stoeps, the back patios of the Stretch's Court cottages are not considered to be of any heritage significance.



FIGURE 37: Elements with low or no significance [Urban Concepts]

03

HERITAGE DESIGN
INDICATORS

03 HERITAGE DESIGN INDICATORS

>> HERITAGE INDICATORS

Introduction

The historic property of the Drostdy Hotel reveals many interesting opportunities to restore and enhance its historic character in the town of Graaff Reinet. A thorough site survey and historical research has revealed key characteristics which the property holds, which play a role in its cultural, aesthetic and social significance to the people and the town. These are illustrated in the diagram below [figure 33].

Drostdy, Camdeboo and Thibault Room

The cornerstone of the town; the Drostdy has landmark quality, with its axis and focus on Parsonage Street. The Camdeboo is associated with the Drostdy through the courtyard which links the two buildings. The old Victorian façade of the Thibault Room was added to the hotel precinct later. Together with the Drostdy, these building contribute to the streetscape of the main axis through the town, being Church Street. As well as the character of the town as a whole.

Cobbler's Shop, Kromm's Inn & Garage, No 5 Parlement Street

The cobbler's shop is a small, seemingly inferior building, however vital to the memory of the cobbler's working with the doors open onto the pavement. Kromm's Inn is an example of the different architectural layers which the town experienced from the mid 19th century. No 5 is a late Victorian residence, with adjacent garage. Another example of the different architectural layers which the town experienced during the 19th century. All of these buildings along Parlement Street play an important role in retaining the historical character of this street.

Stretch's Court and Ferreira House

Although some of the Stretch's Court cottages date to the 1960, they form a unified ensemble of facades of Karoo-style architecture, and a streetscape of distinction. Ferreira House seems the latest of the historic buildings. It contributes to the character of the group of historic Drostdy buildings. The outbuilding, is believed to be older than the house, having been an old municipal store.

Historic boundary walls

Although these walls are not associated with the original 1805 structure or layout of the Drostdy lands, these walls are made up of historic fabric dating as far back as the 1850s and 1870's. These walls are a layer of the history of the site layout, and changes which occurred over time.

Leivoor system

Historically, the whole town was watered via furrows from Sunday's River. Taken out of commission in the 1990s, this is an important memory of the development of the town, and the ingenuity of the early residents.

Open spaces and vegetation

The historical layout of the town is very rural, with cultivated portions of land behind houses, watered via the furrows. Open spaces and vegetation is therefore a key characteristic element of the town. A vital element to retain, enhance and conserve. Green spaces play a role in coping with the harsh elements of this part of the country.

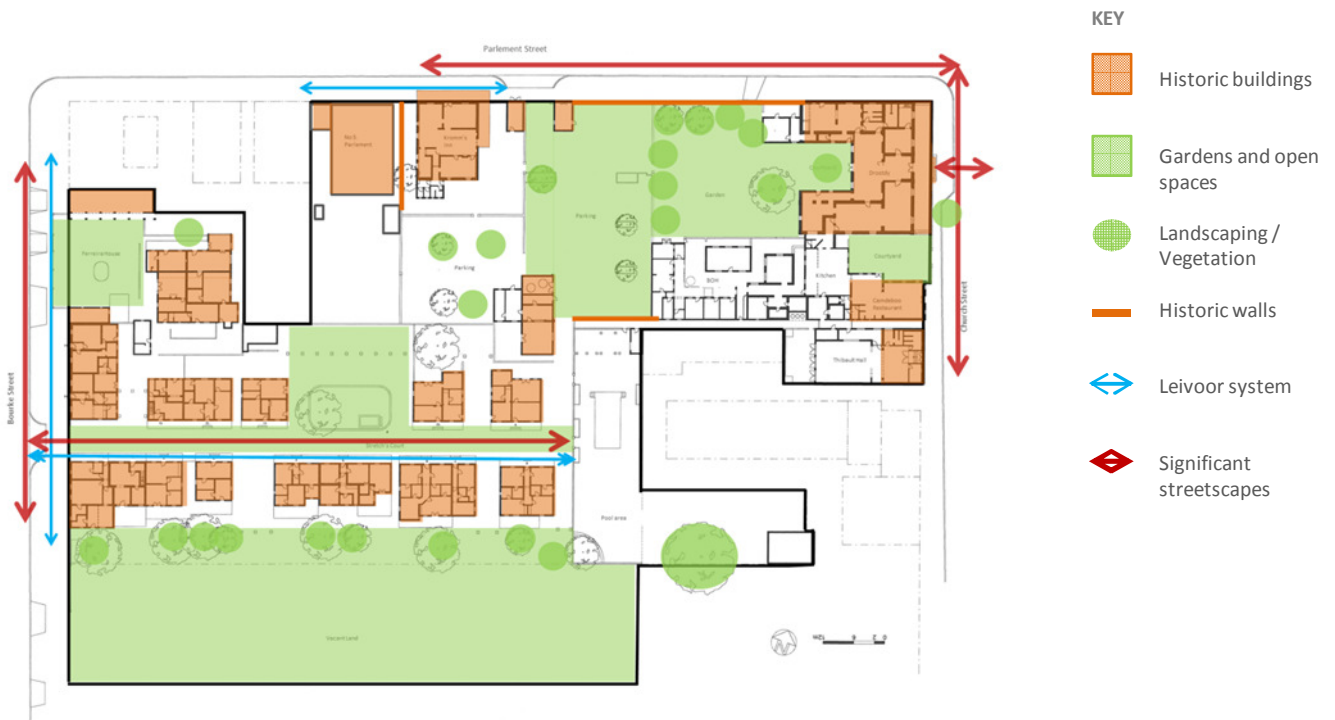


FIGURE 38: Heritage Design Indicators [Urban Concepts]

03 HERITAGE DESIGN INDICATORS

>> DESIGN RECOMMENDATIONS

3.1 Drostdy and immediate vicinity

- Extent of intervention to this building is subject to a thorough fabric analysis and approval by SAHRA.
 - Vineyard in Drostdy courtyard to be retained
 - Ensure future use and long term economic viability by activating the courtyard and creating a link from the wings of the Drostdy to the courtyard (subject to fabric analysis).
 - Drostdy garden to be rehabilitated with the focus on the axis of the courtyard door and front door.
 - Activate southern edge of garden with appropriate use.
 - Remove inappropriate accretions along Northern elevation of Drostdy, to return it to the original U-shape.
 - Historic wall and carriage gate opening at the northern edge is to be retained and restored / celebrated as a focus in the landscape symmetry.
 - Retain the memory of the historic southern property boundary line.
 - The use of werf walls instead of high walls is highly recommended, in keeping with the Cape Dutch character.
 - Retain current parking court as an open space i.e. no buildings
- Restore / re-use the old Cobbler's Shop at the entrance gate (approximate c.1850/60).
 - All new intervention along the historic wall on Parlement Street is to respect the fabric of the wall, and be stepped away from the wall.
 - Retain the existing facades of Thibault Room and Camdeboo Restaurant, the walls and gates along Church street as part of the character of this streetscape.
 - Replace the Thibault Room entrance door with a more appropriate door, in keeping with the character of the façade.
 - Activate the courtyard space on Church Street, between the Drostdy and the Camdeboo Restaurant. Opportunity exists to add openings from the Camdeboo Restaurant building, to ensure future use and economic viability.



Drostdy dining room before closure [Drostdy Hotel]



Drostdy lounge



Drostdy bar display



King George III coat of arms above the door of the Drostdy front facade



Drostdy kitchen hearth

[Photographs by Urban Concepts]

03 HERITAGE DESIGN INDICATORS

3.2 Stretch's Court

External:

- Detailed intervention to all cottages, subject to fabric analysis, to be submitted for approval by SAHRA.
- Retain the figure ground relationship of the footprint.
- Maintain the individual nature of the cottages, and the existing contribution to the streetscape.
- Adopt a suitable heritage conservation approach to the renovation i.e. new plaster adequate to the breathability requirements of mud brick walls.
- Retain the significant layer of the individual colours of the windows and doors.
- Stoeps to be upgraded to a more suitable finish (subject to approval by SAHRA).
- Remove old and inappropriately placed wiring and piping from all visible facades.

Internal:

- Detailed intervention to the interior of cottages graded IIIB to be submitted for approval.
- Cottages which have a high degree of intactness [refer 2.3] must be retained as such and "patched" where necessary with fabric from the other cottages, i.e. re-use Oregon beams and ceiling from cottage 8 in cottage 3, and Oregon wood strip flooring from cottage 8 to repair patched floor in cottage 12.
- Apply new plaster adequate to the breathability requirements of mud brick walls.
- Where possible, expose features of the historic wall fabric.

3.3 Kromm's Inn

External:

- Detail of intervention to be submitted for approval by SAHRA.
- Ensure the retention and enhancement of the significance of this building along the Parlement Street streetscape by retaining the figure ground relationship and historical layering of the Victorian veranda.
- Repair / replace and maintain the veranda fretwork.
- Retain fixtures to openings i.e. window shutters and door fixtures.
- Apply new plaster adequate to the breathability requirements of mud brick walls.
- Remove old and inappropriately placed wiring and piping from all visible facades.

Internal:

- Remove drywall partitioning, ensure minimal intervention to the remaining historic fabric
- Retain authentic internal features i.e. Oregon floors, reed ceiling, window & door frames & furniture, shutters, fireplace, recessed wooden display cabinets.
- Repair/retain existing fittings to doors and windows where possible, and appropriate.
- Assign more appropriate low-key use to this building.

[Photographs by Urban Concepts]



Front door example



Front door example



Front door handles



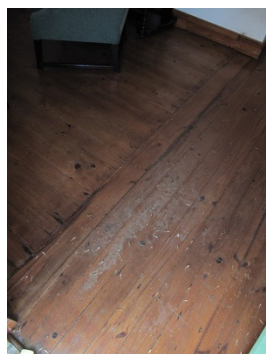
Stretch's Court walled architecture



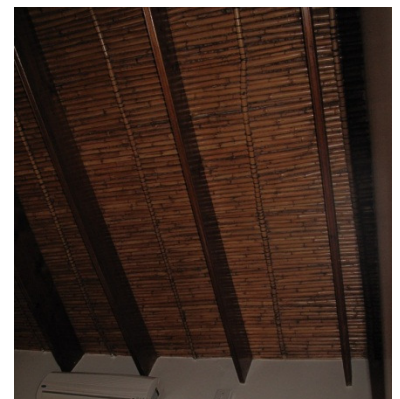
Window example



Window example



Majority internal floors



Cottage 14 reed ceiling

03 HERITAGE DESIGN INDICATORS

3.4 Ferreira House & Outbuilding

External:

- Retain the figure ground relationship to Bourke Street.
- Remove old and inappropriately placed wiring and piping from all visible facades.
- Retain the forecourt as an open landscaped space.
- Permeable boundary enclosure to allow the gables of the façade to be viewed from the street edge.

Internal:

- Extent of internal intervention is not restricted, with the exception of the retention of the fireplaces.
- Repair/retain existing doors, windows and shutters where possible and appropriate.

3.5 No 5 Parlement Street

- Retain the figure ground relationship to Parlement Street.
- Retain character of the Parlement Street facade, including the old coach entrance gable and opening dimensions.

3.6 New building intervention

- All new buildings and intervention must take on a more contemporary approach - visibly different from the old or historic buildings or fabric, and not try to copy or imitate the existing buildings or elements. They should be visually harmonious and not contrast jarringly with the identified heritage resources.

3.7 Cultural Landscape

- Reduce landscape clutter i.e. replace potted plants. With a simplified, integrated, planted landscape (planters/beds).
- Retain the significant and mature planting; replace old / dying plants / trees with indigenous species, ensuring successful greening of the site.
- The use of werf walls instead of high walls is highly recommended, in keeping with the Cape Dutch country farm feeling.
- Conserve the historic walls. Retain the memory of the old property cadastral lines through retention of walls or wall fabric for appropriate re-use.
- New gates / posts to be contemporary, not copy the existing (i.e. Church Street courtyard) and visually permeable.
- Retain the memory of the “leivoor” system along Stretch’s Court, through re-use - a grid cover, integrated into the storm system or a pumped water feature system.
- Driveways/parking areas to retain the feeling of an urban landscape rather than a street i.e. surface material, planting, landscape furniture (subject to approval by SAHRA)
- A landscape architect should be appointed to prepare a tree planting plan, which could knit together the existing and proposed tree pattern, to strengthen the character of the site in contrast to the harder quality of the proposed paving.

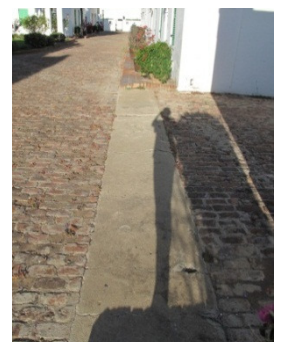
[Photographs by Urban Concepts]



Old Cobbler's Shop (approximate c. 1850/60)



Church Street courtyard gates



Stretch's Court leivoor



Thibault Room ridge line with cresting



Drostdy garden and courtyard



Ferreira House leivoor

04

DEVELOPMENT DESCRIPTION

04 DEVELOPMENT DESCRIPTION

4.1 Architects Conceptual Design Statement



12049 Drostdy Hotel, Graaff Reinet

Architect's Conceptual Design Statement

28 April 2013

Introduction

The Drostdy first opened its doors as a hotel in 1878, having previously served first as a Magistrate's Court and then as a private home. Overtime the hotel established a reputation as one of the finest heritage hotels in the country.

Despite undergoing extensive alterations and eventual restoration during the course of the building's life, the old hotel had become fairly run down in recent years.

The hotel was purchased in its run down state by its new owners, who shortly afterwards decided to close the hotel in order to allow for the development of a proposal for the extensive refurbishment and rehabilitation of the hotel buildings, and to allow for the construction work that will follow.

Vision

The new owners' vision for the property is to undertake an extensive refurbishment project, carefully rehabilitating the existing historic buildings and adding a number of new facilities in order to create a luxury country hotel with between 45 and 50 rooms.

The vision is to restore the Drostdy to the stately property it once was and to re-establish its reputation as the best accommodation in Graaff Reinet and the surrounding area.

Development Description

The Drostdy property consists of many individual buildings, a significant number of which are considered to be of heritage value. The proposal is to deal with each of the historic buildings individually, carefully rehabilitating and where necessary sensitively altering them in order to revitalise the buildings and give them a central function within the new Drostdy hotel.

These buildings include:

- The Drostdy building which will undergo mostly maintenance work, with very little alteration to accommodate the hotel lounge, hotel bar, function rooms and offices.
- The Camdeboo Restaurant area which will be carefully rehabilitated to accommodate a gallery.
- The Thibault Room which will be rehabilitated and altered internally to accommodate a shop.

04 DEVELOPMENT DESCRIPTION

- Kromm's Inn which will be converted into a spa. This building will be sited within a newly created spa courtyard.
- The Stretch's Court buildings, which previously housed hotel rooms, will have their exteriors extensively rehabilitated and will be altered internally to accommodate luxury hotel rooms. Stretch's court will be pedestrianised, retaining the existing gates, slave bell and street structure, but no longer permitting vehicular access.
- The Ferreirs House, which also previously housed hotels rooms, will also be extensively upgraded and rehabilitated to accommodate luxury hotel rooms. The garden of the Ferreirs House will be newly landscaped and will accommodate a pool for the exclusive use of the Ferreirs House suites.

It is proposed that the existing much newer buildings, which are of no heritage significance, and all of which have deteriorated in condition through a lack of maintenance, be demolished to make way for new structures to accommodate additional hotel facilities.

These include:

- The existing back of house areas, which will be demolished and replaced with new kitchen facilities, restaurant and reception area. The new restaurant will, together with the lounge and bar in the Drostdy building, open onto the Drostdy garden and courtyard. The garden, though newly landscaped, will retain its mature trees, existing axial design and existing planted pergola.
- A new, concealed back of house facility and service courtyard will be constructed to support the hotel operations.
- A new building called Kromm's Court will be located behind Kromm's Inn, adjacent to Stretch's Court. This building will consist of a number of new hotel suites which form a courtyard around a new pool.
- A new, larger pool, pool room and terrace will be built in the area of the existing Stretch's Court lean and pond, in the middle of Stretch's Court..

Access to the site and parking for guest vehicles has also been reconsidered in the design proposal. Access to the site will be provided off of Parliament Street, after which vehicles will pass to the hotel porte cochere and the new reception area where guests will be received. From the porte cochere vehicles will be able to move to the new landscaped parking area to the south. From the parking area vehicles will be able to exit the property onto Bourke Street.

This simple vehicular circulation system, together with a carefully designed network of pedestrian walkways, will eliminate the conflict between pedestrians and vehicles that previously existed on the site. The controlled vehicular access and egress points will also assist in controlling security.

It is the intention that all of the proposed works on the property be undertaken with the utmost sensitivity to the historic buildings, while also ensuring that the necessary spaces are provided for the smooth operation of a luxury hotel property, as envisaged by the owners.

04 DEVELOPMENT DESCRIPTION

4.2 Additional information

In addition to the Architect's Conceptual Design Statement; the following design components are to be noted.

It is proposed that the vehicular entrance to the property be relocated to the left side of the old Cobbler's shop on Parlement Street. Aligning the entrance with the new driveway all the way through the property, to the parking. The Cobbler's Shop will be converted into the Security office for the entrance.

The swimming pool will be relocated to a more appropriate location in Stretch's Court, clearing the existing area for the new driveway and ensuring better screening and privacy for hotel guests and bathers.

The demolition of the rear 'hall' portion of Thibault Room, creates an opportunity for the relocation and reconfiguration of the Back of House functions for the hotel to this area, alongside the existing Municipal building.

The slave bell memorial which was erected at the opening of Stretch's Court (Drostdy Hof) in 1970 will be relocated to a focal point at the east end of Stretch's Court. A new set of gates at the west end of Stretch's Court will secure the street, while retaining visual permeability from outside the property.

The intention of the proposed additional openings in the walls along the north and south wings of the Drostdy courtyard is to create direct access/a link from the inside to the outside of the building. Specifically from the internal seating areas to the external courtyard. This is in line with the intended future uses of the areas within these wings, ensuring sustainable long term economic viability of this building.

04 DEVELOPMENT DESCRIPTION

4.3 Indicative existing and proposed master plan

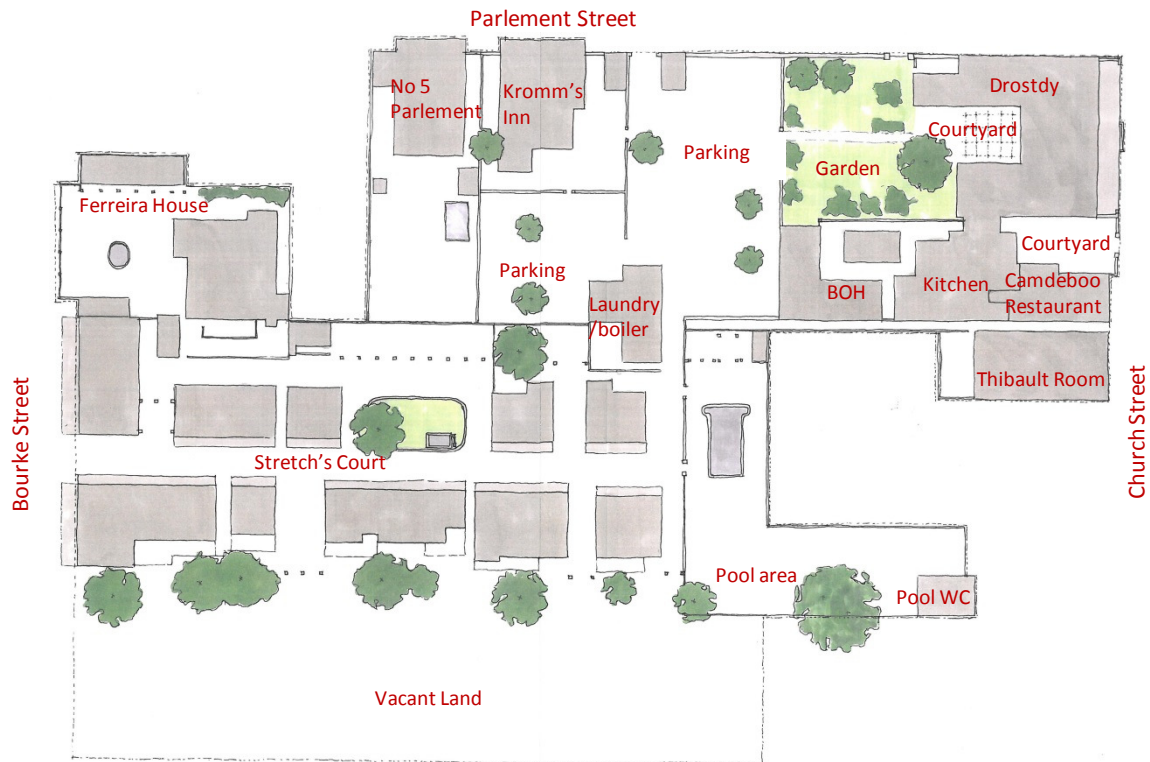


FIGURE 39: Indicative existing site layout [refer to Annexure B: dhk Architects]

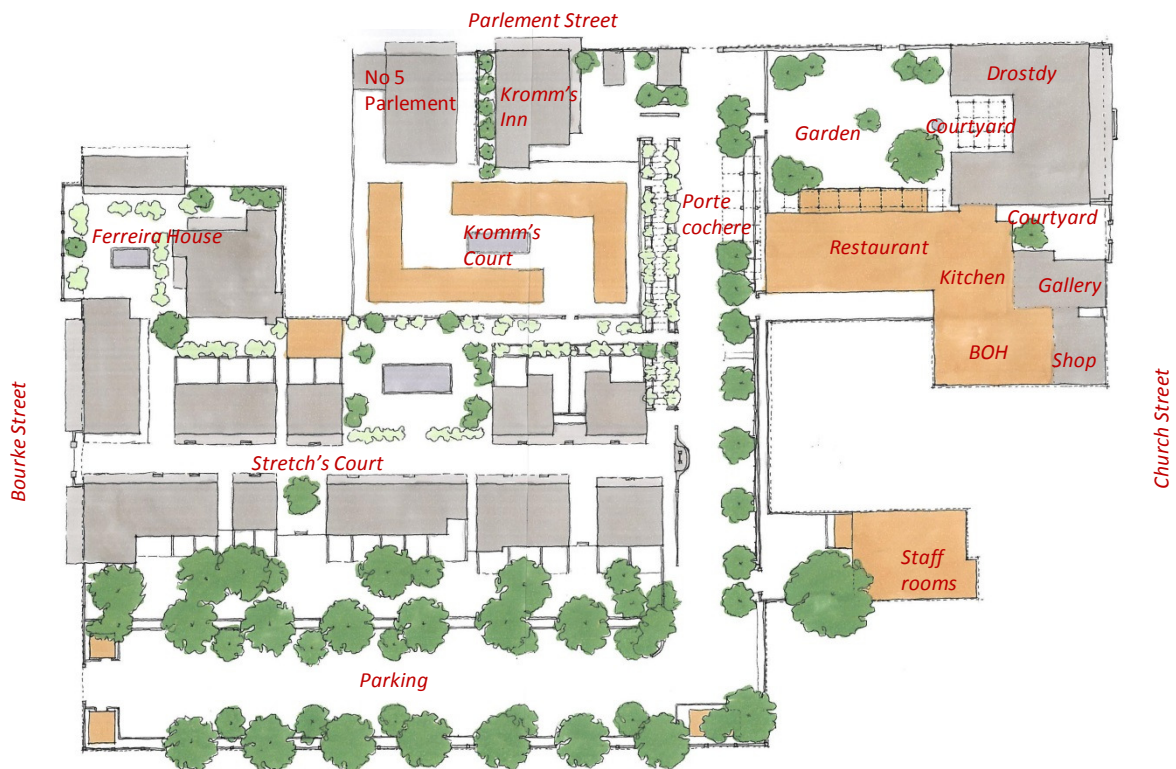


FIGURE 40: Indicative proposed master plan [refer to Annexure C: dhk Architects]

04 DEVELOPMENT DESCRIPTION

4.4 Proposed demolitions to building infrastructure

Figure 41 below illustrates the existing building infrastructure, with grading; against figure 42 which is an indicative diagram of the proposed extent of demolitions to buildings.

The architects demolition plan is available in an A3 colour print format in Annexure D, at the back of this document. The red

lines which illustrate the proposed demolitions are unfortunately very fine, therefore the indicative diagram below.

Where full demolition of a structure is proposed, this is illustrated in red. Where only partial internal demolitions are proposed, this is illustrated in orange.

Note that intervention to the Drostdy and Stretch's Court is guided by and subject to fabric analysis [Annexure A].



FIGURE 41: Existing building infrastructure and grading [Urban Concepts]



FIGURE 42: Indicative extent of proposed demolition to building infrastructure [refer Annexure D - dhk Architects]

04 DEVELOPMENT DESCRIPTION

>> Images of elements proposed for demolition

The following pages are images of the buildings and structures proposed for demolition.

[Photographs by Urban Concepts]



Drosty addition to Ladies' bar [north wing]



Interior of Drosty addition



Swimming pool, pavilion and service hatch



Swimming pool ablutions



Boiler room



Laundry room and housekeeping store

04 DEVELOPMENT DESCRIPTION

[Photographs by Urban Concepts]



Drostdy kitchen Back of House and stores [south wing]



Drostdy kitchen Back of House and stores [south wing]



Drostdy kitchen Back of House and stores [south wing]



Thibault Room rear extension [south elevation]



Thibault Room interior of hall extension [looking towards Church Street]



Thibault Room rear extension façade [west elevation]

04 DEVELOPMENT DESCRIPTION

4.5 Proposed demolitions to landscape infrastructure

Figure 43 below illustrates the existing landscape infrastructure, against Figure 44, which is an indicative diagram of the proposed extent of demolitions or changes to these elements.

Note that it is proposed for the slave bell to be relocated, and not entirely removed from the property.



FIGURE 43: Existing landscape infrastructure [Urban Concepts]

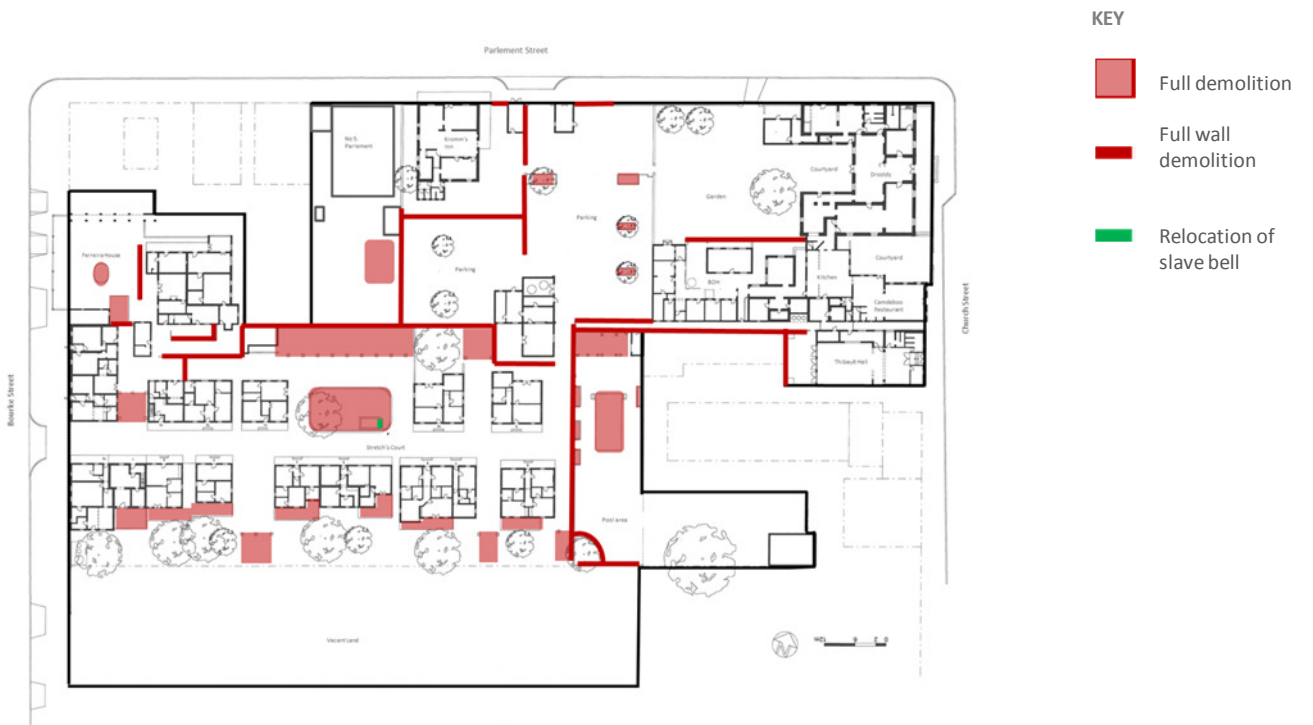


FIGURE 44: Indicative extent of proposed demolition to landscape infrastructure [refer Annexure D - dhk Architects]

04 DEVELOPMENT DESCRIPTION

[Photographs by Urban Concepts]

>> Images of elements proposed for demolition

The following pages are images of the buildings and structures proposed for demolition.



Walls and planters at Kromm's Inn and the main parking area. The rear of the Cobbler's Shop and historic wall on Parlement Street are seen off centre to the right.



The portion of historic wall to the left of the Cobbler's shop will be demolished to make way for the new entrance.



The last remaining portion of the original site boundary wall, to be demolished for the new driveway axis.



Wall dividing Kromm's Inn and the additional parking court



Gateway at Kromm's Inn

04 DEVELOPMENT DESCRIPTION

4.6 Extent of intervention to the Drostdy

Figure 45 alongside is the result of the fabric analysis contained in Annexure A.

Figure

The proposals for the Drostdy are for minimal intervention to the historic fabric while realigning uses to ensure the retention and enhancement of the heritage significance of this building. The proposals are to ensure long term sustainable economic viability.

Two key areas of intervention:

1. Changes to the link between the kitchen addition and Drostdy (south). The fabric analysis of this building [Annexure A] indicates that historic fabric at this intersection with the kitchen has been severely compromised, due to numerous alterations since the late 1800's. No historic fabric is affected by the proposed interventions.
2. Proposed demolition / alteration to this building is intended to create additional openings in the south and north wings of the internal courtyard walls to the building. These elements were an 1847 addition. The proposed openings create the opportunity for direct access from these wings into the courtyard. Figure 45 illustrates the existing historic fabric. The image reveals spaces; openings which either still exist or have been filled. Figure 46 is an extract from the proposed demolitions diagram.

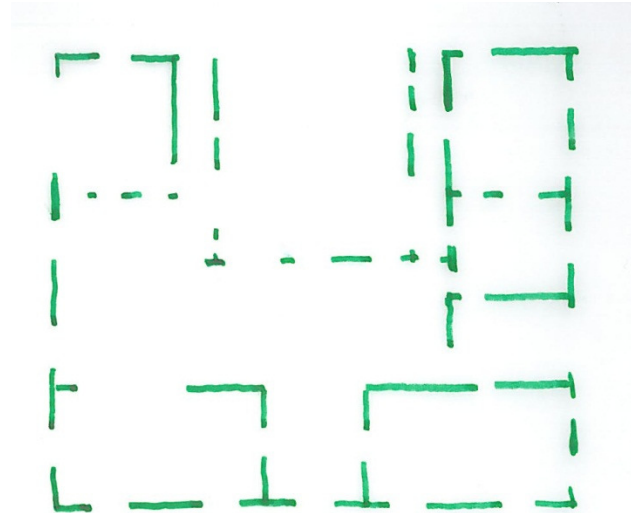


FIGURE 45: Drostdy 2012 remaining historic fabric [refer Annexure A - Urban Concepts]

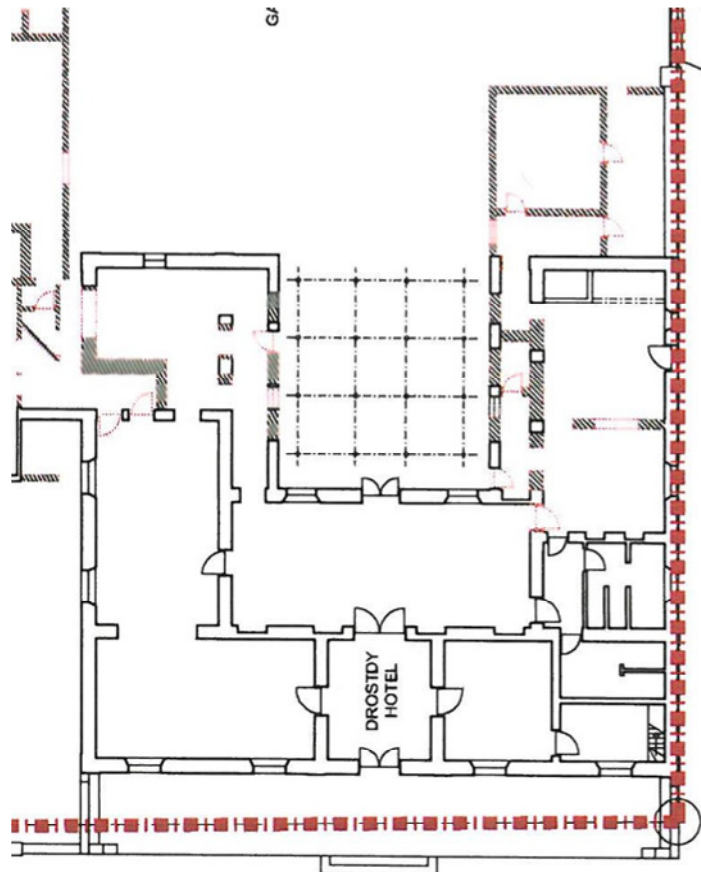


FIGURE 46: Proposed extent of intervention to the Drostdy building [extract from Annexure D - dhk Architects]

05

CONSULTATION

05 CONSULTATION

5.1 Consultation

Submissions for comment to Heritage Authorities and Interested and Affected Parties (I&APs) will be done in stages:

Stage 1: *Draft Heritage Statement with existing site plan and proposed master plan, with high level proposal ideas; including a proposed demolition plan for approval.*

*The intention is to obtain **first round comments** from the adjoining neighbours and the Graaff Reinet Heritage Society. This will run parallel to **obtaining interim comment, endorsement of heritage grading and approval of the proposed demolition plan** from the Heritage Authorities (SAHRA).*

Stage 2: *Second draft Heritage Statement with existing and proposed detailed sketch design. Comments from the first round of participation will be included here.*

The intention is to obtain final comments from the Graaff Reinet Heritage Society, and to obtain the final round of comments and in principle approval of the sketch designs from the Heritage Authorities (SAHRA); as well as final endorsement of the demolitions plan, if not yet obtained.

Stage 3: *Feedback received from Stage 2 will be incorporated into the final **permit application** documentation to SAHRA.*

5.2 Comments

Graaff Reinet Heritage Society (GRHS)

The project was tabled at the GRHS Committee meeting on 7 May 2013, and formal *written feedback has been received* and included in Annexure F of this document. The GRHS have also sent written endorsement of the approach to the public participation component of this application.

Camdeboo Municipality Heritage Department

The project was discussed in a meeting on 8 May 2013 between the Building Inspector, Mr Brian April and the Chairman of the Graaff Reinet Heritage Society (GRHS), Mr Peter Whitlock. Mr April has subsequently sent an email to the author confirming that this meeting had taken place. Noting that the Municipality will base their response on the response from the GRHS. We have subsequently received the response from the GRHS, but have not yet received a response from the Municipality. Please refer to Mr April's email included in Annexure F of this document.

Directly Adjoining Neighbours

The professional team have communicated with all registered property owners as per the municipal rates database, either via telephone, email or physical post. Consultation is currently in process via email submissions to those property owners whom the team have managed to establish communication with. Thus far only 2 responses have been received. Please refer to the emailed responses (erf 6597 11 Parlement Street & 1157 38 Church Street) included in Annexure F of this document.

South African Heritage Resources Agency (SAHRA)

Consultation is happening parallel to the first draft submission to the I&APs. This section will be updated with the comments received, prior to the submission of the next draft.

Eastern Cape Provincial Heritage Resources Agency (ECPHRA)

Consultation is happening after the first draft submission to SAHRA for comment. This section will be updated with the comments received, prior to the submission of the next draft.

06

DEVELOPMENT IMPACT
ASSESSMENT

06 DEVELOPMENT IMPACT ASSESSMENT

6.1 Master plan

Heritage significance

The site of the Drostdy Hotel has varying degrees of significance. Historical cultural significance: its origins in the early 19th century as the Drostdy of the fourth district of the Cape Colony. Social cultural significance: its long history as a hotel, hosting visitors and events of varying degrees of importance. It was a tourist attraction up until closure. Aesthetic significance: lies in its stature and prominence as the focus of Parsonage Street. It has a landmark quality along Church Street which is the main axis through the town.

>>Assigned Grading: Provincial Heritage Site Grade II

Potential Impact

The shape and size of the property has gradually changed through land purchases and consolidations. This results in an oddly shaped property, which presents challenges to the spatial flow and layout.

The approach to this has resulted in a proposed spatial design which severs the property with a driveway. Separating the “public” (restaurant/lounge) and “private” (overnight accommodation) areas, and removing historic boundary wall fabric to create an axis through the site.

The property has a history of public access, both as a heritage resource and a place of interest or tourist attraction. The site severance forms a barrier, deterring access to the private areas.

The proposal to remove insignificant structures which are outdated and inadequately placed has a positive impact on the property. This action simplifies the property and assists in a better spatial arrangement.

The proposed relocation of the Back of House/Stores, staff restrooms and ablution facilities is positive. The management of these facilities is removed from the sensitive historic areas and screened from visitors and public.

The retention of facades along Church Street and introduction of retail accommodation in these buildings is positive. This reactivates the street edge and enhances the character of the streetscape of this portion of the main axis through Graaff Reinet.

The garden and courtyard play an important role in the whole experience of the hotel. The location of a new restaurant and reception building on the southern edge of the garden has a positive impact on the future use and significance of the garden. A great improvement to the existing noisy and busy back of house operations currently located here.

The location for new accommodation is suitably screened from the street by Kromm’s Inn and No 5 Parlement Street. Retaining the characteristic Parlement Street streetscape. This area is currently undeveloped (backyard and parking area). It is likely that there is a chance of archaeological finds during excavations.

Mitigating Measures

Careful management and treatment of the driveway and parking areas will lessen the impact of site severance. By adopting an urban landscape approach rather than that of a street. Major planting, careful surface material selection and layout design will soften the edges.

Paving materials, design and position are to link the various areas of the vast property, enforcing the characteristic nature of the property as a unified whole.

The loss of historic boundary walls to accommodate the new driveway axis is to be mitigated through the re-use of historic fabric and material as an inlay to the driveway, at the exact positions, with the exact dimensions of the walls.

As a heritage resource, a certain degree of public access must be retained while respecting the right to privacy for paying guests. A system of formal, booked and charged guided tours are to be implemented. Restricting numbers for noise control. Effectively become a “heritage walk”, which feeds off of a system of information boards strategically placed across the site at places of historical interest i.e. the area of the historic boundary walls.

06 DEVELOPMENT IMPACT ASSESSMENT

6.2 Individual buildings

DROSTDY

Heritage significance

The social and aesthetic cultural significance of the Drostdy lies in the architecture, and association with renowned French Architect Louis Michel Thibault. A fine example of early 19th century Cape Dutch style architecture. It's social historical significance as a hotel, which accommodated many well known personalities, and the frequent reference to it in historic travel journals.

>>Recommended Grading: II

Potential Impact

The authenticity of the existing structure has been severely compromised through the numerous previous alterations and changes in style and form. The current proposals therefore pose no risk of negative impact to the character of the building, and very little risk of negative impact to the historic building fabric.

The proposed additional openings to the wings along the courtyard has minor negative impact on the remaining of the 1847 addition. The fabric analysis [Annexure A] reveals the extent of remaining fabric, after identification of positions of previous openings.

Mitigating Measures

The fabric analysis [Annexure A] illustrates which areas of these walls would allow for the careful insertion of new openings.

The proposal to add openings to the wings along the courtyard have a positive impact on the future usability of the internal spaces. Creating a positive visual and physical link from the internal spaces to the courtyard.

The use of the symmetry and scale of existing openings from the lounge to the courtyard, with contemporary window and door furniture, lends balance to the adapted facades and clearly identifies new intervention.

DROSTDY: ASSOCIATED BUILDINGS

The Camdeboo Restaurant and Thibault Room on Church Street, and the Cobbler's Shop on Parlement Street are included in the Drostdy Hotel heritage site.

Heritage significance

Aesthetic cultural significance: These buildings are significant, predominantly as part of the character of the town and streetscape. Social cultural significance: the memory of the cobblers working from their shop with the doors open onto Parlement Street.

>>Recommended Grading: IIIC

Potential Impact

The current proposals pose no risk of further negative impacts to these buildings.

The proposed new uses will have a more positive impact the overall experience of these buildings.

KROMM'S INN

Heritage significance

The heritage significance of Kromm's Inn lies in its role as part of the historic Drostdy complex of buildings. As well as its contribution to the character of the Parlement Street streetscape.

>>Recommended Grading: IIIB

Potential Impact

The authenticity of much of the internal historic walls and window frames has been compromised through the conversion for use as a pub. The current proposals pose no risk of further negative impacts to the Kromm's Inn building.

The conversion of Kromm's Inn to a more sensitive use is considered a great improvement.

Mitigating Measures

The retention and conservation of the remaining authentic features (refer to Section 3: Heritage Design Indicators) preserves the character of the internal space.

Re-instatement of old walls where possible and required (i.e. treatment rooms for spa) partially returns this space to the original layout.

06 DEVELOPMENT IMPACT ASSESSMENT

STRETCH'S COURT

Heritage significance

The aesthetic cultural significance: a row of unified facades which form an ensemble and coherent streetscape of distinction. A visual tourist attraction.

>>Recommended Grading as a group: IIIA

>>Recommended Individual Grading: various IIIB and IIIC

Potential Impact

The authenticity of the historic fabric was severely compromised through time, decay and the extensive renovations in the late 1960s. The current proposals pose little or no risk of negative impact to the historic fabric of these buildings.

The proposed reconfiguration of the internal layouts of the cottages is considered positive. Some of which have small, pokey and strange arrangements for accommodation. There is no negative impact on the streetscape or facades.

The new gates proposed to close off access from Bourke Street for security reasons does have a negative impact on the view and accessibility from Bourke Street.

Mitigating Measures

The re-use of quality stripped internal finishes and materials to patch areas of previous negative intervention to intact cottages is positive. This results in a group of cottages retaining their internal historic character and high degree of intactness. Providing the opportunity for more modern internal finishes to the cottages with a lesser degree of intactness.

Implementation of visually permeable security gates at the access to Bourke Street will assist in retaining some form of view from Bourke Street.

Guided tours through the site will act as a mitigating measure to the closure of the public accessibility previously experienced from Bourke Street.

FERREIRA HOUSE & OUTBUILDING

Heritage significance

The heritage significance: Ferreira House and outbuilding forms part of the historic Drostdy complex of buildings - a collection of old structures.

>>Recommended Grading: IIIC

Potential Impact

The current proposals pose no risk of negative impact to either of these buildings.

The proposals result in a more positive use for the outbuilding, as additional rooms, instead of garages and parking.

NO 5 PARLEMENT – VICTORIAN VILLA

Heritage significance

Aesthetic cultural significance: this building forms part of the historic Drostdy complex of buildings and contributes to the character of the Parlement Street streetscape.

>>Recommended Grading: IIIC

Potential Impact

There are no proposals for this building in the current scheme.

Proposals for the area behind this building create an opportunity to incorporate this building into the new accommodation in future, should there be a need to further extend the facilities.

6.3 Landscape

Heritage significance

The boundary walls are of social cultural significance as a memory of the past boundaries and layouts of the Drostdy lands. The Parlement Street wall is historically and aesthetically significant to the character of this street.

The leivoor system has historical cultural significance in its use. The ingenuity of this idea dating back to the origins, growth and survival of the town and its inhabitants. Since the water that it supplied enabled the properties to be cultivated.

The gardens of the Drostdy have a social cultural significance to those locals and travellers who visited or stayed overnight and enjoyed a cup of tea or beer in the garden, or under the shade of the vine in the Drostdy courtyard.

The memorial slave bell has social cultural significance. Erected at the opening of Stretch's Court in 1970 by then Prime Minister BJ Vorster in memory of the slaves.

>>Recommended Grading: IIIB

Potential Impact

The proposed removal of a portion of the historic wall along Parlement Street impacts negatively on the wall fabric. However, majority of the wall and coach entrance is retained and maintained.

The proposed demolition and removal of the original southern boundary wall has a negative impact on the historic wall fabric, and memory of the old cadastral layout of the 1859 property boundary.

The proposal to relocate the memorial slave bell is considered to have a positive impact on both the memorial, and the court that it is currently located in.

Mitigating Measures

The reconfiguration of the entrance, driveway and parking area, although negatively impacting on the historic boundary walls, is considered a great improvement to the previous off-centre layout. The remaining historic wall will be conserved as part of the existing and future edge of the property, formal garden and courtyard space. The retention and use of the wall fabric retains the memory of the walls lost.

The suitable location of the old Cobbler's Shop alongside the entrance creates the opportunity to shorten the historic wall where a break already exists. Retaining the Cobbler's Shop as a Security Office is suitable to the use of the building, and the character of the street (an invisible, but present controlled security access).

The retention and re-use of the original southern boundary wall fabric in the paving at the footprint of this wall is a positive way of retaining the memory of both the wall and the old cadastral lines. The break that this "inlay" will create, is a positive way of "cutting" the long stretch of driveway proposed to run through the entire property. Additional strips of the newer paving at strategic points across the driveway further assist in cutting the long paved area, i.e. slave bell position and pedestrian link from Drostdy to Kromm's Inn.

The memory of all slaves and the early inhabitants of these cottages will be celebrated by relocating the bell to a more focal position, at the end of Stretch's Court. Seen all the way up Stretch's Court from the Bourke Street gates. This creates the opportunity for a better use for the open space where the bell is currently located, such as the new main swimming pool area.

CONCLUSION AND RECOMMENDATIONS

07 CONCLUSION AND RECOMMENDATIONS

>> CONCLUSION

The project objective is to ensure the retention and enhancement of the historical significance of this important heritage resource. Reviving the property and hotel business through conservation and/or rehabilitation. Reorganising spatial layouts for more efficient pedestrian and vehicular movement

Graaff Reinet is a conservative Karoo town with a mostly intact historic layout and street character. It remains important that the proposals aim to retain this character, when viewed in the context of the larger townscape.

The outcome of this application aims to seek the following:

- endorsement of the conservation approach to the 1975 restoration of the Drostdy, which effectively stripped the Victorian layer from this building, reverting it back to the original Cape Dutch style;
- approval for and endorsement of the broad land use [Annexure C], conservation approach and proposed grading of buildings and structures to be retained [figure 36];
- approval of the proposed demolitions [Annexure D] as illustrated in detail in section 04 of this document.

Significant buildings are to be either conserved and maintained with little intervention (Drostdy), rehabilitated to the needs of a luxury accommodation (Stretch's Court/Ferreira House) or other suitable uses (Camdeboo/Thibault Room); or reconfigured to suite a new use (Kromm's Inn).

Significant streetscapes and spaces are to be retained and enhanced through conservation and maintenance (facades), and landscaped planting (gardens and courtyards). A Integrated hard landscaping proposals will tie all elements of the vast property together.

Opportunities do exist within the property where elements of a more contemporary style hotel set within a historic precinct can be introduced. Without detracting from the historical significance of the heritage resource. Respecting and retaining the "historic town" character.

Successful intervention to existing historic fabric of significant heritage resources ensures the retention and enhancement of the heritage significance of these resources through positive spatial re-use.

>> RECOMMENDATIONS

The cultural significance and heritage conservation concerns related to this heritage resource and its immediate surroundings have been adequately understood and addressed.

Recommendations are as follows:

- Endorsement of the conservation approach to the 1975 restoration of the Drostdy building.
- Endorsement of the current proposed conservation approach, grading and significance of the structures to be retained [figure 36].
- Endorsement of the proposed master plan and broad land use drawing [Annexure C – dhk Architects drawing no. 0021 dated 2013.05.02].
- Approval of the proposed demolition plan [Annexure D – dhk Architects drawing no.0050 dated 2013.05.02].
- All intervention to graded buildings be submitted for sketch plan approval by SAHRA.
- Extent of intervention to Stretch's Court and the Drostdy be subject to the detailed fabric analysis contained in Annexure A.
- A contemporary approach be adopted for the all new buildings. Sketch plans to be submitted for approval by SAHRA.
- A rural quality be adopted for the driveway and parking areas, hard and soft landscape design. Sketch plans to be submitted for approval by SAHRA.
- A high level Urban Design statement be produced for the overall scheme.
- An Archaeologist be commissioned to conduct a basic desktop study, and if necessary, apply for a permit from SAHRA to conduct test excavations. To avoid the possibility of project delays due to unexpected archaeological finds while digging foundations.
- A locally based, suitably qualified heritage architect/professional be appointed to oversee the site works to heritage buildings.

08

REFERENCES AND
SOURCES

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Historical Homes of South Africa Archives

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FIGURES

>> FIGURES

COVER PAGE: Thibault's design of the Drostdy Graaff Reiniet [SAHRA: 3/K/Graaff/1]

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FIGURE 2: "Then & Now" panorama 1 of Graaff Reiniet [Mark Senekal, Propix]

FIGURE 3: Aerial view of the town of Graaff Reiniet [Google Earth 2013]

FIGURE 4: "Then & Now" panorama 2 of Graaff Reiniet [Mark Senekal, Propix]

FIGURE 5: Aerial view of the context of the Drostdy property [Google Earth 2013]

FIGURE 6: Aerial view of the extent of the Drostdy property [Google Earth 2013]

FIGURE 7: Existing site layout [refer Annexure B: dhk Architects]

FIGURE 8: Overlays of the three site diagrams [Surveyor General]

FIGURE 9: Extract from Annexure E – GR Zoning Scheme Map

FIGURE 10: Panorama with Church Street from Church steeple by William Roe c.mid 1800s [Graaff Reiniet Museums]

FIGURE 11: Site morphology [Urban Concepts]

FIGURE 12: Erven with Provincial Heritage Site protection [Urban Concepts]

FIGURE 13: William Burchell's sketch of the Drostdy, c.1812

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FIGURE 15: View south of Church Street from the steeple c.1866 [Fransen, 2006]

FIGURE 16: Reiniet House at the other end of Parsonage Street [Urban Concepts]

FIGURE 17: Parsonage Street looking from Reiniet House to the Drostdy [Urban Concepts]

FIGURE 18: Significant streetscapes [Urban Concepts]

FIGURE 19: Significant buildings and facades [Urban Concepts]

FIGURE 20: Drostdy Family & Commercial Hotel c. early 1870s [Graaff Reiniet Museums: William Roe Collection]

FIGURE 21: Kromm's Drostdy Hotel c. late 1870s [Graaff Reiniet Museums: William Roe Collection]

FIGURE 22: W Bunton's Drostdy Hotel c. early mid 1880s [Graaff Reiniet Museums: William Roe Collection]

FIGURE 23: Side of Drostdy Hotel c. 1880s [Graaff Reiniet Museums: William Roe Collection]

FIGURE 24: Victorian era Drostdy Hotel c. early 1900s [Graaff Reiniet Museums: William Roe Collection]

FIGURE 25: Drostdy Hotel c.1965 [Graaff Reiniet Museums]

FIGURE 26: Drostdy Hotel c.2012 [Urban Concepts]

FIGURE 27: Drostdy Hotel cab c. 1885 [Westby-Nunn]

FIGURE 28: Thibault Hall as Graaff Reiniet Fishery in the mid 20th Century [Mark Senekal]

FIGURE 29: Thibault Hall and Camdeboo Restaurant c. 2012 [Urban Concepts]

FIGURE 30: Old Cobbler's Shop Parlement Street c. 2012 [Urban Concepts]

FIGURE 31: Stretch's Court before restoration c. 1968 [Mark Senekal]

FIGURE 32: Stretch's Court after restoration c. 1968 [Mark Senekal]

FIGURE 33: Stretch's Court layout, numbering and grading [Urban Concepts]

FIGURE 34: Stretch's Court from left to right c. 1965, prior to restoration – no 4 with west addition, no's 3, 2, 1 and 15 on the corner [Fransen 2006]

FIGURE 35: Significant cultural landscape [Urban Concepts]

FIGURE 36: Heritage Resources grading [Urban Concepts]

FIGURE 37: Elements with low or no significance [Urban Concepts]

FIGURE 38: Heritage Design Indicators [Urban Concepts]

FIGURE 39: Indicative existing site layout [refer to Annexure B – dhk Architects]

FIGURE 40: Indicative proposed master plan [refer to Annexure C]

FIGURE 41: Existing building infrastructure and grading [Urban Concepts]

FIGURE 42: Indicative extent of proposed demolition to building infrastructure [refer Annexure D – dhk Architects]

FIGURE 43: Existing landscape infrastructure [Urban Concepts]

FIGURE 44: Indicative extent of proposed demolition to landscape infrastructure [refer Annexure D – dhk Architects]

FIGURE 45: Drostdy 2012 remaining historic fabric [Urban Concepts]

FIGURE 46: Proposed extent of intervention to the Drostdy building [extract from Annexure D – dhk Architects]

All existing site photographs by Urban Concepts

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ANNEXURES