

**DRAFT HERITAGE IMPACT ASSESSMENT:  
SECTION 38 (4) of the NATIONAL HERITAGE RESOURCES ACT**



**PROPOSED EXPANSION AND UPGRADE OF HOSPITALITY AND TOURIST FACILITIES AT BOSCHENDAL FARM, PORTION 10. NO.1674,  
DWARS RIVER VALLEY, STELLENBOSCH**

**Prepared for Boschendal Proprietary Ltd.**

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**4<sup>th</sup> November 2013**



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## SECTION A: INTRODUCTION

Sarah Winter and Nicolas Baumann have been appointed by Boschendal (Proprietary) Ltd to prepare a Heritage Impact Assessment (HIA) for the upgrade and expansion of hospitality and tourist facilities at Boschendal werf situated on Farm No. 1674 Portion 10, Stellenbosch. The site is located in the Dwars River Valley which falls within the Grade I Cape Winelands Cultural Landscape. The proposals include alterations and additions to the historic wine cellar which is located within a Provincial Heritage Site (PHS). They also include the renovation of seven farm cottages which will be used for guest accommodation and the construction of a new farm shed, which will be used as a function venue. These proposals trigger an HIA and require Heritage Western Cape approval in terms of Section 38 (4) of the National Heritage Resources Act (Act No 25 of 1999; NHRA).

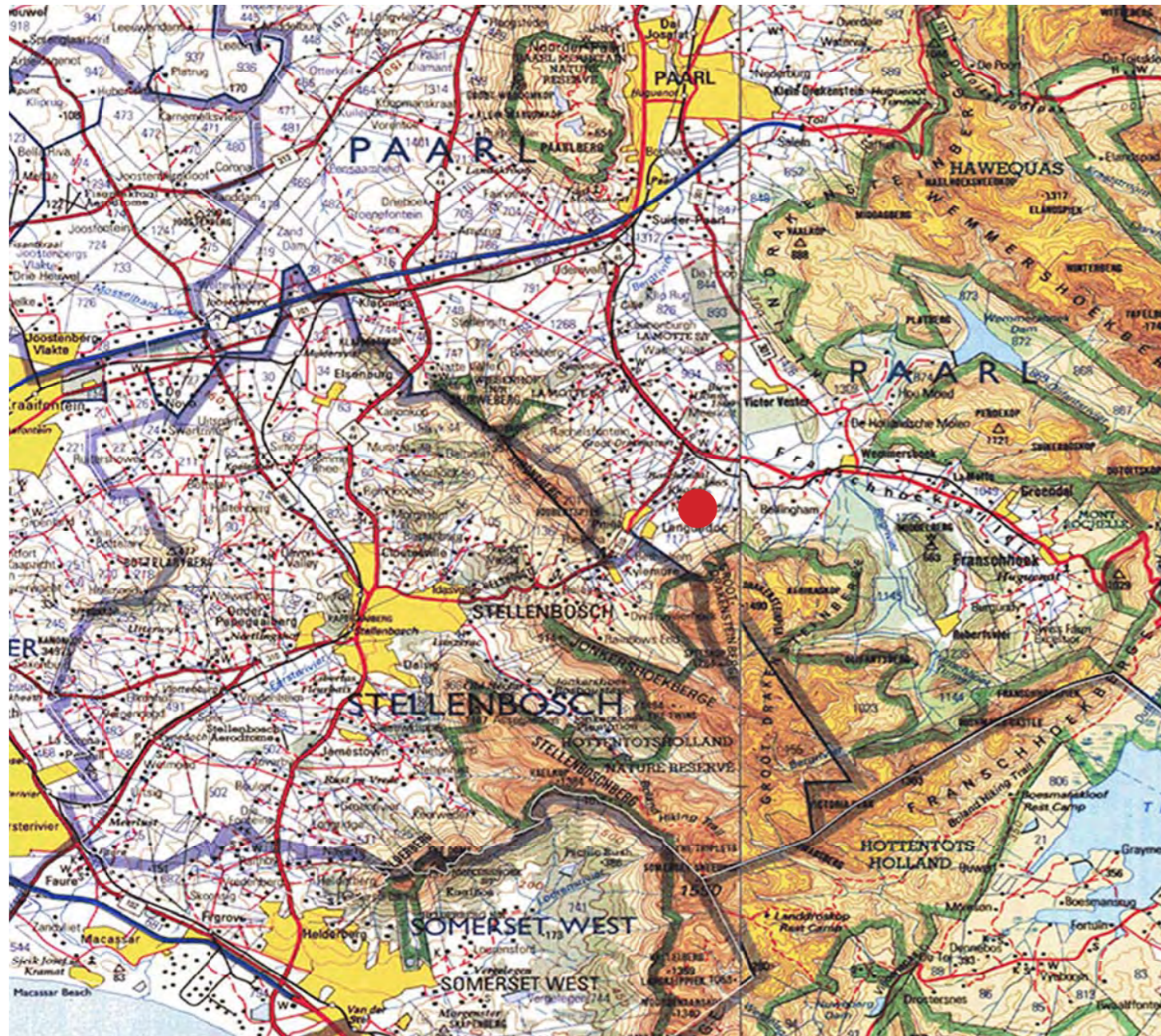


Figure 1: Site location within the context of the Dwars River Valley



Figure 2: Aerial oblique of the Dwars River Valley looking south. The Valley is framed by the Simonsberg (west), the Groot Drakenstein Mountains (east) and the Jonkershoek Mountains (south). Boschendal werf is located in the foreground (centre). It is located adjacent to the R310 prominently lined by flowering gum and oak trees (Source: Boschendal Collection 2005)







## A.1 Legal framework

The Boschendal farm werf was declared a national monument in 1979, thus automatically becoming a PHS in terms of the NHRA. The proposed interventions to the wine cellar are located within the declared area and are thus subject to a NHRA Section 27 application to HWC, attached as Annexure A.

The renovation of seven farm cottages which will be used for guest accommodation and the construction of a new farm shed which will be used as a function venue trigger Section 38 (1) of the NHRA in that it involves the change in character of the site exceeding 5000m<sup>2</sup> in extent as listed under S 38 (1) (c) (i). Accordingly, a Notification of Intent to Develop (NID) was submitted to HWC. Given that a range of heritage resources will be affected, HWC has requested a HIA including a cultural landscape and built environment assessment. Refer to Annexure B: HWC Response to NID.

The proposed development does not trigger a listed activity in terms of the Environmental Impact Assessment (EIA) regulations of the National Environmental Management Act (NEMA).

A separate Section 27 approval is required for the wine cellar proposals. However, given that these proposals form part of a larger hospitality upgrade of the broader werf precinct, it was considered preferable to assess the proposals in their entirety.

The proposed development is situated within a Grade 1 site and is therefore subject to the Memorandum of Agreement (MoA) between the HWC and the South African Heritage Resources Agency (SAHRA) regarding the handling of Grade I sites dated 2012.

In terms of local authority approval, the following sequence of submissions is required (Anine Trümpelmann of Planning; pers. com October 2013):

1. Submission of building plans to Council will be made for:
  - Renovation of 7 labourers' cottages
  - Construction of a new farm shed
2. Once approved, it is then intended to submit an application in terms of Section 8 of the Scheme regulation (applicable planning legislation) for the following land uses:
  - Consent for a guesthouse (utilising the 7 existing cottages for accommodation of up to 14 guests)
  - 5 year Temporary Departure for a function venue (utilising proposed new farm shed for up to 200 guests)

Furthermore a consent use application will be need to be made for the extension of the existing wine cellar/ restaurant and which will require planning approval prior to building plan submission.

It should be noted that planning approval was granted in 2009 for the tourism retail use of the cottages and a new wine tasting facility located immediately to the east of the cottages. Planning approval has since lapsed.



## A.2 Site description

The Boschendal werf is accessed off the R310, and is approached from the south. The establishment of this approach as the primary and singular 'public' entrance to the werf and its associated parkland setting dates to the mid-1970s when the Boschendal farm werf and gardens were subject to a major restoration/renovation project and its re-conceptualization as a museum, tourist venue and institutional flagship for Amfarms. Its restoration and landscaping was carried out by Gabriel and Gwen Fagan (Fagan 1974).

The layout of the werf is unique with outbuildings forming two long parallel rows behind the homestead. The position of the wine cellar is indicated on Figures 5 and 6. The building is split at two levels with the lower northern section originally used as a cooper and carpentry room and the upper southern section comprising the gabled cellar, opposing and matching the gable of the coach house. The cellar dates to circa 1802. Its restoration/reconstruction included the front and 'holbol' end gables, reinstatement of thatched roof, reed ceilings and poplar ceiling beams and reinstatement of arched door openings. Its windows are single casements along the western façade with a one double casement along the eastern façade. Their provenance is uncertain, presumably part of the 1970s restoration. Its adaptive reuse as a restaurant dates to the late 1970s including the addition of kitchen, ablutions and service yard to the rear. Its floor is cement screed (Fagan 1974).

The cottages are situated to the south of the primary farm werf and to the east of the approach road to the werf. The cottages are screened from view from the approach road by a mature 6-7m high Hakea hedge. Situated directly west of the approach road is a lawned area currently used as an outdoor restaurant facility (le picnique).

The cottages are aligned along the western and southern edges overlooking an "open space" with the land form sloping down towards Dwars River to the east and set against the impressive backdrop of the Groot Drakenstein Mountains.

The cottages are accessed via an existing narrow gravel road. The space is framed to the north, west and south by mature vegetation which acts as a visual buffer in relation to the primary werf. An existing nursery and old poplar grove is located to the north-east. Apart from a grouping of mature stone pines to the south, a Norfolk pine to the rear of one of the cottages and a few shrubs, the space is generally devoid of significant planted or traditional "cottage garden" landscape features. Two tree stumps are remaining physical evidence of a heavily treed setting that historically existed from at least the early 20th until fairly recently.

The four cottages aligned almost parallel to the approach road date to the early 20th century. These cottages are 'L shaped' with plinths and are similar in style though configured differently and alternately. They possess double pitched corrugated iron roofs, steel windows (probably replacements), vertically battened stable doors and loft doors in the gable ends (Aikman Associates 2005). Their internal configuration accommodates two bedrooms, a living area, kitchen and bathroom. Floors are concrete and ceilings are of narrow timber boards and poplar beams. A simple hearth with plastered masonry surround occupies the kitchen space.

The exact date of the above mentioned cottages is unknown but they display characteristics dating to the late 19th/early 20th century. This date is also confirmed by Aikman Associates (2005) and Hennie Vos (pers.com 2013) who inspected the buildings in 2007.

Perpendicular to the early 20th century cottages and defining the open space to the south are three cottages dating to the mid-20th century. These are box-like structures with unplastered brick plinths, projecting chimneys and mono-pitched roofs sloping towards the open space. Parapets have substantial mouldings. Windows are timber casements. Front garden walls have moulded copings and gateposts. A similar structure is located to the far north of the open space in line with the early 20th century cottages. This structure has been modified and extended to service le picnique. There is also a structure of possible 19th century origin situated on the north-east corner of the site. This building has a stone plinth and is part stone and brick construction. It has a bakoond and chimney and is currently used as a store (Aikman 2005). These latter two buildings do not form part of the proposed development.

The exact date of the above mentioned cottages is unknown but they display Cape Revival, Cape Georgian characteristics dating to the mid-20th century. Based on aerial photography, they were constructed between 1949 and 1953. They share some stylistic qualities with the design of the Thembaletu black hostel which is located on the opposite eastern side of the Dwars River. The hostel was constructed post 1976, more than a decade later (Source: unsigned drawings dated 1976 for proposed "Bantu Dormitories", Boschendal Collection). All seven cottages have been vacant for the last 8 years or more. Their condition is fair to poor and in need of repair and maintenance especially with respect to gutters, fascia boards and joinery.



Figure 5: Landscape Analysis: Farm Werf Scale

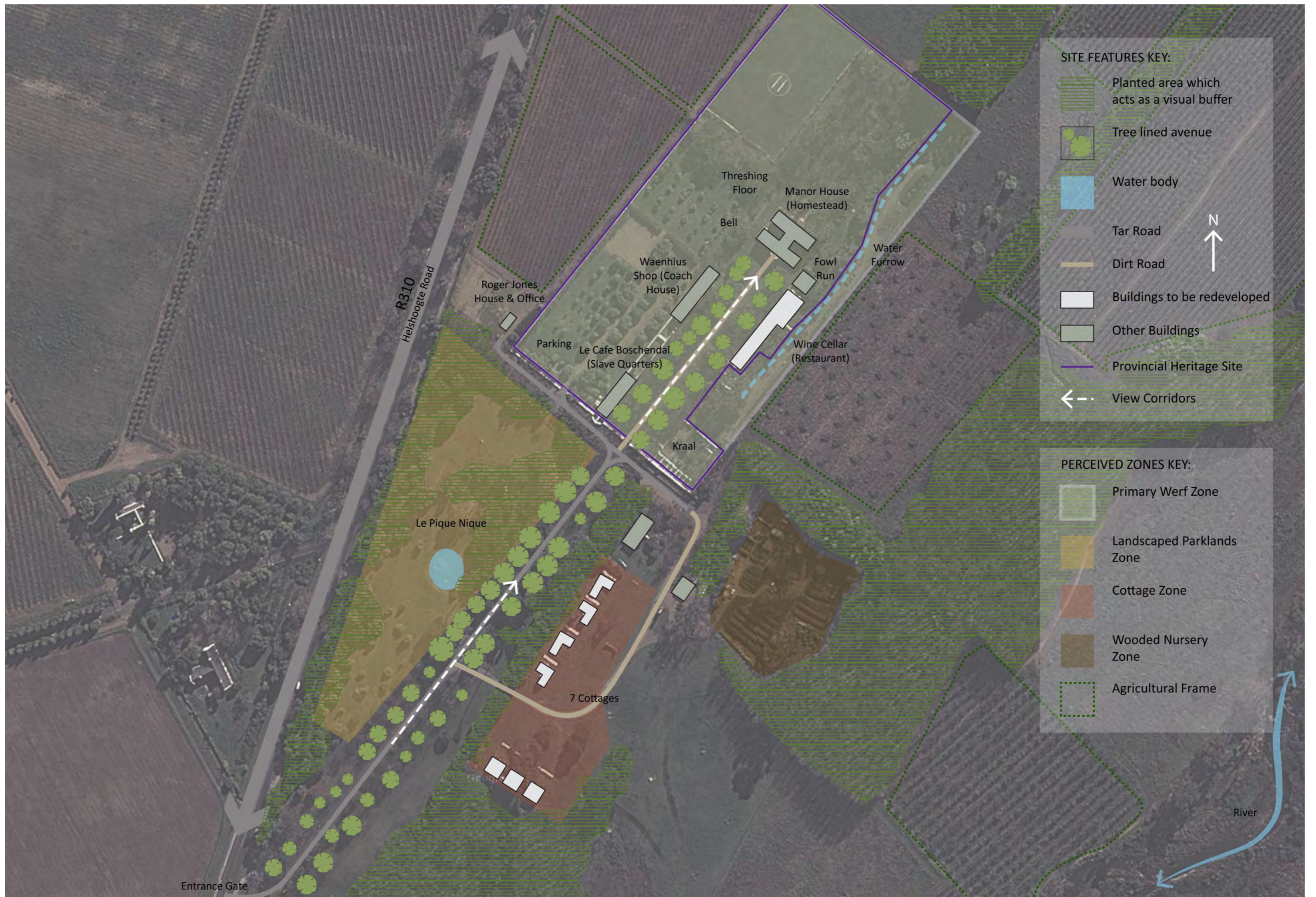




Figure 6: Landscape analysis: Cottage precinct scale





Figure 7: Photographic Survey: View Locations





Figure 8: Photographs of Boschendal farm werf



Figure 8.1 Homestead with backdrop of Drakenstein



Figure 8.2 View towards homestead with wine cellar (right) and coach-house (left)



Figure 8.3 Wine cellar front elevation



Figure 8.4 Wine cellar rear elevation with 1970s additions



Figure 9: Photographs of early 20th century cottages



Figure 9.1



Figure 9.2



Figure 9.3



Figure 9.4





Figure 9.5



Figure 9.6



Figure 9.7



Figure 9.8



Figure 9.9



Figure 10: Photographs of mid-20th century cottages



Figure 10.1



Figure 10.2



Figure 10.3



Figure 10.4



Figure 11: Photographs of surrounding context



Figure 11.1 View of cottages and surrounding context



Figure 11.2 Entrance View Corridor



## A.3 Project description and motivation

Outlined below is summary of the motivation and description of the proposals. Refer to accompanying Site Development Plan (Figures 12-13). A full set of proposals including architectural plans, elevations and sections for the new farm shed, cottages and the wine cellar is included in Section E. Refer to Figure 29: Proposals.

### A.3.1 New barn / function venue

As part of a business strategy to expand tourism facilities at Boschendal, the need has been identified for a new, flexible and functional building that could serve as a function venue. The old nursery site has been identified for the new building in terms of its being visually screened from the primary werf, yet still being associated with the Boschendal werf. The new structure has been positioned to avoid the reinforcement of any formal axis, yet still respecting orthogonal geometries. The architecture of the new building is intended to differentiate from the historical buildings, yet still maintaining an agricultural character. Based on a combination of its architecture and discrete wooded location the building is intended to be recessive and to allow for the use of a contemporary, practical space without affecting the character of the werf.

Landscaping interventions include the expansion of an existing olive grove to reinforce the agricultural setting of the new building. No structured hard surfaces or decorative planting is envisaged. Additional parking has been fragmented and screened by existing and new hedges and planting.

### A.3.2 Cottages

The proposed interventions to the four early 20th century cottages include the following:

- The demolition of internal walls combining the existing kitchen and living rooms as a single enlarged living space.
- The demolition of internal walls combining two existing bedrooms into a single bedroom space with the relocation the existing bathroom within the existing bedroom wing.
- The opening up of the roof structure by the selective removal of ceiling boards.
- New windows and doors of similar proportions to existing openings.
- New stairs and limited stoep extensions to line up with the existing plinth.
- A new extension to the rear of the cottages with doors and fixed glazed panels to accommodate a new kitchen and mudroom.

The main interventions to the three mid-20th century cottages include a new pergola covered stoep, double doors to the front elevation, and the replacement of the asbestos roof.

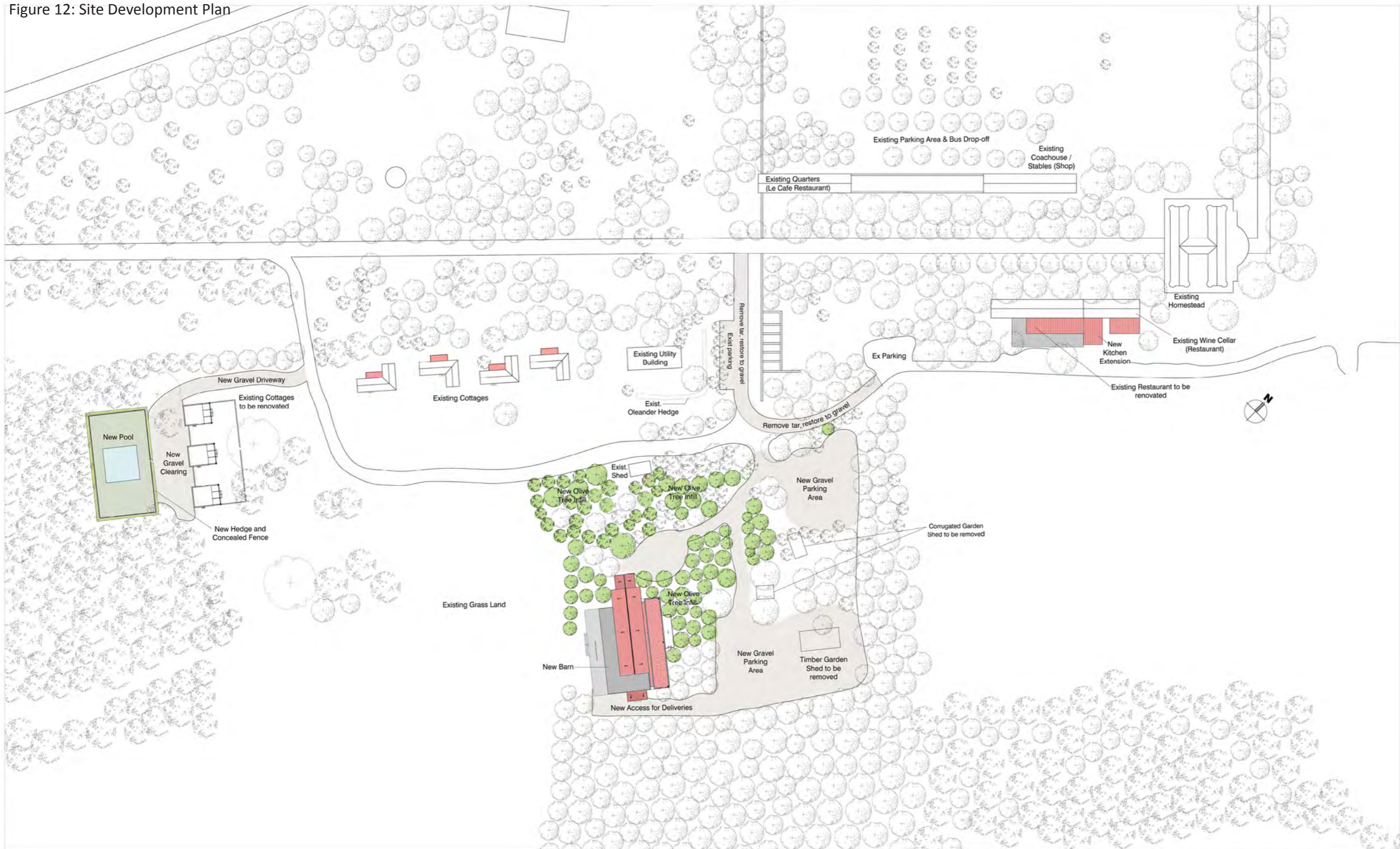
Landscaping interventions include a new gravel driveway and organic reed bed pool situated in a clearing of an existing wooded area.

### A.3.3 Wine cellar restaurant

The main focus of the intervention is the 1970s services block at the back of the cellar. The strategy is to remodel the services block into a contemporary habitable space by opening up views and connections to the southern portion of the farm. The utilities will be moved downstairs to an existing basement and the existing yard wall will be covered in a deck to be used as an outdoor dining area. The existing kitchen block will be demolished and replaced with a simple, glass walled box and connected to the original cellar by limited additional openings in the exterior wall. Their position, number and size are still to be determined by historical fabric analysis. The entire extension will be within the existing footprint of the service block. An open area between the service block and existing 1970s ablution block will be filled in, in order to increase the kitchen area.



Figure 12: Site Development Plan



**NOTE**  
 THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS. DESIGN SHOULD BE REFERRED TO THE ARCHITECTS. ALL LEVELS AND DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO SETTING OUT OR CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.



Approach Rd. towards 7 cottages and open field



Existing nursery site. Future position for New Barn



North-Western view from New Barn



South-Western view from New Barn



Existing track to nursery to be grassed over.



Existing service block to be converted.



Existing service block to be converted.

CAPE TOWN  
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PROJECT 112  
 NEW BARN,  
 UPGRADE AND RENOVATION OF EXISTING  
 LABOURERS COTTAGES AND RESTAURANT  
 AT BOSCHENDAL

DRAWING 112  
 SITE DEVELOPMENT PLAN

DATE	SCALE	STATUS	DESIGNER
15/09 @ 40	1:1	CP	PB
NO.	PROJECT	DATE	BY
80-2013	SDP/BOSCH		



Figure 13: Site Development Plan



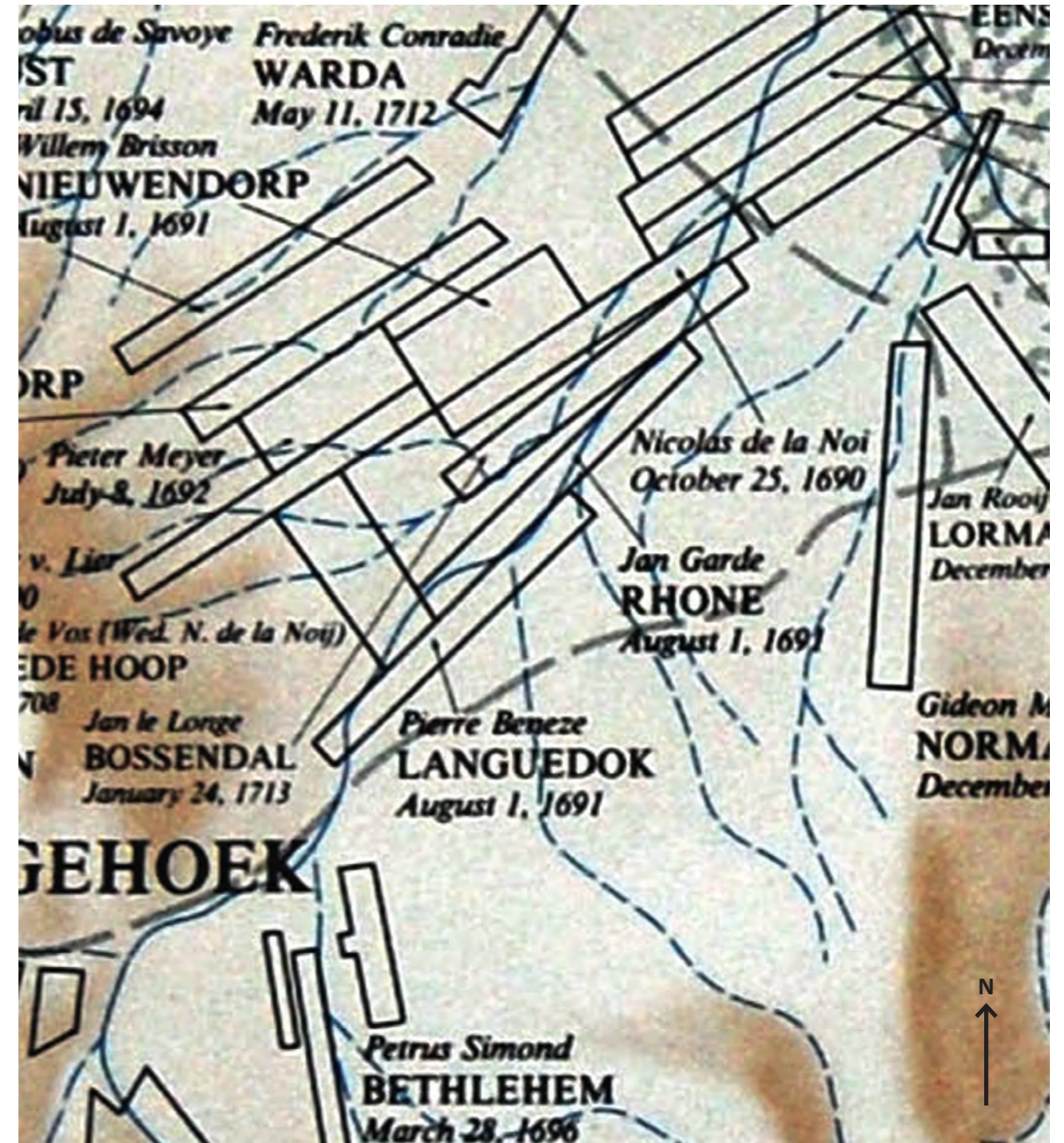


## SECTION B: HISTORICAL OVERVIEW

The purpose of this section of the report is to provide an overview of the evolution of the place in order to establish the chronological context of the Boschendal werf and its broader landscape context.

During the late 17th century Dutch, Huguenot, German settlers and 'freed blacks' were granted freehold land along the banks of the Berg and Dwars Rivers. These grants were typically thin rectangular plots of land measuring 60 morgen. It was during this time that the farm Boschendal was first granted to Jean Le Long in 1685. Title deeds issued a few years later indicate 'Boschendal A' being issued to Huguenot Nicolaas de Lanoy in 1690 and 'Boschendal B' being issued to Jean Le Long in 1713. These two farms were joined in 1715 when they were both acquired by Abraham de Villiers. Boschendal remained in the ownership of the de Villiers family until 1879 (Boschendal Museum Research 2008).

Figure 14: Extract from composite map showing 17th and 18th century lands grants in the Drakenstein Valley (Source: Leonard Guelke Cape Colony 1657-1750, Department of Geographical Publication series, University of Waterloo, 1987). Grants followed the river courses and were concentrated in well water fertile valleys. Routes connected the farm werfs.





In 1717 Abraham de Villiers sold Boschendal to his brother Jacob, who subsequently sold it to his son Jan in 1738. It was during 1717 and 1738 that the first buildings were probably erected. Jan's widow sold the property to their son Paul in 1807. Given an increase in the price of the property, it is assumed that extensive improvements were made to the werf between 1738 and 1807. The cellar was constructed in circa 1802 and the wagon house opposite was probably built at the same time. Further substantial improvements were made during Paul de Villier's ownership (Fagan 1974).

The early 19th century was associated with a period of agricultural prosperity in the wine industry at the Cape. It was during this period that many of the architectural set pieces of the Valley were established including Boschendal, Rhone, Goede Hoop and Bethlehem. This included the construction of more elaborate homesteads and a range of outbuildings (Baumann & Winter 2006; Titlestad 2008).

The present homestead was constructed in circa 1818 incorporating the foundations of an earlier dwelling (Fagan 1974).

A census of returns of farmers in the Stellenbosch District reveal that in 1823-1824 93 000 wine stocks had been planted on Boschendal and that 102 leagers of wine and 5 leagers of brandy had been produced. Paul de Villiers owned 31 slaves which had to be housed and 10 horses which had to be stabled. Furthermore he had 100 oxen and 17 sheep and for which kraals had to be provided. He owned the property until 1840, when the property was transferred to his sons Jan Jacobus and Hendrik Francois (Fagan 1974)



Figure 16: Boschendal werf in the late 19th early 20th century with threshing floor (foreground) and gabled wine cellar (centre) (Source: Boschendal Private Collection) The cellar has a corrugated iron roof, damaged central gable, two arched door openings and a single window.

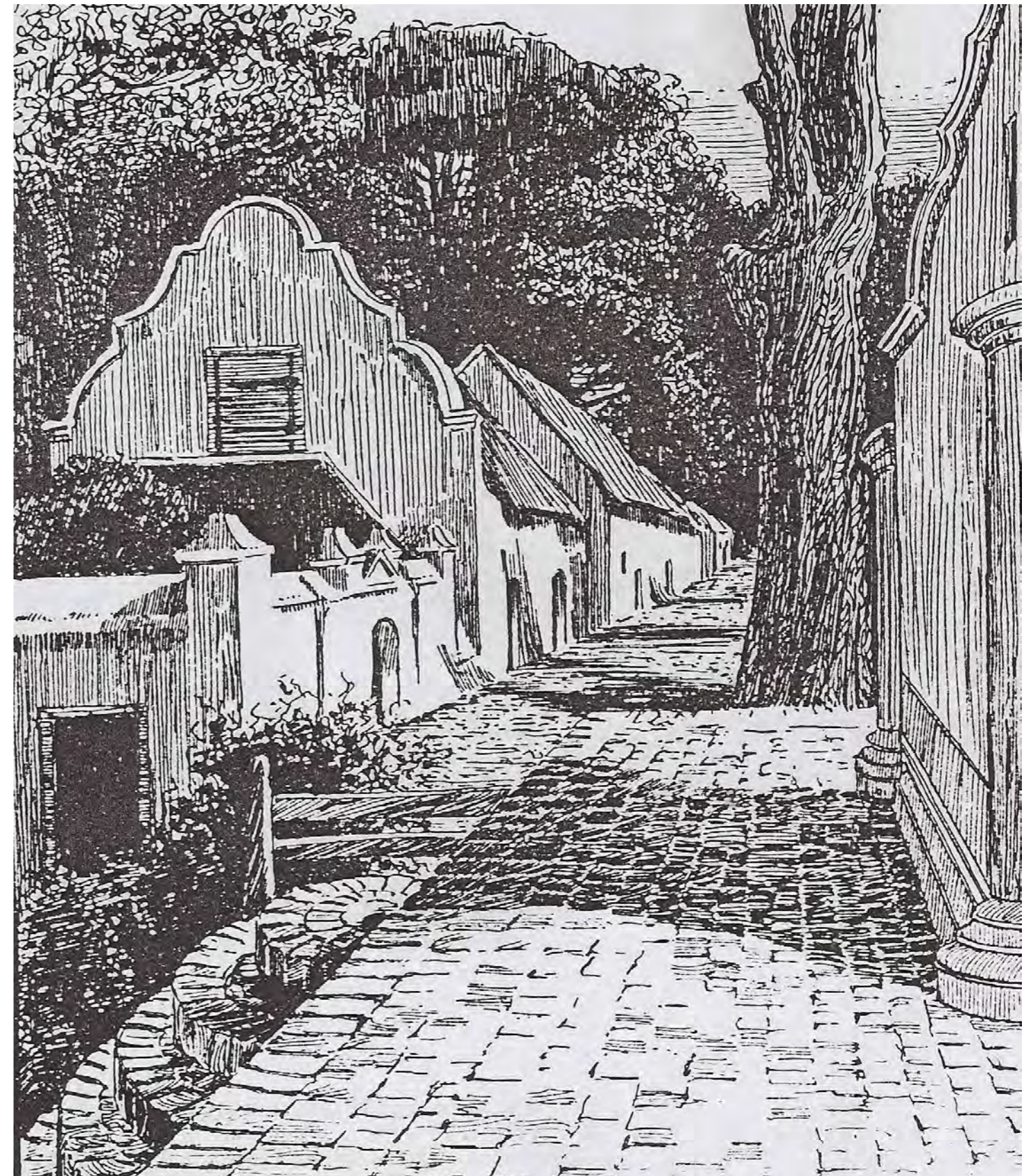


Figure 17: Alys Fane Trotter sketch of Boschendal wine cellar 1896-1898 (Source: Fagan 1974)



In 1886 the outbreak of phylloxera virtually destroyed all the Cape vineyards, leaving many farmers bankrupt and the Cape economy in ruin. Boschendal was one of twenty-six farms in the Drakenstein Valley to be acquired by Cecil John Rhodes from 1897 and consolidated under Rhodes Fruit Farms (RFF). Rhodes instructed his agents to give preference to those farms with examples of Cape Dutch homesteads and set aside substantial sums for their maintenance. The historical homesteads such as Boschendal, Good Hope and Rhone became RFF managerial residences. RFF was initially established as an experiential and training centre for the development of a Cape fruit industry and was soon to become the centre of a thriving export industry (Baumann & Winter 2006; Titlestad 2008).

The early 20th century valley landscape was characterized by a dramatic shift from wine farming to fruit farming with extensive orchards and windbreaks being planted. It was also associated with the introduction of corporate farming methods and new employment opportunities resulting from the growth and diversification of the fruit industry. This necessitated the construction of new farm managers' and workers' houses. Herbert Baker's extensive architectural intervention in the Valley began at Rhodes' request. The village of Lanquedoc c 1902 was designed by Baker and is highly representative of a planned labourers' village influenced by the Arts and Crafts Movement and the concept of the "garden village" (Baumann & Winter 2006; Titlestad 2008).

It was during this early 20th century period that the cottages located parallel to the approach road to Boschendal werf were constructed. Notwithstanding the fact that these cottages do not reflect the same detailing and design quality as the Lanquedoc cottages (refer to Figure 20) they are characteristic and representative of this early RFF period. The intimate grouping of these four simple family cottages and their physical proximity to the Boschendal werf is in strong contrast to Lanquedoc village in terms of scale and the spatial separation of the village from the historical precinct by the Dwars River. This differentiation in attitudes to RFF workers' housing is most likely a reflection of employee status and the nature of employee-RFF relations.

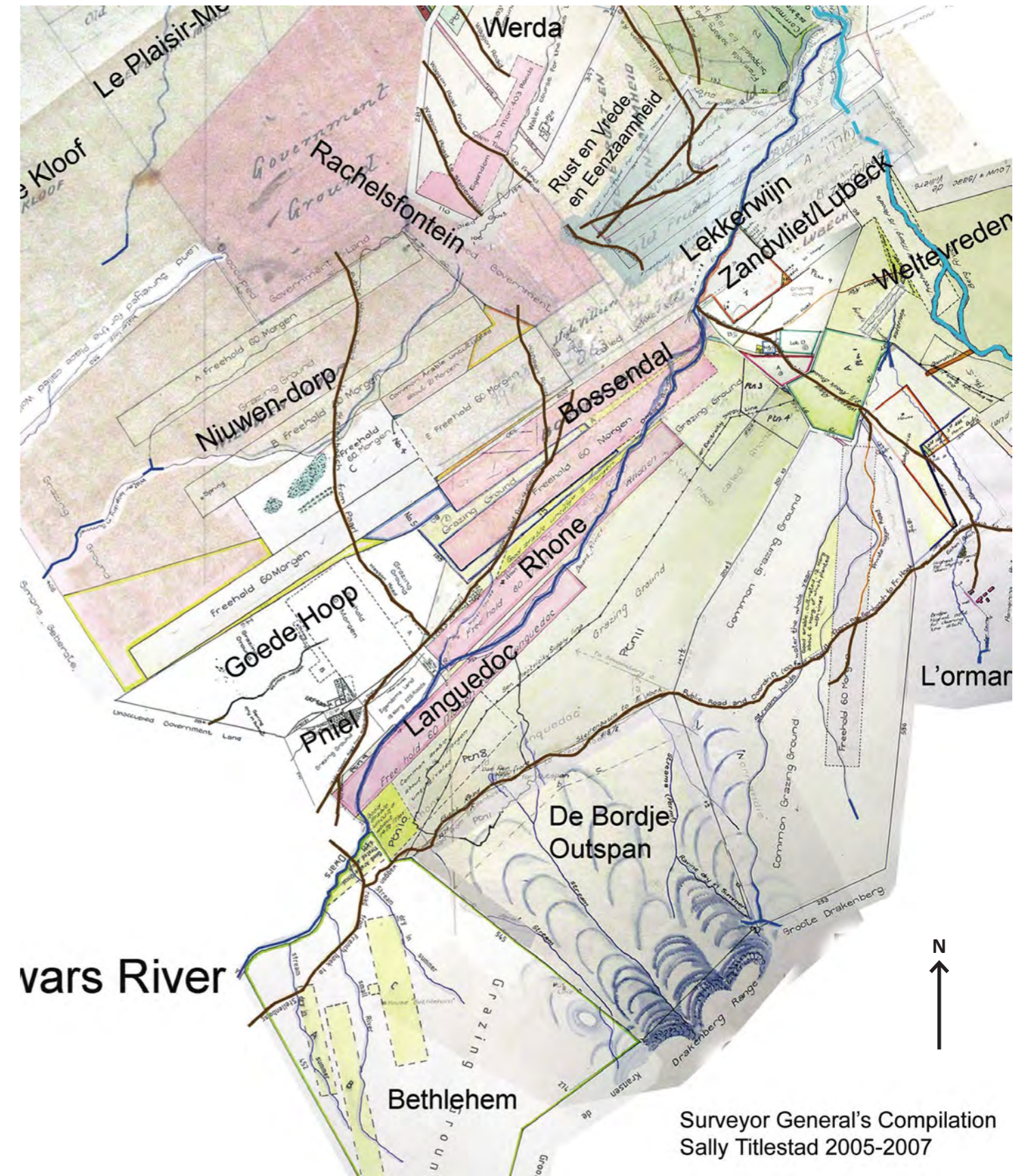


Figure 18: Surveyor General's Compilation of the Dwars River Valley 1820 to 1880. (Source: Sally Titlestad 2005 In Baumann & Winter 2006)



Figure 19: Extract from 1901 Inch Series showing Cape, Paarl and Stellenbosch Districts (Source: KR CPA 1901). The village of Langedoc to the south of Boschendal is clearly depicted.

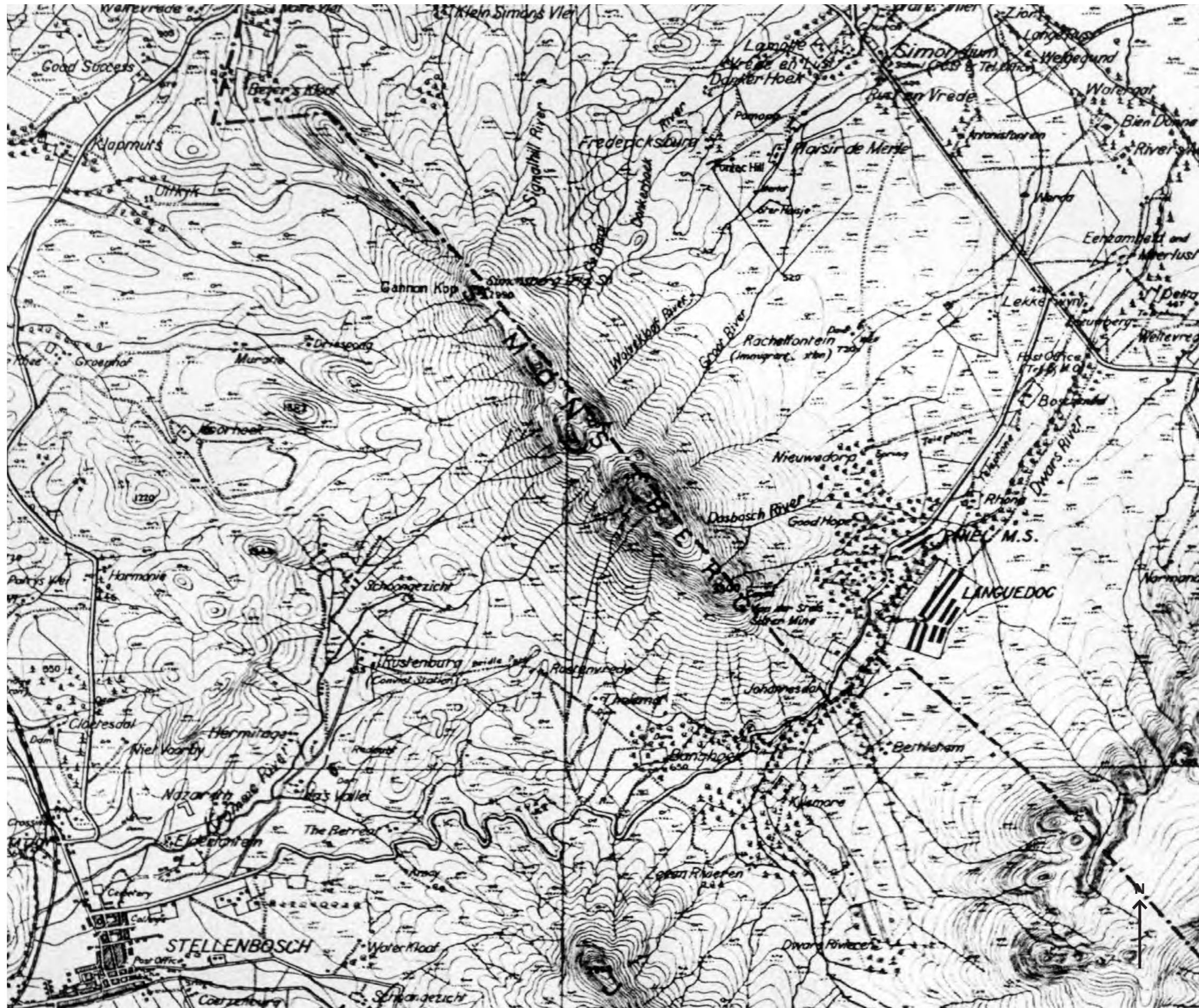


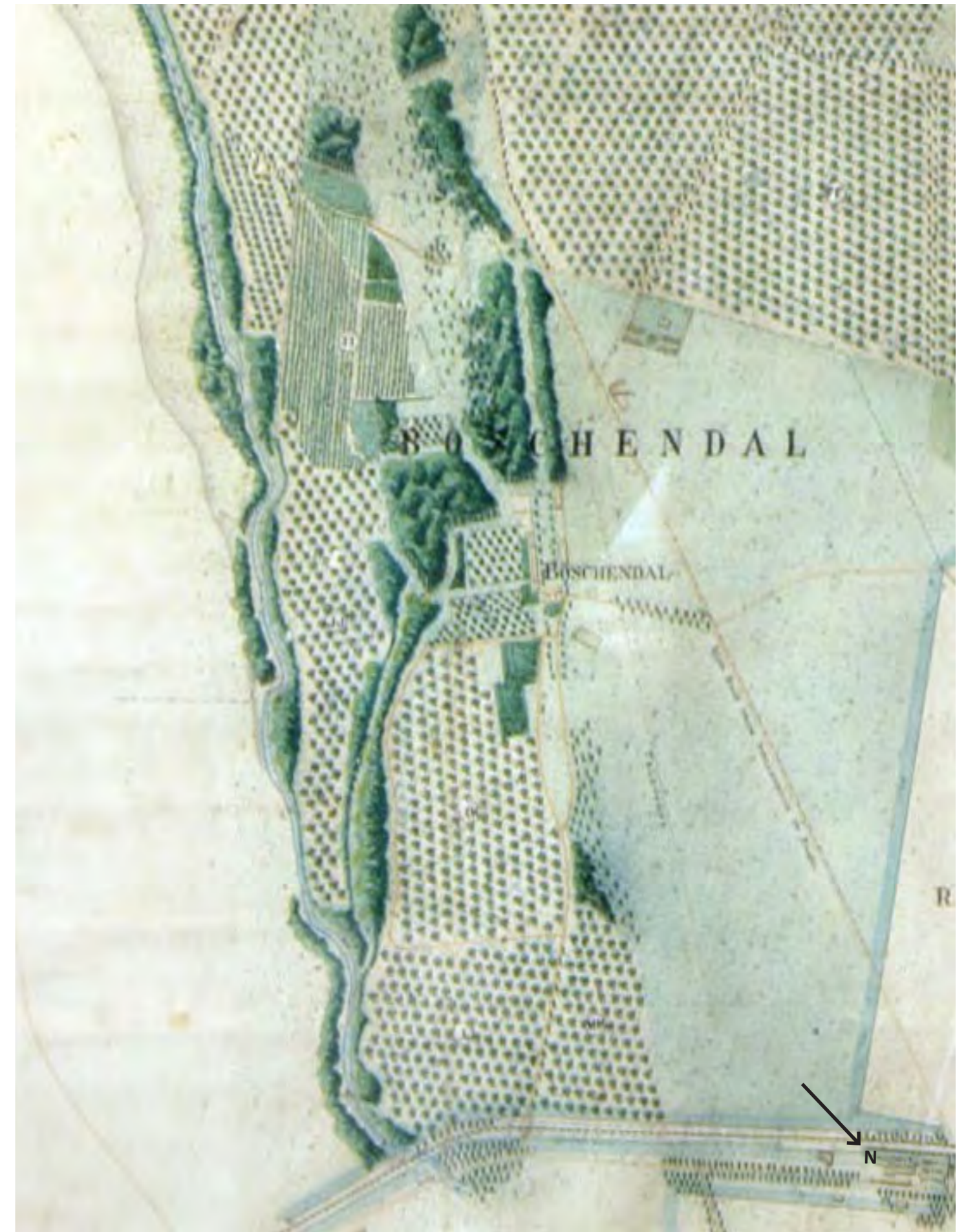


Figure 20: Photographs of Lanquedoc cottages





Figure 21: Extract of 1923 Topographical Plan of Rhodes Fruit Farms Ltd (Good Hope, Nieuwe Dorp, Rhone and Boschendal) (Source: Surveyor General, author unknown, Boschendal Collection). Diagrammatic representation focusing on “set pieces”. The early 20th century cottages are not depicted. Insert enlargement of Boschendal farm werf showing strong tree lined avenue to the south of the werf and forested agricultural setting of the early 20th century cottages.





De Beers took over RFF in 1925 and appointed an internal expert in the fruit industry, Alfred Appelyard, as Managing Director with the aim of consolidation and restructuring of the business operation. In 1937 De Beers sold RFF to Abe Bailey and after his death in 1940 a syndicate of business interests acquired RFF and they owned and developed it for the next 28 years. Jack Manning was appointed Managing Director after the death of Appleyard in 1949. It was during the 1950s and 1960s under his management, that massive expansions and improvements were undertaken – new dams and irrigation doubled the productive agricultural area and increased yields by 700%, new workers cottages were constructed, transport was mechanized, refrigeration technology improved and the export markets boomed. By 1968 RFF employed hundreds of people and produced and packaged large scale export crops (Baumann & Winter 2006; Titlestad 2008). It was during this mid-20th century period that the cottages perpendicular to four early 20th century cottages were constructed. The garden walls and gate posts were added post 1973.



Figure 22: 1949 aerial photograph showing the four early 20th century cottages (blue arrow) (Source: Trig Surveys and Mapping, Mowbray). The three mid-20th century cottages to the south appear not to have yet been built by this period.

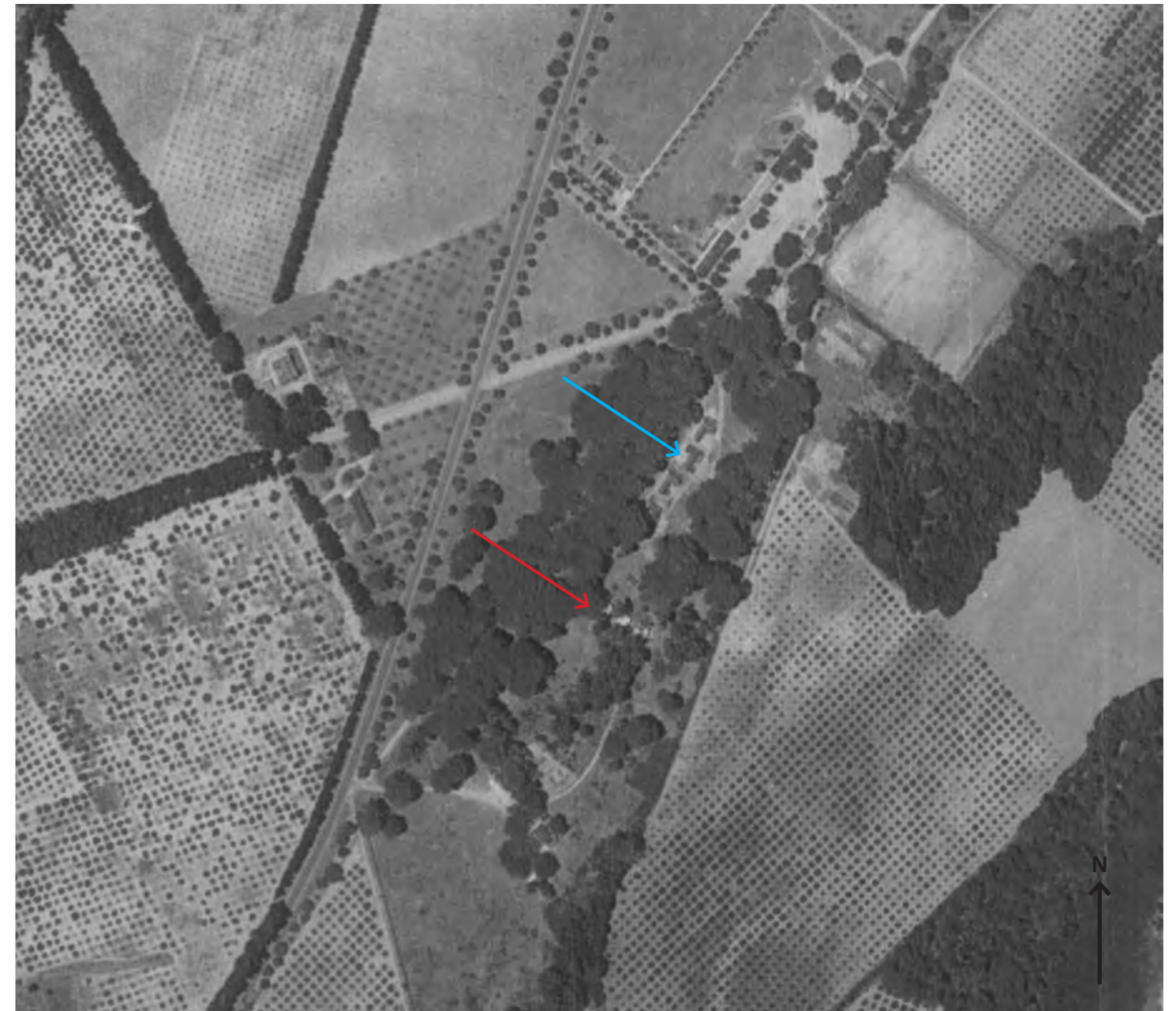


Figure 23: 1953 aerial photograph showing the four early 20th century cottages (blue arrow) as well as the mid-20th century cottages (red arrow) (Source: Trig Surveys and Mapping, Mowbray).



In 1969 Anglo American and de Beers purchased RFF to become Amfarms for the next 31 years. In 1976 the homestead, outbuildings and gardens were restored/renovated to their 19th century appearance under the supervision of Gabriel and Gwen Fagan. Amongst the interventions undertaken were the reconstruction of the matching and facing gables of the “modernised” wine cellar and coach-house/stables. The northern entrance to the front of Boschendal homestead was made redundant by the reinstatement/reinforcement of the southern access situated on axis with the homestead. Boschendal werf was declared a national monument in 1979. In the late 1970s it was established as a museum/tourism/restaurant facility, one of the first establishments of its kind in the Cape Winelands. The wine cellar was adapted for use a restaurant with the addition of ablution facilities, kitchen and services yard along the rear eastern elevation (Fagan 1974; Fransen 2004; Titlestad 2008).

In 2003 a consortium of investors (Boschendal Ltd) purchased the Boschendal farms ([www.Boschendal.com](http://www.Boschendal.com)). By then most of Amfarms’ employees living on Boschendal farmlands had been relocated to Lanquedoc and the numerous vacated workers’ cottages have been unoccupied since.

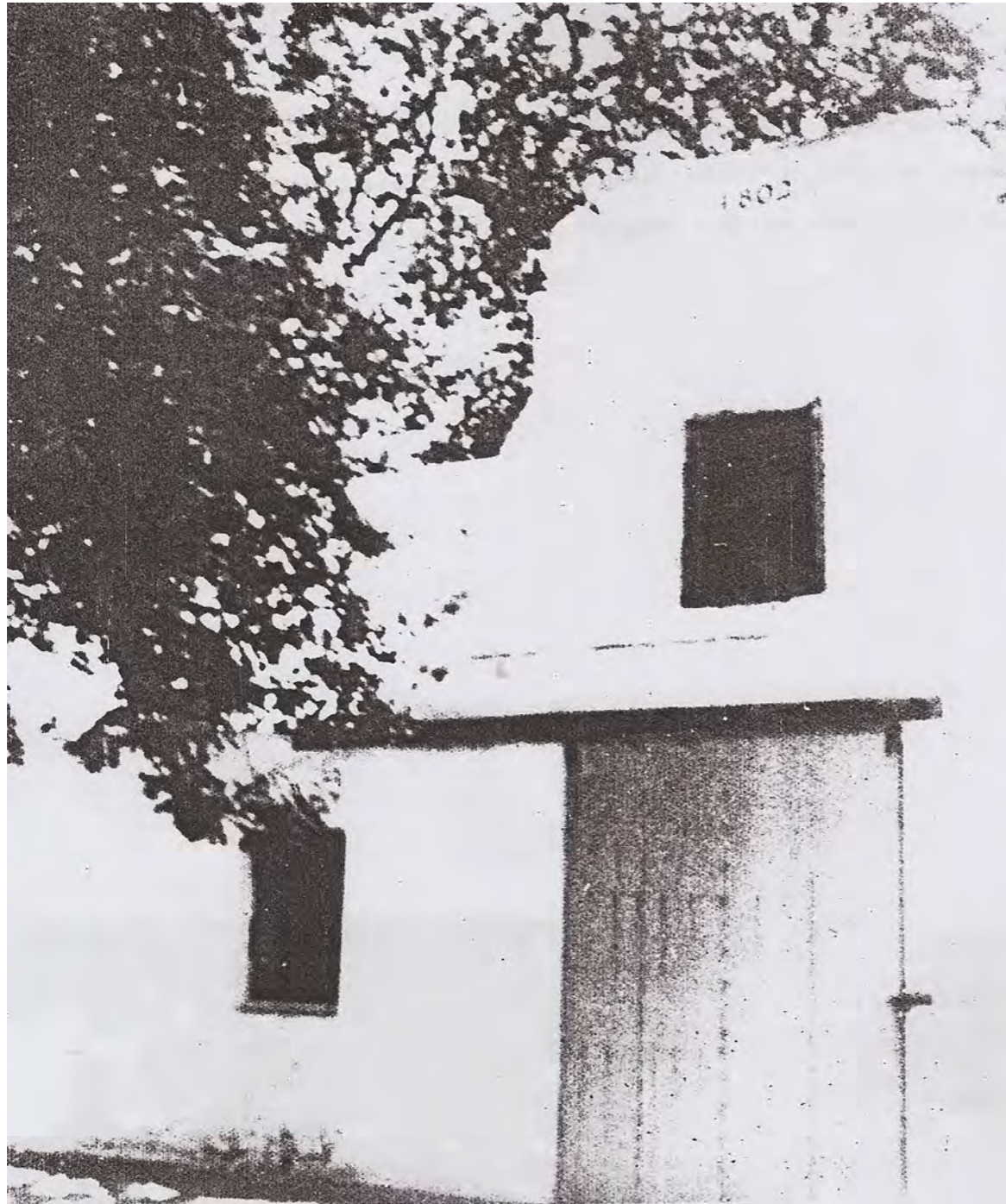


Figure 25: Front gable of the wine cellar – pre restoration (Source: Fagan 1974)



Figure 26: Western façade of the wine Cellar; post restoration in 1974 (Source: Fagan 1974)



## SECTION C: STATEMENT OF HERITAGE SIGNIFICANCE

The following statement of significance is framed at three scales, namely the overall landscape, werf and individual building scales.

### C.1 Landscape context

The Boschendal werf is located within a Grade I landscape. It is located within the Dwars River Valley which is an integral component of this landscape and of outstanding heritage value in terms of the following (Drakenstein Landscape Group 2012):

- It is highly representative of the Cape Winelands Cultural Landscape in terms of the visual dominance of a productive agricultural landscape, dramatic mountain-valley setting, its collection of historical farm werfs, cottages and villages, and pattern of historical tree alignments.
- It reflects a pattern of early colonial settlement and expansion during the late 17th and 18th centuries with an emphasis on agricultural production concentrated in the well watered fertile valleys.
- It has played a key role in the history of the fruit industry with the establishment of Rhodes Fruit Farms and its association with important figures in the development of the export fruit industry at the turn of the 20th century.
- It has the strong presence of a major corporate institution (Rhodes Fruit Farms-Amfarms) spanning more than a century and its associated impacts on the landscape in terms of farming methods, infrastructure, built form, patterns of labour and institutional memory.
- It has a concentration of highly important heritage places with Boschendal and Rhone and their landscape settings providing a pivotal set piece within the valley system. Its rich architectural and settlement history reflects the evolution of the Cape farm werf tradition from the 18th century, the influence of the Arts and Crafts Movement and the work of one of South Africa's foremost architects, Herbert Baker. It also reflects a range of built form and settlement typologies, e.g. farm werfs, managerial residences, farm cottages, planned labourers' village (Lanquedoc) and mission settlement (Pniel).
- It has a distinctive and legible pattern of agricultural settlement which has evolved in response to fertile soils, water availability and movement routes, and has resulted in a pattern of farm werfs strung out along the Dwars and Berg Rivers. The riverine corridor contributes significantly to the setting and provides strong edge conditions to heritage places, e.g. Rhone and Boschendal.
- It has a strong relationship with a regional scenic route network, e.g. the R310, and variation of views ranging from dramatic distant views towards the mountains and focused views on landmark buildings, e.g. Boschendal.
- It reflects the history of farm labour, i.e. slavery, indentured labour, wage labour, migrant labour, and related shifts from a feudal to a corporate to a democratic order. Its community has worked and inhabited the landscape for generations resulting in strong linkages between place and identity.



Figure 27: Boschendal werf in the context of the Dwars River Valley Cultural Landscape (Source: Baumann, Winter, Dewar & Louw 2012).

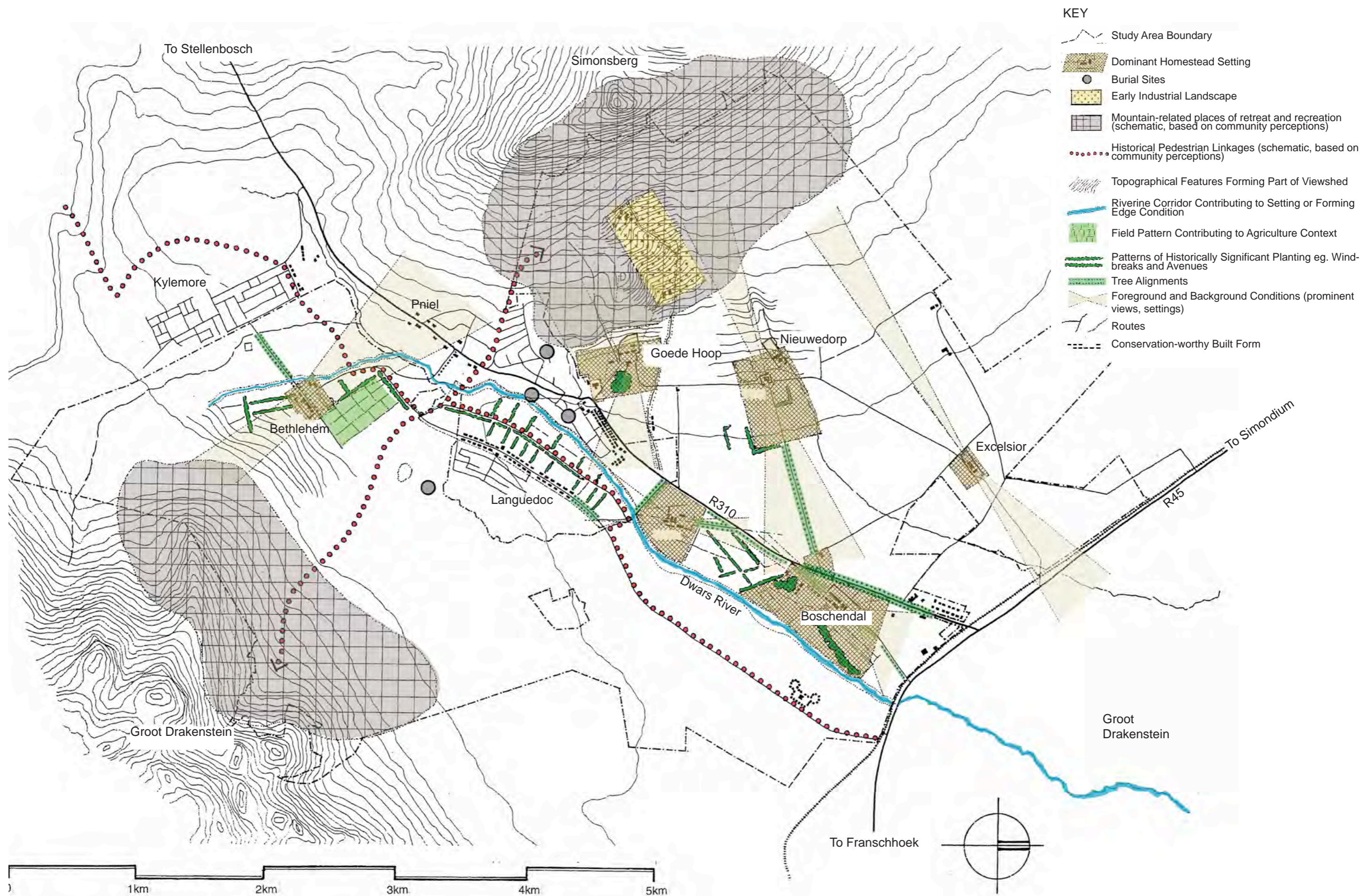
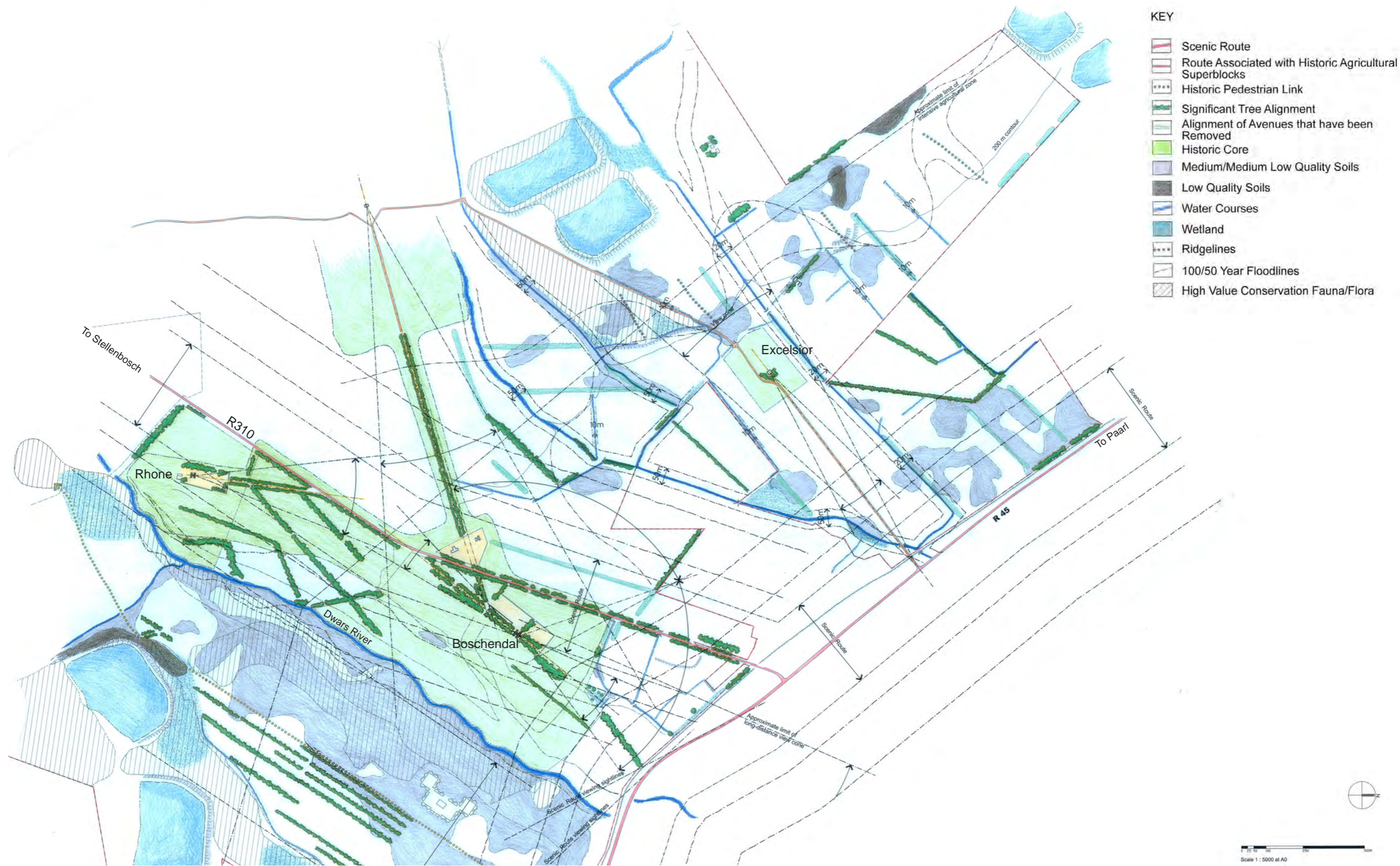




Figure 28: Boschendal werf in the context of the historic core (Source: Baumann, Winter, Dewar & Louw 2012).





## C.2 Werf context

Boschendal forms part of a historical core incorporating the farm werfs of Boschendal and Rhone and their agricultural frames, as well as the R310 scenic corridor and the Dwars River. (Refer to Figures 27 and 28). The werf is a PHS and is of outstanding intrinsic, associational and contextual heritage value, one of the most iconic farm werfs within the Cape Winelands. It is worthy of Grade II, possibly even Grade I heritage status for reasons outlined below.

- It has high historical value in terms of its association with a pattern of early colonial settlement dating to the late 17th century.
- It has outstanding architectural value demonstrating key design principles of the Cape farm werf tradition with an emphasis on symmetry, orthogonality, axiality, hierarchy and enclosure. It is highly representative of the grand set pieces of the Cape Winelands dating to the early 19th century and incorporating a range of built elements, e.g. homestead, wine cellar/cooper, coach house/stables, slave quarters, kraals, fowl-run, werf walling, farm cottages. Its linear street-like layout is unique with outbuildings forming two long parallel rows behind the homestead. Its 1970s restoration to an early 19th century 'Cape Dutch' appearance reflects prevailing conservation attitudes at the time. The authenticity of its historical fabric and architectural character is variable ranging from a relatively high degree of authenticity of the homestead to its more heavily restored outbuildings, e.g. the wine cellar.
- It possesses distinctive landscape character zones that have evolved over time. This includes the spatial dominance and formality of the primary werf set within a strong agricultural frame with its central werf space characterised by a simple, albeit restored, landscape character i.e. levelled and lawned, gravel pathways and tree lined avenue situated on axis with the homestead. This is in contrast to the parkland setting and associated tree lined approach route to the south. This is also in contrast to the subsidiary and discrete nature of the cottage and nursery zone to the south-east and its associated sylvan and meadow setting.
- It has a distinctive pattern of tree planting which reinforces its settlement structure in terms of axial relationships and contributes to its treed setting.
- It has high aesthetic value in terms of relationships with its landscape setting – its strong linearity parallel to a riverine corridor, strong agricultural edges and magnificent mountain backdrop.
- It has a prominent landmark status along the R310 scenic route with dominant views towards the homestead and the Drakenstein Mountains beyond.
- It has high social value in terms of its associations with the De Villiers family and institutional memory as one of the historical set pieces consolidated under Rhodes Fruit Farm in the late 19th century. Also, its role as a major tourism destination, one of the first establishments of its kind in the Cape Winelands.
- It has associations with the history of slavery and farm labour which is manifested in various ways, e.g. slave quarters, farm workers' cottages.

## C.3 Individual buildings and groupings

### C.3.1 Wine cellar

The wine cellar contributes significantly to the werf ensemble in terms of its age of construction dating to early 19th century (possibly earlier), the subsidiary nature its built form in relation to the homestead and its contribution to the enclosure of the central space. Its degree of authenticity and integrity is difficult to determine due to an absence of complete documentation of its 1970s restoration/reconstruction. Available documentary evidence indicates it has been significantly restored in terms of roof, ceiling, front and end gables and arched door openings along the western façade (Fagan 1974). Its adaptive reuse as a restaurant during the 1970s has been recessively located to accommodate kitchen and ablution facilities to the rear and thus not to detract from the simplicity and intactness, albeit restored 'pristine' character of the central werf space.

### C.3.2 Cottages

The grouping of four early 20th century cottages has heritage value in terms of the following:

- They are fairly intact examples of farm workers housing dating to the early RFF period.
- They reflect an attitude to farm worker's housing during an important period in the history of the Valley.
- They possess distinctive settlement qualities in terms of their strong linearity and alternating 'L shaped' configuration.
- They possess a positive relationship with their landscape setting defining the edges of a green open space with dramatic views eastwards towards the Drakenstein Mountains.
- They are of suggested Grade IIIB value. The adjacent mid-20th century cottages contribute spatially and historically to the grouping and are of suggested Grade IIIC value.

Of considerable importance is the location of this grouping in proximity to the Boschendal werf. Of direct relevance is their deliberate subservience within the context of the primary werf in terms of their built form and being consistently tucked away and visually screened from view from the primary werf within a treed environment since at least the early 20th century. Similarly, of significance also is the manner in which the cottages have responded to landscape patterns and geometries over time - the linearity of the early 20th century cottages 'parallel' to the approach road and 'continuing' the alignment of the eastern arm of the primary werf enclosure. Furthermore, the arrangement of the mid-20th century cottages in order to enclose the space and further define its role as a distinct environmental room different in character from the primary werf is of relevance.



## SECTION D: HERITAGE RELATED PLANNING AND DESIGN INDICATORS

The following heritage indicators are derived from an understanding of heritage significance at various scales as well as best practice in heritage management as contained in various International Charters and a number of local adaptations (see references). They form the evaluation framework for the assessment of the proposals included in Section E of the report.

### D.1 Cultural landscape

At the broader landscape scale and with particular emphasis on the Grade I heritage status of the Dwars River Valley and its collection of highly significant heritage places, the following overarching principles and guidelines should apply:

- Protect and enhance the authenticity and integrity of the landscape including its unique collection of historical architectural set pieces and their settings, e.g. Boschendal, Rhone, Goede Hoop, Bethlehem and Rhodes Cottage/Nieuwedorp.
- Protect and enhance the collection of built form and landscape elements which contribute to the significance of these heritage places, e.g. farm werfs, farm cottages, water furrows and tree lined avenues.
- Retain and enhance the significance of historical fabric and associated features. Ensure minimal intervention to this fabric. Demolition, damage or removal of historic fabric should be avoided unless justified in heritage management terms.
- Respect all periods of history as opposed to undue emphasis on one era. The stripping away of layers can only be condoned when what is removed is of no or limited low significance or detracts from significance, and when its removal and/or adaptation can contribute to significance of the whole.
- Ensure that new building development is of a high quality design, workmanship and landscaping appropriate to the significance of these places, and thus ensuring a tradition of design excellence.
- Avoid replication and recreation. Modern insertions or additions should be clearly identified as such without causing visual contrast or dissonance.
- Ensure a positive response to the underlying logic of historical settlement patterns in relation to land form, good soils, water availability and flood plains, and movement routes. Thus ensure that new building development does not occur in an adhoc manner but rather in response to carefully considered and environmentally based set of structural principles.
- New building development, land uses and activities which are not in conflict with the significance of a heritage place should be supported. However, such development should always remain subsidiary to the primary heritage resource. This should be reflected in the scale, massing and architectural treatment of any new development, and in terms of movement likely to be generated.
- Ensure minimal visual intrusion into the R310 scenic route corridor. Ensure that critical view cones towards and from heritage places are unobstructed and uncluttered.
- The landscape setting of significant heritage places should be retained. This ranges from the broader landscape context in which the place is embedded (e.g. topographical setting, productive agriculture and riverine corridor) to its immediate landscape context (e.g. where a place forms part of ensemble with historical and visual-spatial relationships between places and elements).
- Historical patterns in the settlement design and morphology should be respected rather than the introduction of new or alien building forms and elements. This refers to the siting and orientation of new buildings, as well as architecture and landscaping treatment.
- Respect traditional elements or components related to the Cape farm werf, e.g. axial relationships, orthogonal form, symmetry, hierarchical structure, scale and modulation in the built form.
- Protect and reinforce planting patterns and trees of stature. Planting patterns and types which contribute substantially to the aesthetic and historical character of the landscape should be maintained and enhanced, e.g. tree lined avenues, windbreaks, tree groves, cultivated fields and meadow lands.
- The adaptive reuse of heritage places and structures which will not harm their cultural value and which contributes to their long term survival should be encouraged.
- Enhance the role of heritage as an integral component of the economic base of the Cape Winelands in terms of tourism development and job creation. The development of heritage resources in a responsible way for tourism purposes should be encouraged.



## D.2 Boschendal werf

Given the outstanding heritage significance of the Boschendal werf, a cautious approach to new interventions is required, particularly with respect to ensuring that its authenticity and integrity is not compromised.

Since the 1970s, tourism has contributed to the economic sustainability of the protection and maintenance of the werf. Its use as a popular tourist venue for more than 35 years has ensured a degree of public access, and thus enhanced public appreciation of its heritage value. The principle of upgrading and expanding its tourism facilities in order to sustain its conservation and semi-public use is supported from a heritage management perspective. However, the appropriate siting, scale, massing, form and design of new development should be informed by the following heritage indicators:

- A clear identification of the different historical layering of the werf and the justification for the removal of later additions, and the addition of a contemporary early 21st century layer.
- New building development should be visually discrete from the R310 scenic corridor, primary werf and its main approach route.
- Retain the spatial dominance of the primary werf and hierarchy of subsidiary spaces. The footprint of the historical werf should always remain the dominant element in the landscape.
- The primary role of the werf and its central shaft of space should not be compromised. The activation of new edges to the werf should also remain subsidiary.
- The siting of new building development should be at sufficient distance from primary werf to give it 'breathing space'. It should not erode its agricultural frame and visual-spatial relationship with the Dwars River.
- The werf should form the structural base for new building development as opposed to creating a new development node within the historic core. New buildings should contribute to place-making rather than being conceived as objects in space. Emphasis should be on contributing towards a compact settlement form, and framing views and spaces or environment rooms.
- The siting and orientation new buildings should respect the orthogonal geometries evident in werf layout, as well as its strong linear pattern.
- New development should respond to the landscape character of the werf and its subsidiary spaces, i.e. the strong formality of the primary werf reinforced by tree alignments which is in contrast to the looser arrangement of cottages to the south and their associated sylvan and meadow setting.
- New development should respond to the use of water courses as a form giving element and a system of water furrows which provide edge conditions reinforced by tree alignments.
- Retain the experiential qualities and character of the werf in terms of the scale of any new development, the amount of movement likely to be generated, parking requirements and likely impacts in the form of lighting, noise, etc.

- New buildings should not contrast or compete with the historical buildings in terms of scale, massing, form and architectural treatment. They should be complementary but unmistakably contemporary. They should be background buildings, as unobtrusive and recessive as possible.
- New buildings should reflect the modulated form of historical building, i.e. large monolithic building masses should not be permitted.
- They should reflect a rural architectural character and follow the simple rectangular forms of the existing buildings. The height of new buildings should be single storied and not exceed that of the ridgeline of the wine cellar. Their width should not exceed 7m in width with lean-tos accommodated to the rear.
- The roof silhouette (pitched or flat parapet roof) must be as unobtrusive as possible, particularly in reflecting the horizontality of the landscape. Expressed gable ends, front gables or projecting dormers should not be permitted. Roof pitches should be between 35 and 45 degrees.
- Apertures on the main façade should be vertically proportioned and modest in scale consistent with the tradition of a walled architecture. Extensive openings and glazing should be avoided, unless set back behind veranda elements or front facade.
- New patterns of access should not introduce any new formal axes but should be more organic and rural in character. Vehicular movement should be limited to the edges of the primary werf and its subsidiary spaces.
- New parking should be visually screened and fragmented rather than occurring as broad swathes. Structured parking or hard surfacing of parking areas should be avoided.
- Rural landscaping elements should be used, e.g. water furrows, hedges, tree alignments, gravel pathways. Urban and suburban elements should be avoided, e.g. tarred surfaces.

The Boschendal werf has limited ability to accommodate new building development. Based on the indicators above and programmatic requirements for a new multi-functional facility that is functionally connected to the werf, the best desirable option is for the placement of such a facility in the visually screened zone to the south-east of the primary werf, i.e. the wooded nursery zone.



## D.3 Individual buildings and groupings

### D.3.1 Wine cellar

- No new interventions should be permitted along the main western elevation of the wine cellar.
- The removal and/or adaptive reuse of the 1970s additions along the eastern elevation could be considered. Extensions should be limited to the existing footprint and envelope and should not encroach onto the water furrow running parallel to the building.
- New alterations and additions should be contemporary in nature and recessive in relation to the historic envelop.
- Interventions to the historical fabric including new openings must be limited. The location, size and number of openings need to be informed by historical fabric analysis to establish the possibility of earlier openings. New openings should follow the height and width of traditional proportions.
- Any demolition or excavation work around the wine cellar needs to be subject to archaeological monitoring.
- Structural work to the wine cellar should be supervised with the input of a conservation architect in order to ensure that historical features revealed during the construction process are adequately recorded, documented and conserved, and to give advice on the manner in which any new addition is attached to the historic fabric.
- Existing mature oak trees to the rear of the wine cellar must be retained and given sufficient space to ensure that new development does not damage their root structure. The need to provide for a subterranean root barrier to protect the historic fabric of the wine cellar will need to be confirmed by an arborist in conjunction with a conservation architect.

### D.3.2 Cottages

The cottages are currently vacant and in a degraded condition. Their adaptive reuse for guest accommodation is supported in terms ensuring their long term protection, care and maintenance. While their gentrification is inevitable in this case, the nature and extent of physical changes to the buildings and character of the grouping should be informed by the following heritage indicators:

- The subsidiary domestic scale of the grouping should remain unaltered.
- The envelopes of the cottages should be largely retained, with limited extensions accommodated to the rear.
- Changes to the exterior should be modest in nature and in keeping with traditional architectural elements, proportions and materials.
- The reconfiguration of the interiors should be permitted but distinctive period features should be retained or reused, especially with regard to the early 20th century cottages.
- Limited on-site parking can be accommodated and should preferably be located to the rear of the cottages.
- Landscaping interventions should be in keeping with the broader rural character of the site, its sylvan and open meadow setting, and subsidiary role of the cottage zone in relation to the primary werf.
- Telecommunication attachments such as satellite dishes should not be visible from the front facade.



## SECTION E: ASSESSMENT OF THE PROPOSALS

Outlined below is an assessment of the heritage impacts of the proposals informed by the preceding statement of significance and heritage indicators. A full set of proposals for the new barn, and alterations and additions to the wine cellar and cottages are included in Figure 29 Proposal Series.

In principle, the proposed upgrading and expansion of tourism facilities on Boschendal will have a positive heritage impact in terms of sustaining its long term conservation and semi-public use.

The overall siting, scale and nature of the proposals is regarded as consistent with the carrying capacity of the werf to ensure that its integrity and authenticity is not compromised. Possible long term intentions around the further upgrading and expansion of the hospitality facilities in and around the werf need to be carefully considered in terms of carrying capacity and cumulative impacts and should preferably be informed by an overall precinct plan.

### E.1 New barn and function venue

The heritage impact of the proposed new farm shed (which is to be used as a function venue) is regarded as minimal for the following reasons:

**Siting:** The siting of the new farm shed / function venue is visually discrete from the primary werf. It occupies an environmental room relating to the old nursery site and wooded poplar grove which is spatially distinct and different in character from the primary werf. The siting of the building will thus have minimal impact on the integrity of the primary werf and its setting.

**Orientation and geometry:** The orientation of the building responds positively to the orthogonal geometries of the werf and the principle of framing spaces and views towards the Drakenstein Mountain. Its orientation is at variance with the strong linearity of the werf. However, this occurs at a secondary level without competing with this pattern in terms of its discrete location, not introducing any new formal axes or reinforcing existing axes relating to the primary werf, and responding to the looser geometry and more informal character of the cottage zone. Its orientation is slightly off kilter with the geometry of the primary werf to reflect the geometry of the cottages, thus reinforcing its visual-spatial separation from the primary werf and visual-spatial connectivity with a subsidiary space.

**Form and massing:** The single storied rectangular form of the building is consistent with traditional rural architectural forms. The 10m width of the core structure is wider than traditional proportions. However, the use of scaling elements such as the flat roofed lean-to, veranda and portico, as well as its treed setting reduces the massing of the building to within acceptable limits. The shadow gap between the main shed and the service wing effectively reduces the overall massing of the building on the north elevation. Cross sections also reveal that the ridgeline of the new building does not exceed the height of the ridgeline of the wine cellar due to a falling topography.

**Architectural character:** The contemporary architectural character of the building clearly distinguishes it from the historical buildings. It is a background as opposed to a foreground building. It does not compete with the architectural character of the historical buildings in terms of its walled architecture, simple roof silhouette and nature of its apertures. The wide glazed opening along the front façade is set behind a wide veranda.

**Landscaping and parking:** The reinforcement of the treed setting by additional planting around the site is supported. The proposals respect the informal landscape character of the area as well as the openness of the landscape related to the cottages. The removal of the tarred road surface and its replacement with a gravel surface is positive. The informal and fragmented nature of new parking and its discrete location within existing tree clearings and to the rear of the new building will minimise its impact. New patterns of access do not introduce new formal axes. Vehicular traffic is directed to away from the primary werf and to the periphery of the open space related to the cottage zone.



## E.2 Wine cellar restaurant

The proposed interventions to the wine cellar restaurant will have a positive heritage impact in terms of being a considerable improvement to the existing east elevation and service blocks. The clip-on, transparent and minimalist nature of the 'glass box' addition is visually recessive to the historic core. On the other hand, the solid walled nature of the plinth integrates the new addition to the historical building and achieves a successful balance between contrast and continuity in the relationship between old and new. The principle of providing limited new openings along the western elevation that follow the width and height of traditional proportions is supported. However, the appropriate location, size and number of new openings should be informed by historical fabric analysis to determine the possibility of earlier openings.

## E.3 Cottages

The adaptive reuse of the cottages for guest accommodation will have a positive impact in terms of ensuring their long term protection, care and maintenance. The nature and extent of the proposed alterations and additions, and landscaping interventions will have minimal heritage impact in terms of the following:

**Early 20th century cottages:** The exterior envelopes of the cottages are being retained except for the modest new afdak extensions to the rear which will also involve the partial opening up of the western external wall. This extension is discretely located to the rear of the cottages.

The exterior character of the front and side elevations remain largely unaltered with the nature of new interventions (i.e. new windows, doors, stoep extensions) being modest in nature and in keeping with traditional architectural elements, proportions and materials). While the proposals indicate the replacement of all existing steel windows and doors, it is recommended that all existing period doors be reused.

Interior physical changes involving demolition of internal walls and reconfiguration of internal spaces are regarded as acceptable from an adaptive reuse perspective. The partial removal of the ceiling boards to open up the roof space within the living area is acceptable on condition that the ceiling is not entirely removed.

**Mid-20th century cottages:** The physical changes to mid-20th century cottages are modest in nature and in keeping with their existing character and contribution to the ensemble. The changes to the front façades including a new pergola covered verandas with and double glazed doors are in keeping with traditional elements and proportions.

**Landscaping interventions:** The proposed landscaping interventions including new gravel access to the rear of the mid-20th century cottages and the proposed new organic reed bed pool situated within the clearing of an existing wooded area will be screened from view and will thus have minimal heritage impact. Parking will be mostly accommodated within an existing parking area to the north, thus minimising the impact of the vehicular movement across the site.

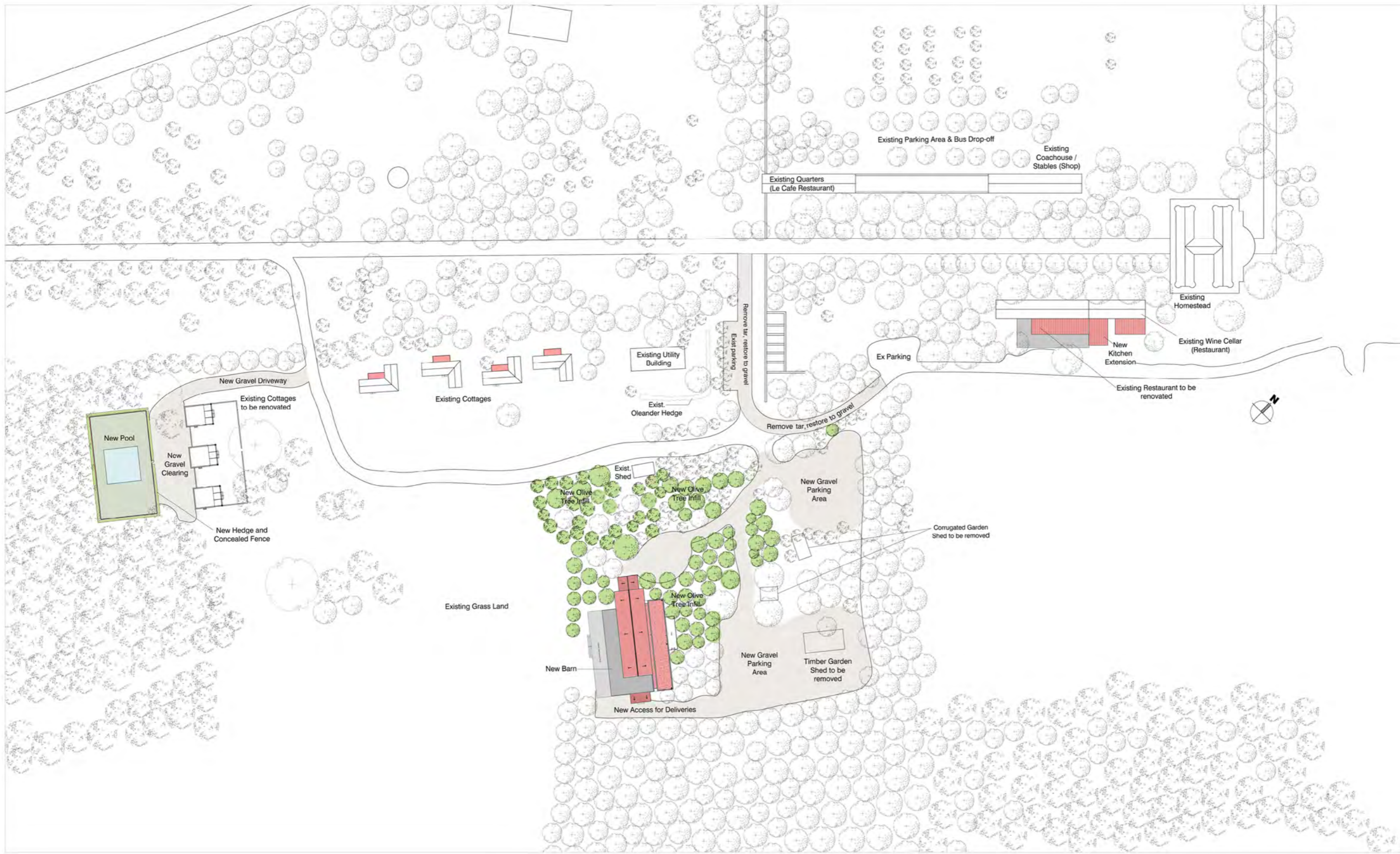


## **BOSCHENDAL**

- NEW BARN
- UPGRADE AND RENOVATION OF EXISTING LABOURERS COTTAGES
- UPGRADE AND EXTENSION TO EXISTING RESTAURANT



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Approach Rd. towards 7 cottages and open field



Existing nursery site. Future position for New Barn



North-Western view from New Barn



South-Western view from New Barn



Existing track to nursery to be grassed over.



Existing service block to be converted.



Existing service block to be converted.

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PROJECT TITLE  
 NEW BARN,  
 UPGRADE AND RENOVATION OF EXISTING  
 LABOURERS COTTAGES AND RESTAURANT  
 AT BOSCHENDAL

DRAWING TITLE  
 SITE DEVELOPMENT PLAN

SCALE	DATE	DESIGNER	DRAWN
1:500 @ A3	OCT 2013	CF	PB
NO.	PROJECT	DATE	
80-2013	SDP/BOSCH		







## NEW BARN

The old nursery site had been identified as a suitable site for a new farm barn at Boschendal. It is an area much lower than the main werf, obscured by trees, shrubs and an existing poplar forest. This precinct is thus completely disassociated visually, from the historical werf, therefore avoiding any conflict in terms of altering the character of the historical werf.

Also, the barn had deliberately been positioned in such a manner as to avoid the reinforcement of any formal existing axis, within the historical landscape lay-out.

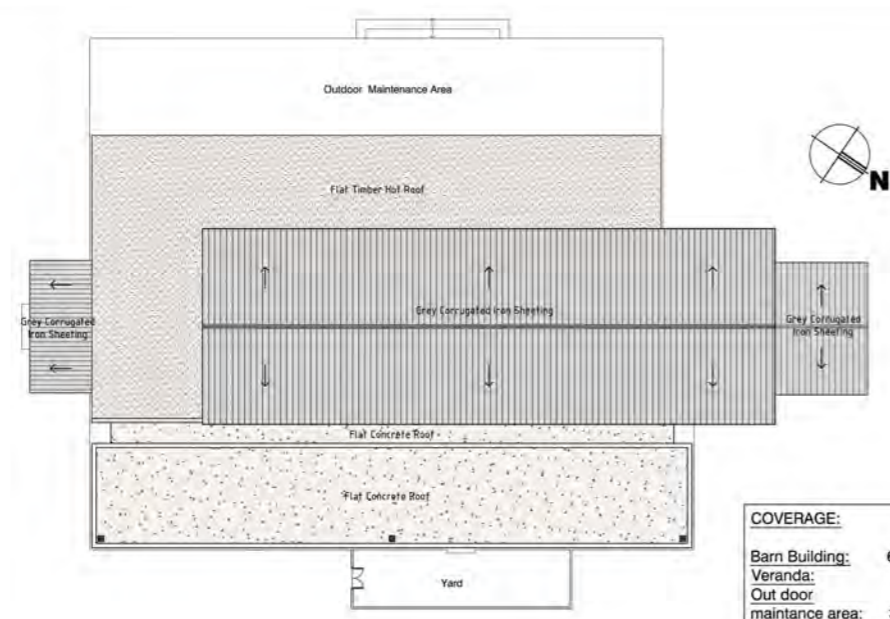
A deliberate effort had been made to differentiate the new building stylistically from any of the existing historical buildings. Yet, at the same time it was regarded as important to refer to the agrarian character of the site, by creating an architectural form that feels comfortable and in harmony with its surroundings. The choice of a simple farm barn like structure, clad in weathered wood, and situated in an obscured, wooded area, hopefully will act in a recessive yet appropriate manner, to allow for the use of a practical space, conveniently located without affecting the broader character of the werf.

The existing, albeit, mature olive grove, will be filled in and expanded somewhat. This will not only provide foreground which obscures the building somewhat, but will also reinforce the existing olive grove. The new trees will be filled in as part of normal farming operations and not as part of an elaborate landscape design. Any decorative planting or structured hard surfaces are avoided in order to create a certain informality, timelessness and simplicity as is expected from a utilitarian amenity.



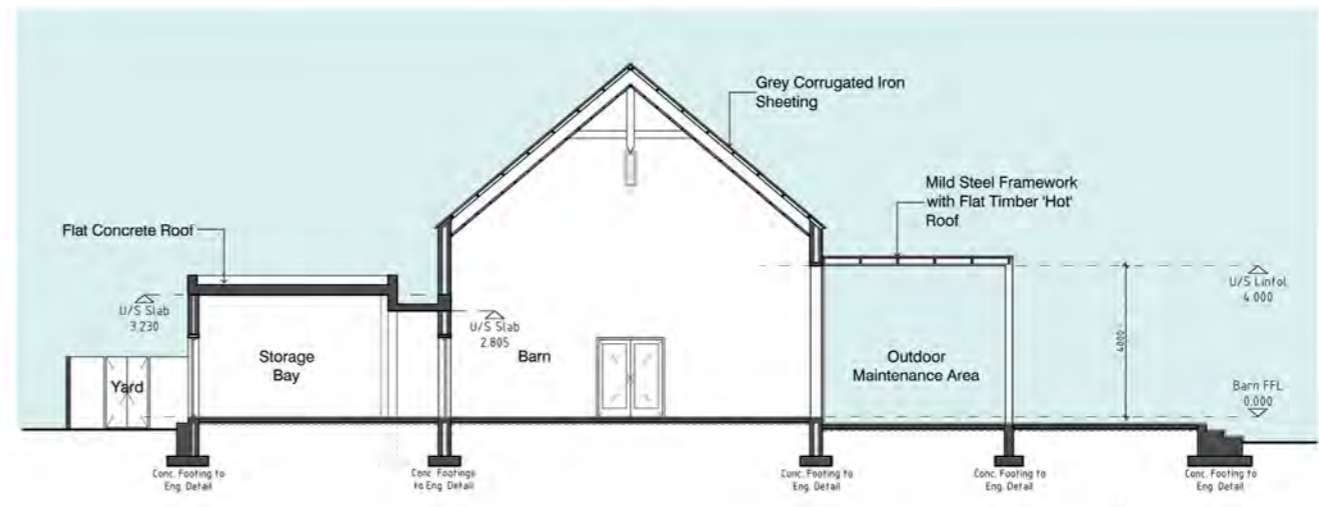
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#	26.10.2013	ISSUED FOR INFORMATION	FC



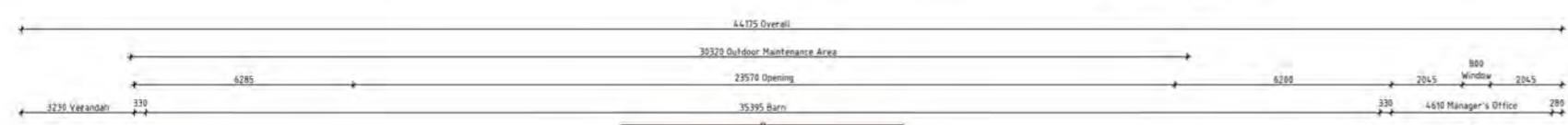
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Barn Building:	607.4sqm
Veranda:	22.9sqm
Outdoor maintenance area:	304.7sqm

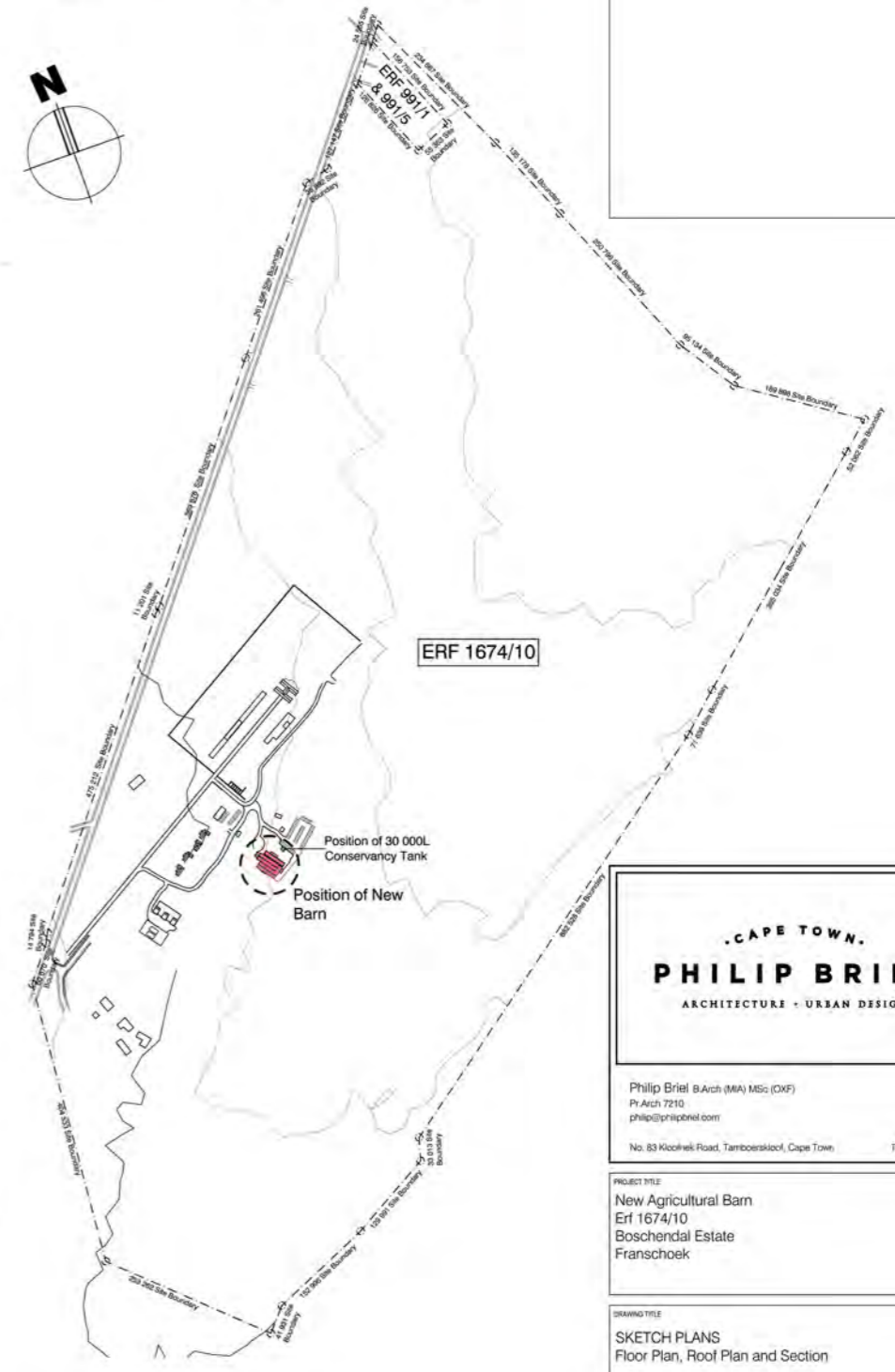
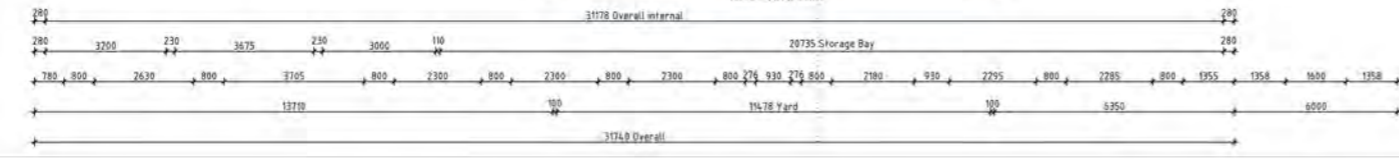


**CROSS SECTION**

**ROOF PLAN**



**FLOOR PLAN**



**SITE PLAN**

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**PROJECT TITLE**  
 New Agricultural Barn  
 Erf 1674/10  
 Boschendal Estate  
 Franschoek

**DRAWING TITLE**  
 SKETCH PLANS  
 Floor Plan, Roof Plan and Section

SCALE @ A1	DATE	DRAWN	CHECKED
1:100, 1:200, 1:5000	OCT 2013	CF	PB

Job No.	Drawing No.	Revision
B0-2013	SK.01	#

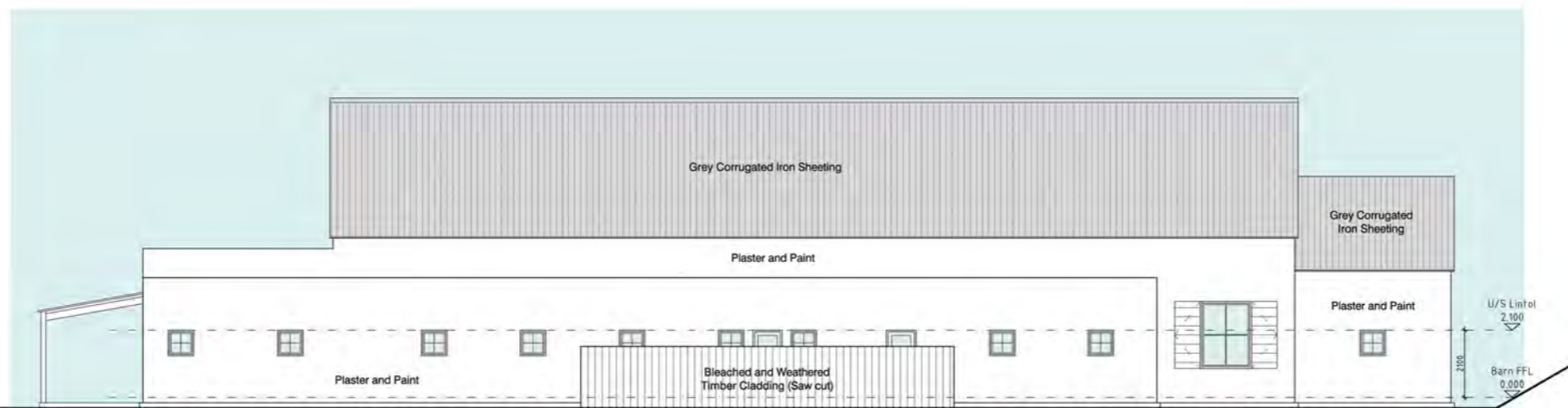


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REV	DATE	DESCRIPTION	BY
#	28.10.2013	ISSUED FOR INFORMATION	TC



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION (Seating Area)

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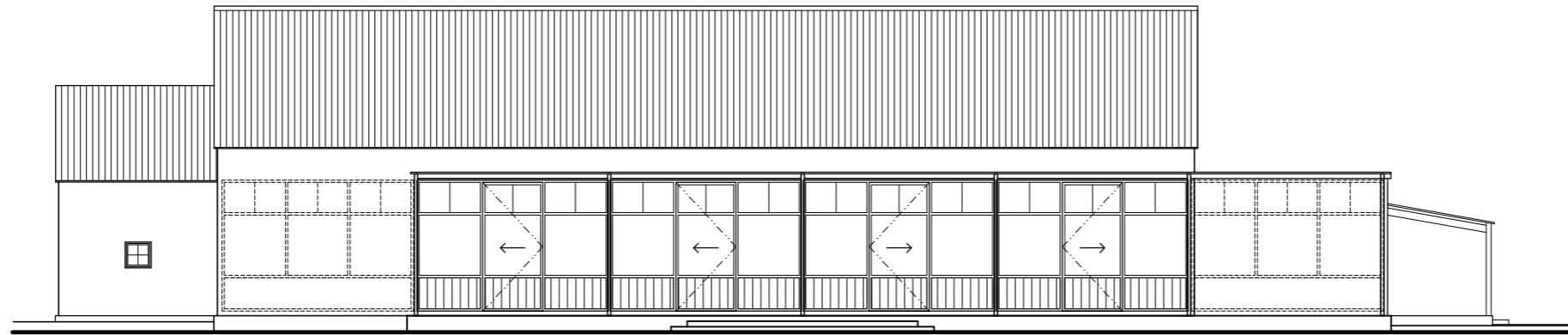
PROJECT TITLE  
 New Agricultural Barn  
 Erf 1674/10  
 Boschendal Estate  
 Franschoek

DRAWING TITLE  
 SKETCH PLANS  
 Elevations

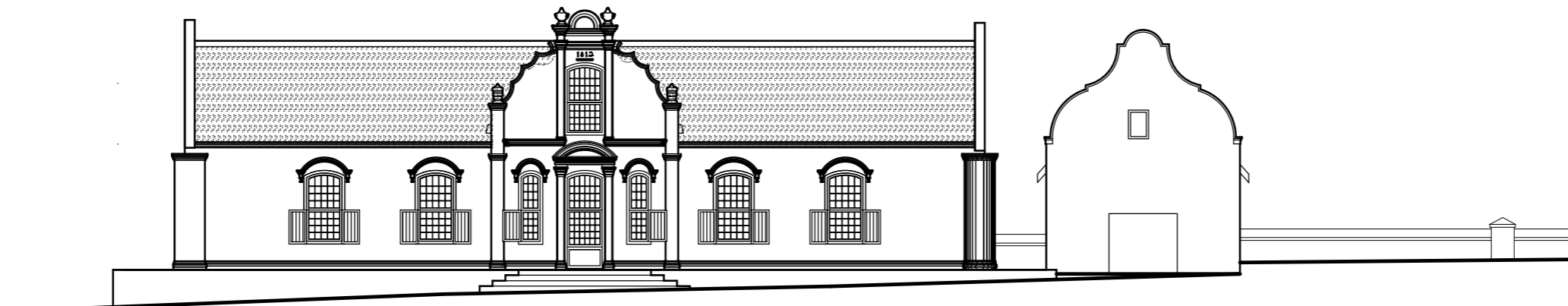
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1:100	OCT 2013	CF	PB

Job No.	Drawing No.	Revision
BO-2013	SK.02	#

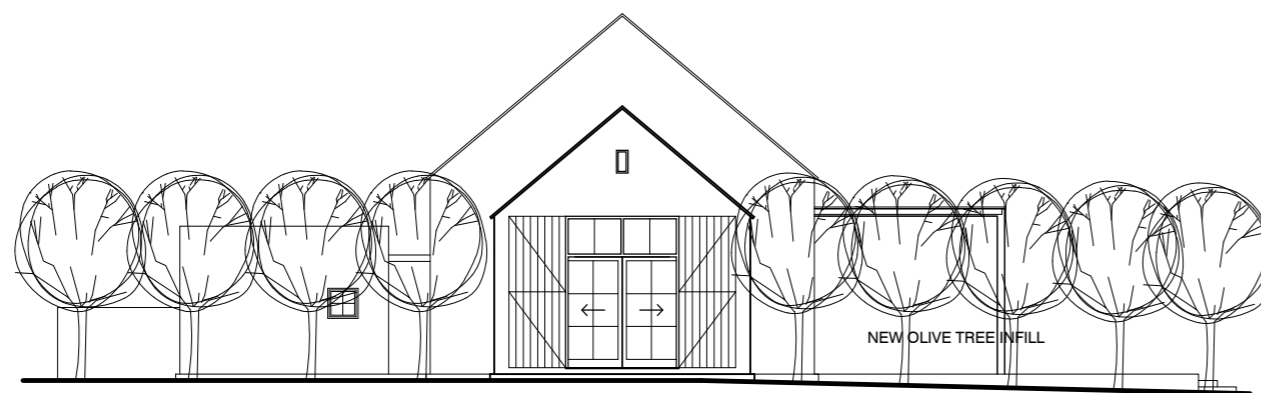




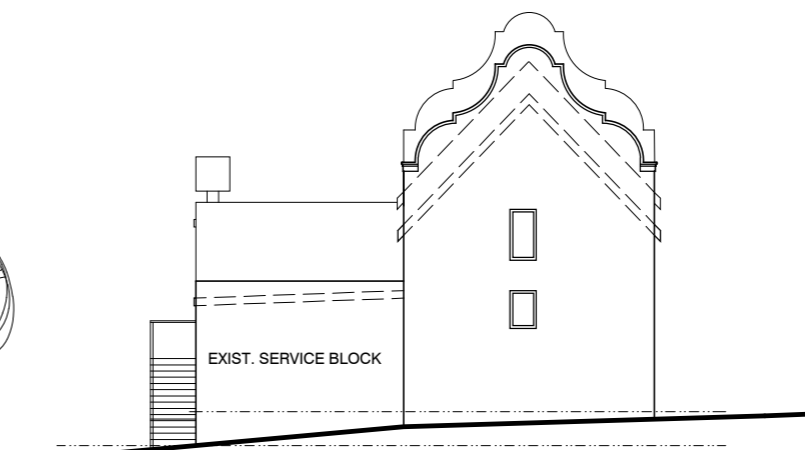
NEW BARN - WEST ELEVATION



MAIN WERF ELEVATION



NEW BARN - NORTH ELEVATION



EXIST. RESTAURANT ELEVATION

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PROJECT TITLE  
 New Agricultural Barn  
 Erf 1674/10  
 Boschendal Estate  
 Franschhoek

DRAWING TITLE  
 BARN & RESTAURANT FACILITY  
 Comparison between Existing and New Elevations

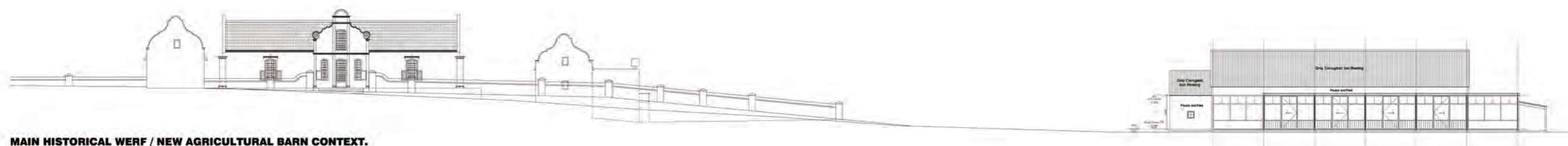
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JOB No. BO-2013	Drawing No. COMP.01	REVISION #
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MAIN HISTORICAL WERF / NEW AGRICULTURAL BARN CONTEXT.



MAIN HISTORICAL WERF / NEW AGRICULTURAL BARN CONTEXT.

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PROJECT NO:  
New Agricultural Barn  
Erf 1674/10  
Roochandel Estate  
Franschhoek.

DRAWING NO:  
BARN & HISTORICAL WERF  
CONTEXT SECTIONS  
Comparison between Existing and New Elevations

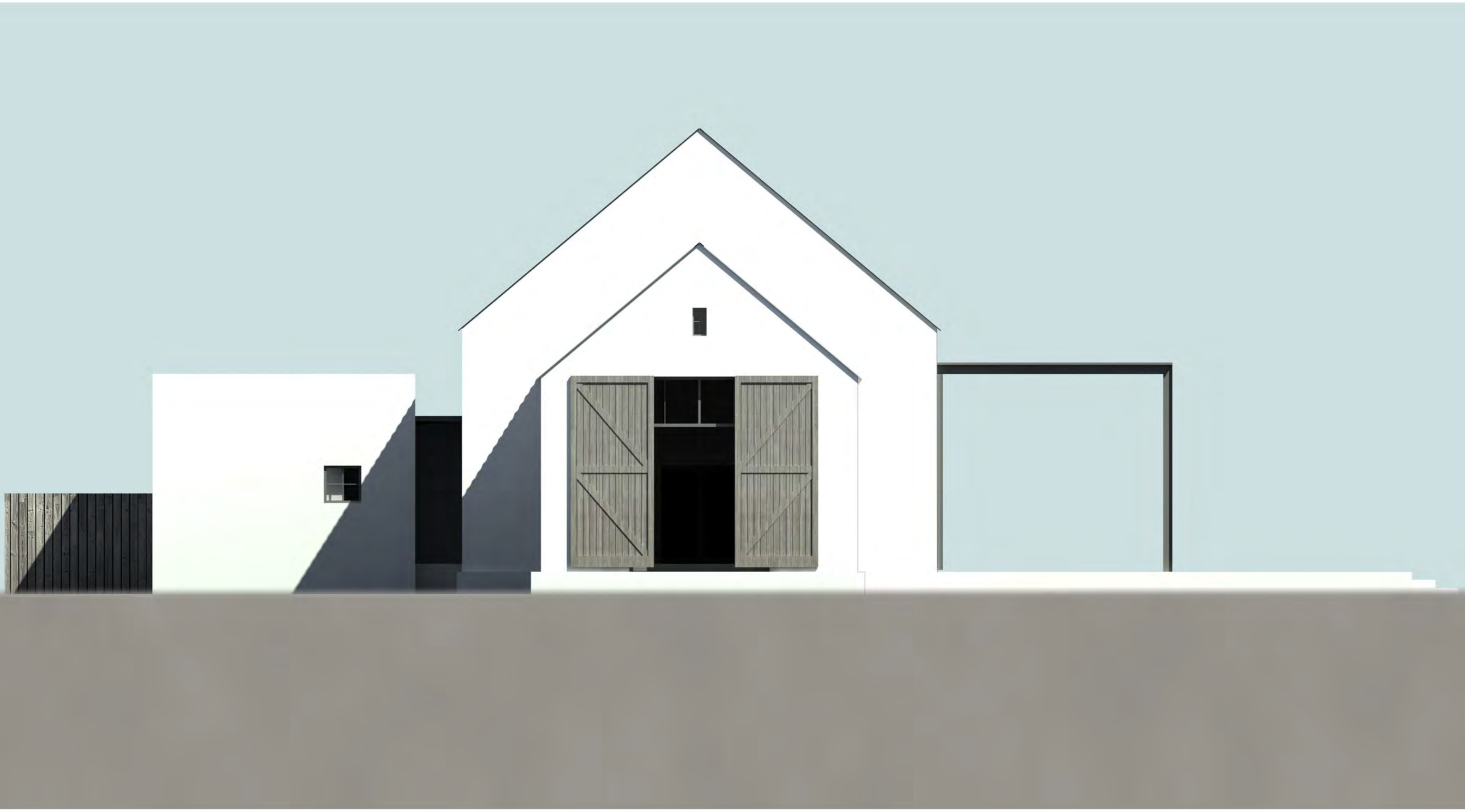
DATE	BY	CHKD BY	APP'D BY	REVISION
05-2015	NTS	05-2015	CP	01

05-2015      COMP.01      6

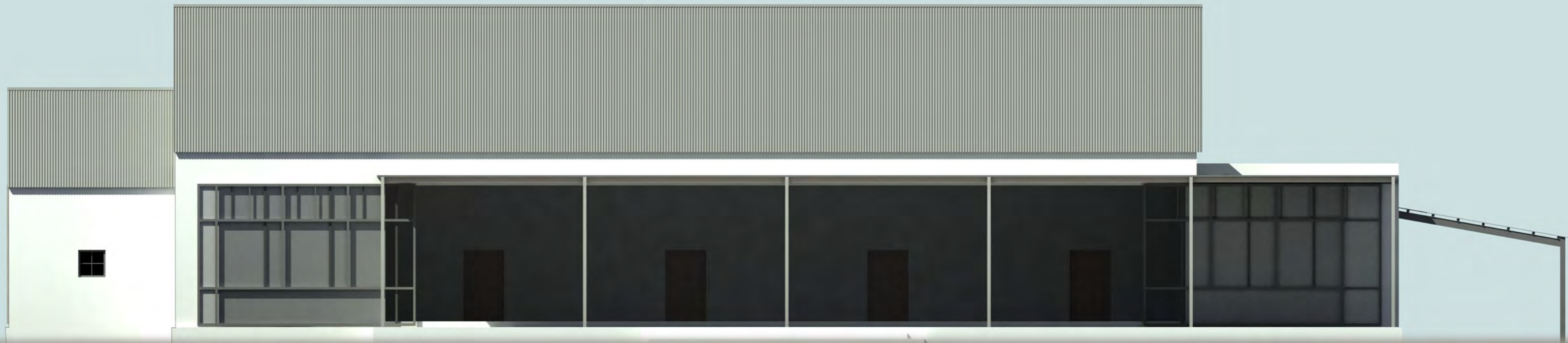
















Labourer Cottages



Manor House



Restaurant Upgrade



Existing Olive Grove

New Olive Grove

New Barn



New Olive Grove





Labourer Cottages

Labourer Cottages

New Barn

New Olive Grove

New Olive Grove

Existing Olive Grove



## RESTAURANT UPGRADE AND EXTENSION

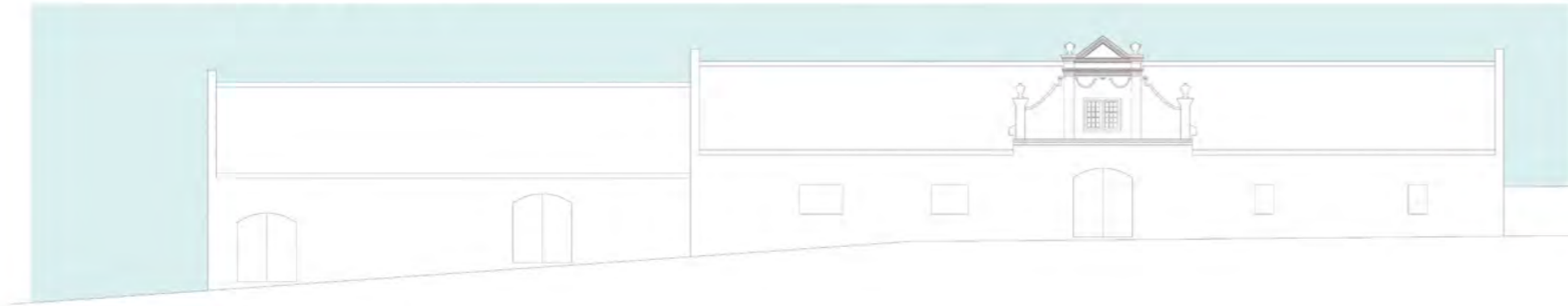
The main focus for intervention will be at the dated service blocks at the back of the cellar. The strategy is to remodel the service blocks from closed-in, utilitarian spaces, into contemporary, habitable spaces by opening up views and connections to the southern portion of the farm. The utilities will be moved downstairs to an existing basement and the existing yard wall will be covered in a deck, allowing people an elevated outdoor, dining experience, in a magnificent setting.

Diners will still arrive at the same entrance as before, but will now be able to enjoy the surprising delight, of moving through a traditional, rather austere, Cape Dutch barn entrance, into a space that opens up towards a simple, light-filled, contemporary structure, juxtaposed to the original barn. This simple, glass walled box (in lieu of the solid service block) will be discreetly connected to the original cellar, through carefully punctured, minimal additional openings in the exterior wall. These punctures will be determined through careful architectural fabric analysis, by a specialist. The entire extension will be within the existing footprint of the service block. An open area in between the service block and existing 1970's ablution block will be filled in, in order to increase the kitchen area that was lost.

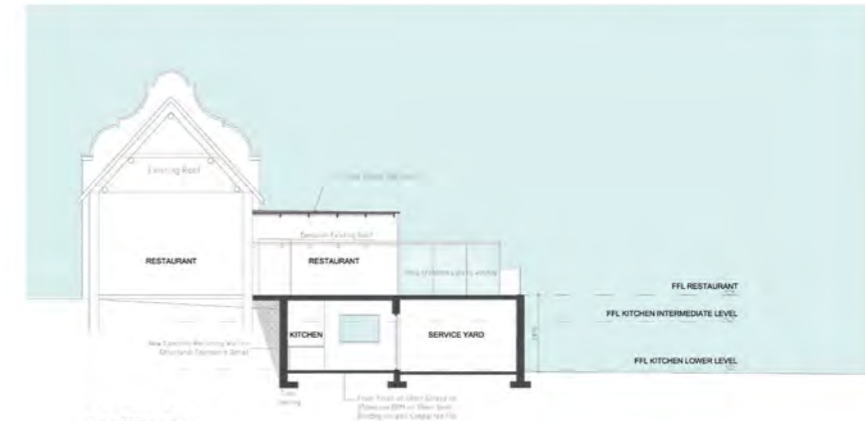




**SOUTH EAST ELEVATION**



**SOUTH WEST ELEVATION**



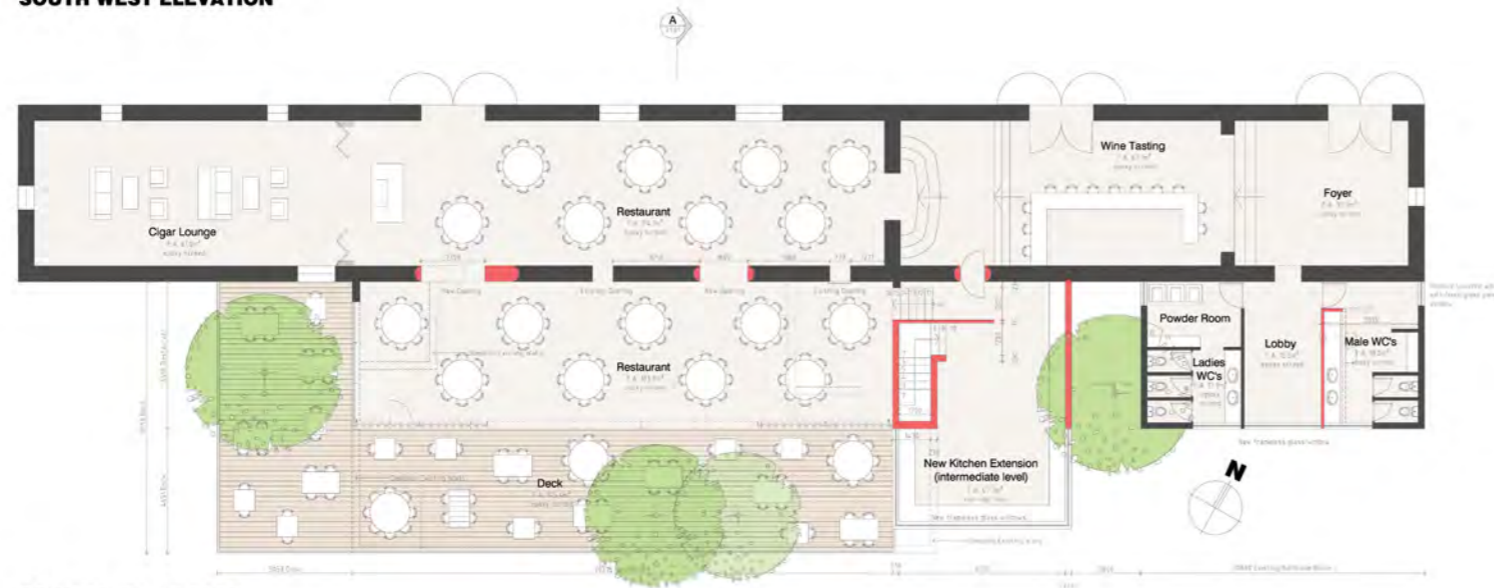
**SECTION A**



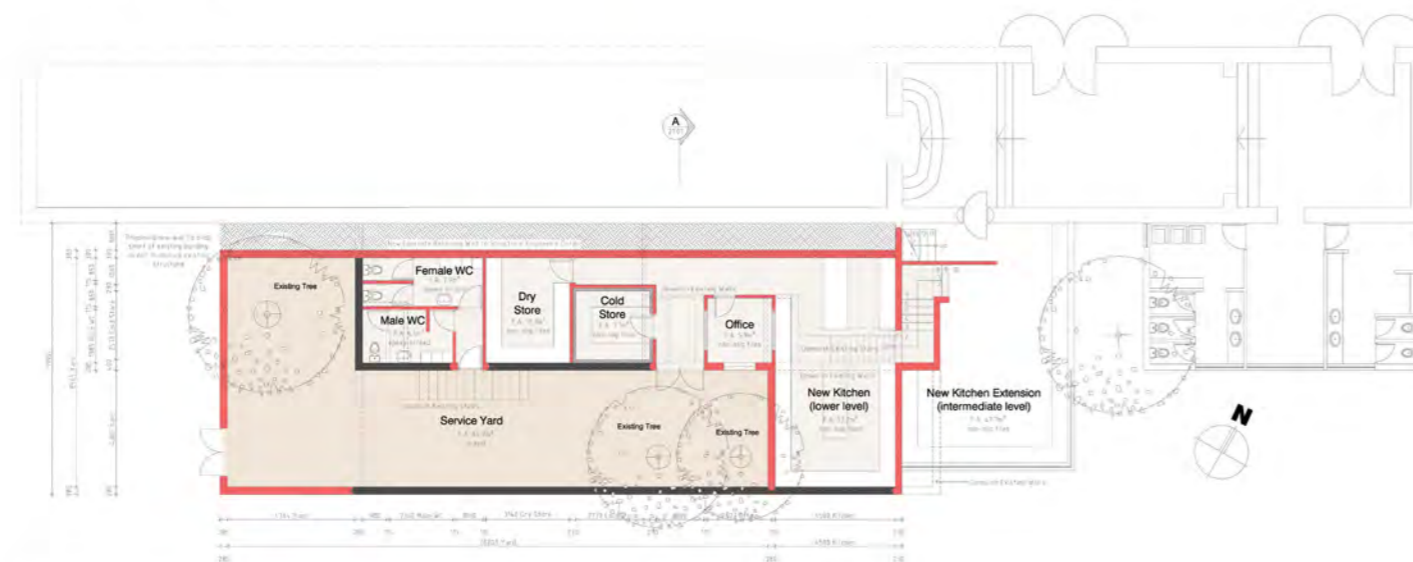
**NORTH EAST ELEVATION**



**SOUTH WEST ELEVATION**



**GROUND FLOOR PLAN**



**LOWER GROUND FLOOR PLAN**



**SITE PLAN**

**NOTE**  
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REV.	DATE	DESCRIPTION	BY
1	07/10/20	ISSUED FOR INFORMATION	TC

CAPE TOWN.  
**PHILIP BRIEL**  
 ARCHITECTURE - URBAN DESIGN

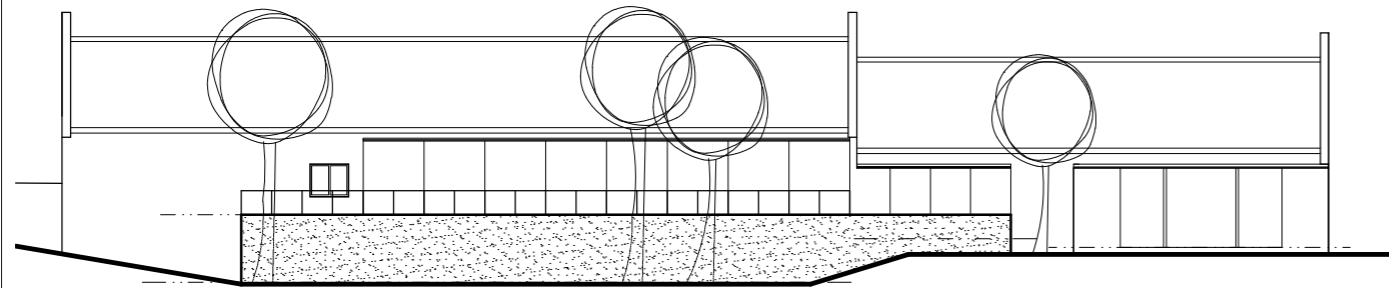
Philip Briel & Associates (Pty) Ltd.  
 Architects  
 88 Kloof Road, Table Mountain, Cape Town  
 Tel: 021 424 8108

PROJECT TITLE  
 Alterations & Additions to:  
 Boschendal Restaurant  
 Erf 1674/10  
 Boschendal Estate  
 Franschoek

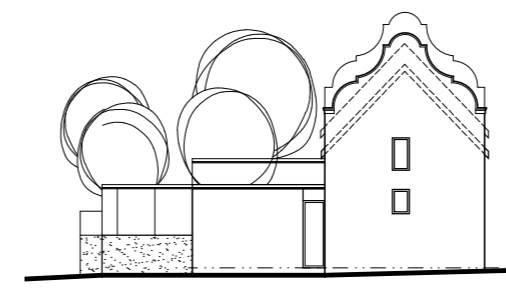
DRAWING TITLE  
 LOCAL AUTHORITY SUBMISSION

SCALE	DWG	DATE	DESIGNED	CHECKED
AS SHOWN	21.01	21.01	TC	TC

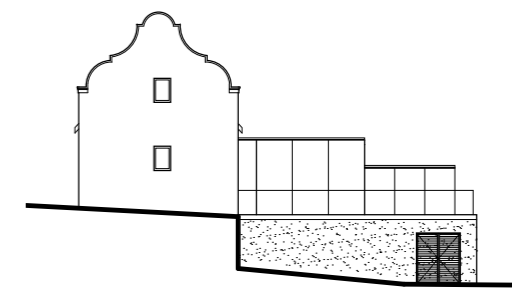




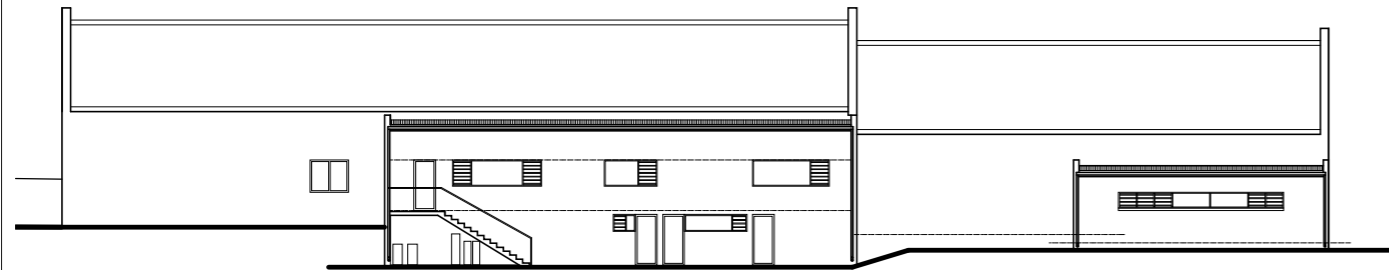
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SCALE 1:100



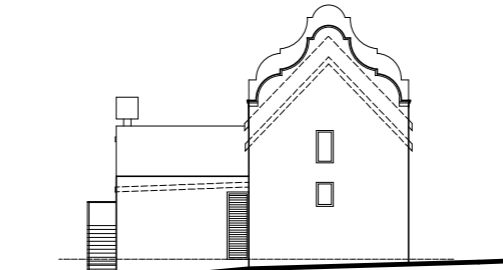
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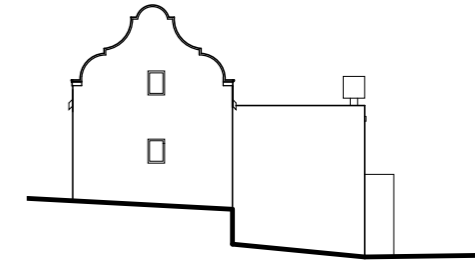
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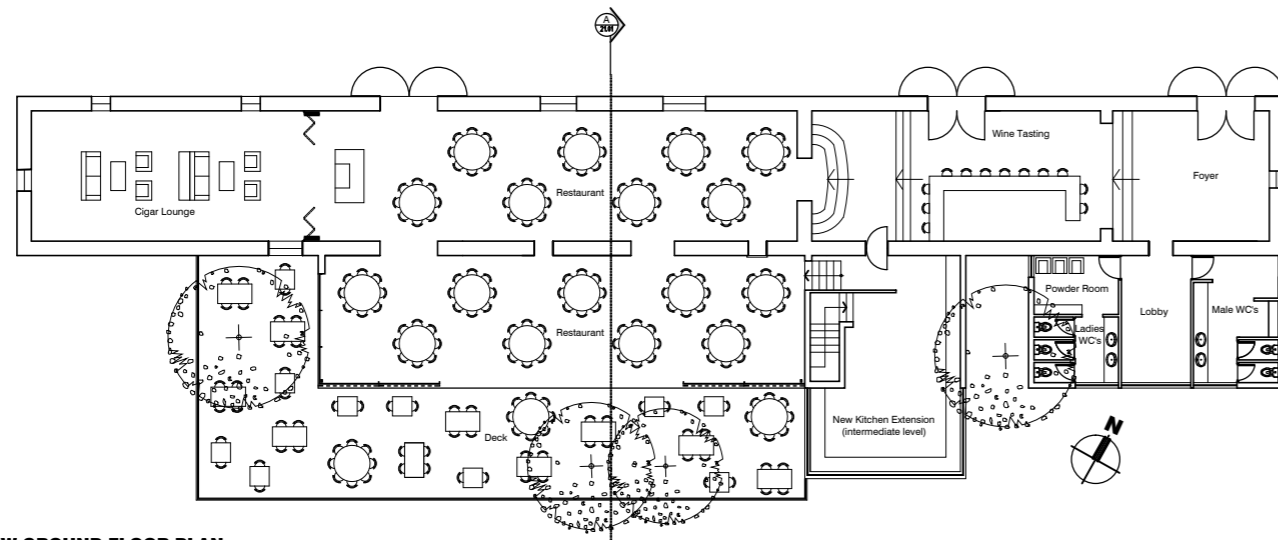
**SOUTH EAST ELEVATION (Existing)**  
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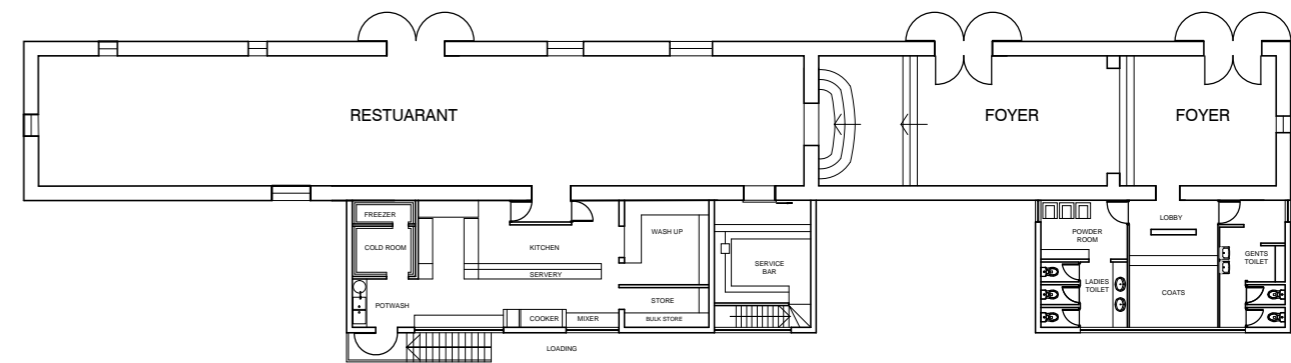
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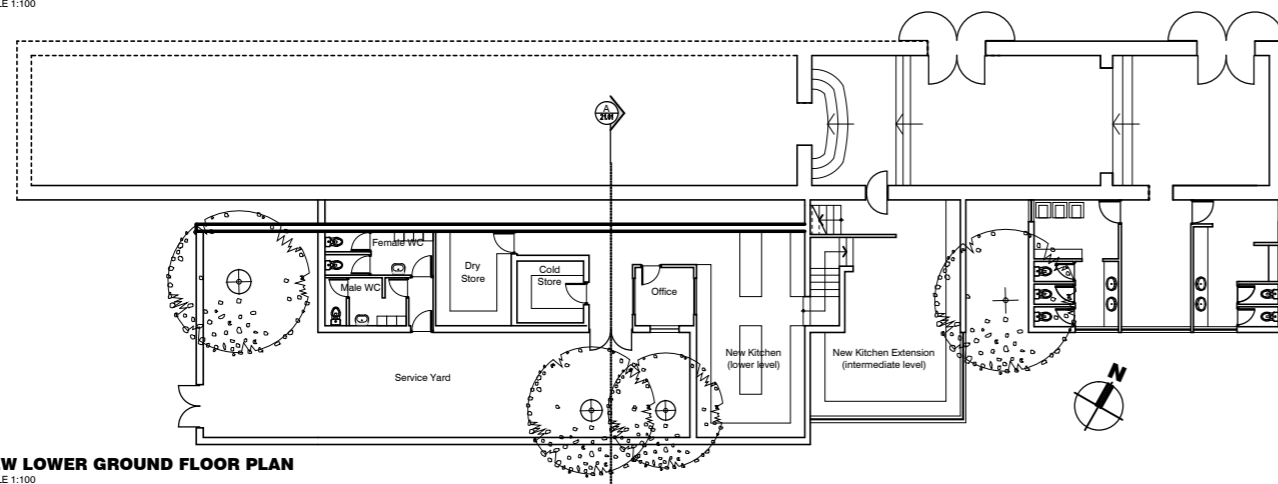
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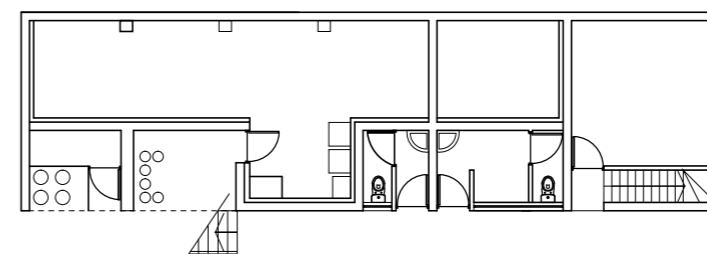
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SCALE 1:100



**GROUND FLOOR PLAN (Existing)**  
SCALE 1:100



**NEW LOWER GROUND FLOOR PLAN**  
SCALE 1:100



**LOWER GROUND FLOOR PLAN (Existing)**  
SCALE 1:100

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1	10-10-2013	ISSUED FOR APPROVAL	TC



Philip Briel & Arch (Pty) Ltd (Pty)  
P.O. Box 7210  
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Tel: 011 484 8100

**PROJECT:**  
Alterations & Additions to:  
Boschendal Restaurant  
Erf 1674/10  
Boschendal Estate  
Franschoek

**PROJECT:**  
COMPARISON BETWEEN EXISTING RESTAURANT  
AND NEW EXTENSION

DATE	SCALE	DATE	BY
1:100; 1:5000		OCT 2013	TC
			PB

BO-2013 Comp 01







## LABOURERS COTTAGES (L-SHAPED)

Simple, straight forward architectural solutions were found in order to improve the quality of these buildings, without altering their character or that of the site. Window and door opening sizes had been kept to an absolute bare minimum and the only addition had been that of a mud room extension towards the rear of the L-shaped cottages. These clip-ons, serve the purpose of light traps, allowing natural light to penetrate the rather dark rooms. This should improve the quality and thermal behaviour of the existing spaces.



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**SOUTH ELEVATION**  
 SCALE NTS



**EAST ELEVATION**  
 SCALE NTS



**NORTH ELEVATION**  
 SCALE NTS



**WEST ELEVATION**  
 SCALE NTS



**UNIT 1: FLOOR PLAN**  
 SCALE NTS



**SECTION A**  
 SCALE NTS



CAPE TOWN  
**PHILIP BRIEL**  
 ARCHITECTURE · URBAN DESIGN

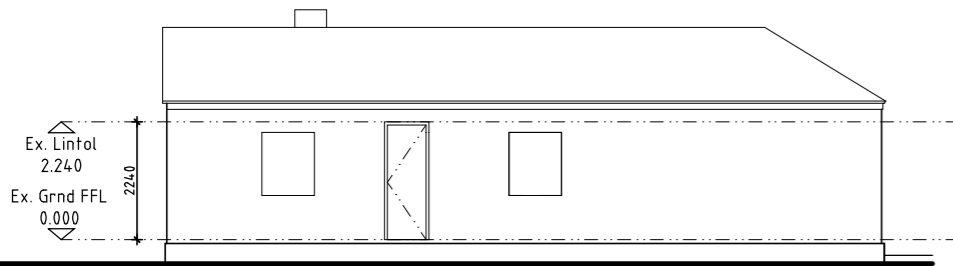
Philip Briel & Associates (Pty) Ltd  
 P.O. Box 1210  
 8001 Kalkbakkie, Cape Town  
 Tel: 021 424 8708

**TYPICAL 'L' SHAPED COTTAGE**

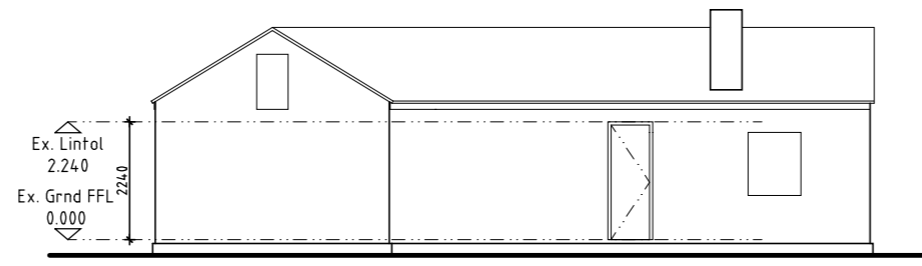
Sketch Plan Unit 1 Boschendal

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NTS	OCT 2013	EP	PB
JOB No.	BOSCH 13		
Project	SKP02/BOSCH		

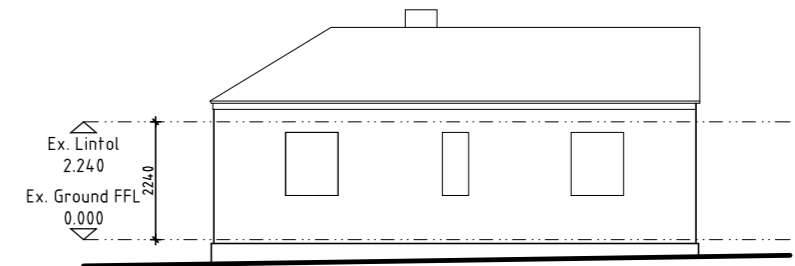




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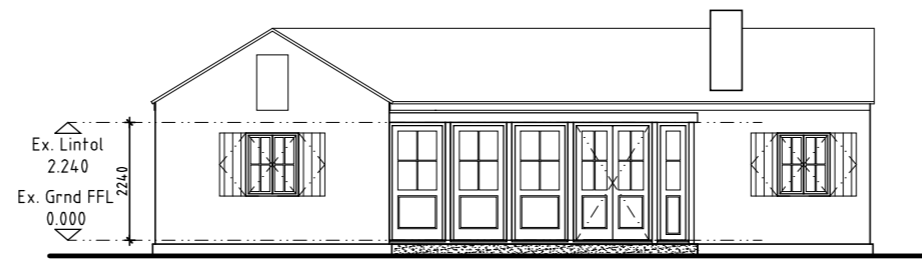
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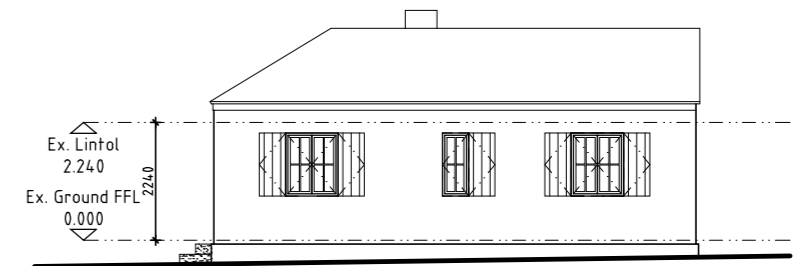
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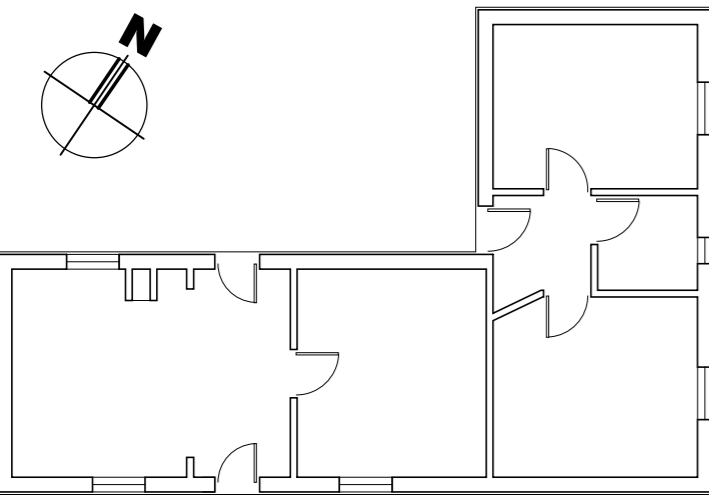
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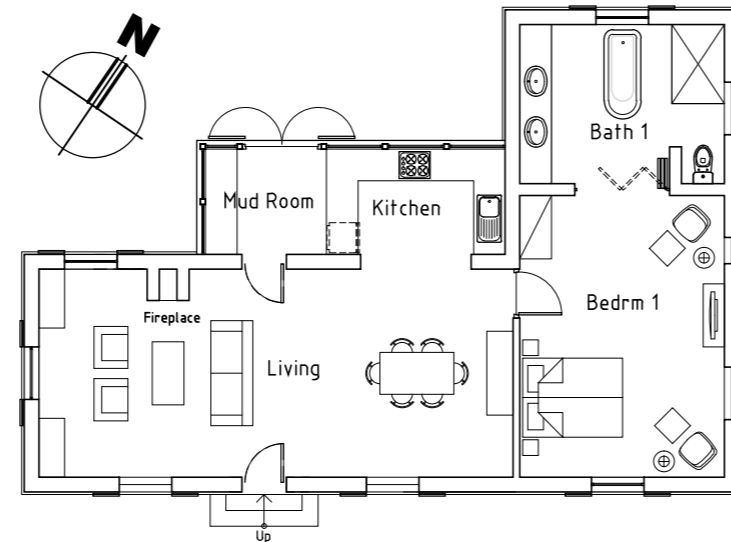
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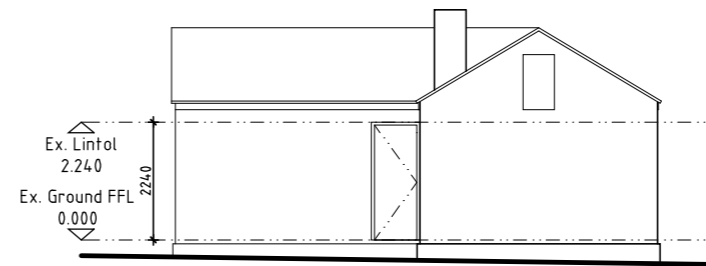
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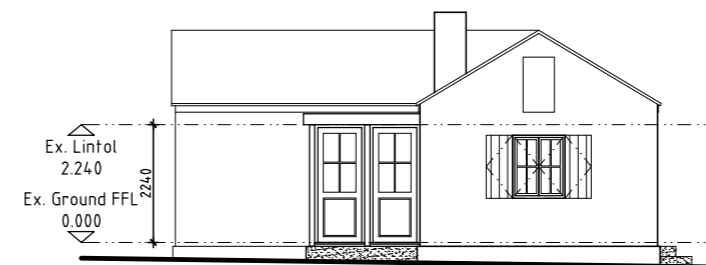
**UNIT 1: FLOOR PLAN (Existing)**  
SCALE 1:100



**UNIT 1: FLOOR PLAN**  
SCALE 1:100



**WEST ELEVATION (Existing)**  
SCALE 1:100



**NEW WEST ELEVATION**  
SCALE 1:100

CAPE TOWN.  
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**PROJECT TITLE**  
Alterations & Additions to:  
Boschendal Cottages  
Erf 1674/10  
Boschendal Estate  
Franschoek

**DRAWING TITLE**  
TYPICAL 'L' SHAPED COTTAGES  
UNIT 1  
Comparison between Existing and New Layouts

SCALE	DATE	DRAWN	CHECKED
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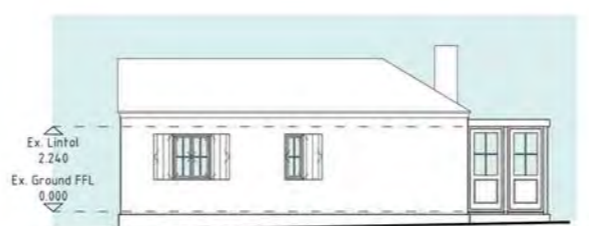
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B0-2013	Comp.01	#



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 THE ARCHITECT IMMEDIATELY.



**SOUTH ELEVATION**  
 SCALE NTS



**EAST ELEVATION**  
 SCALE NTS



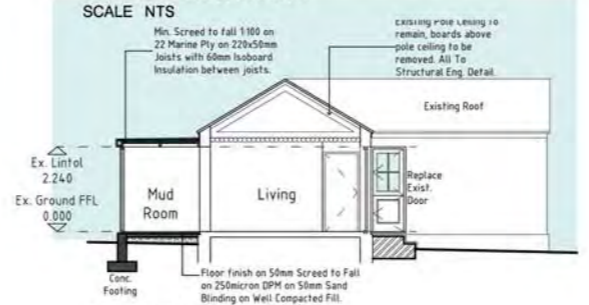
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 SCALE NTS



**WEST ELEVATION**  
 SCALE NTS



**UNIT 2: FLOOR PLAN**  
 SCALE NTS



**SECTION A**  
 SCALE NTS



CAPE TOWN.  
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PROJECT TITLE  
**TYPICAL 'L' SHAPED COTTAGE**

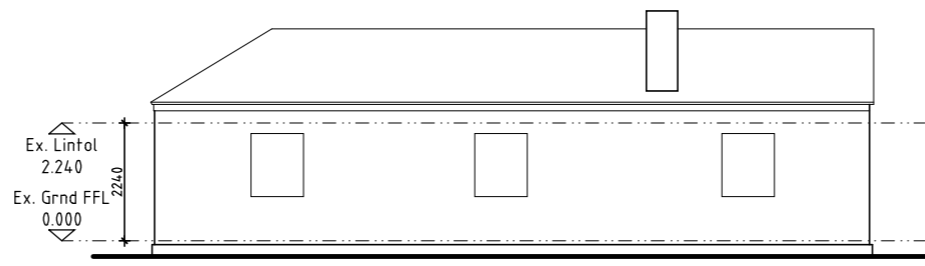
ISSUED FOR  
**Sketch Plan Unit 2 Boschendal**

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NO. 10		PROJECT NO.			
BOSCH 13		SKP03/BOSCH			

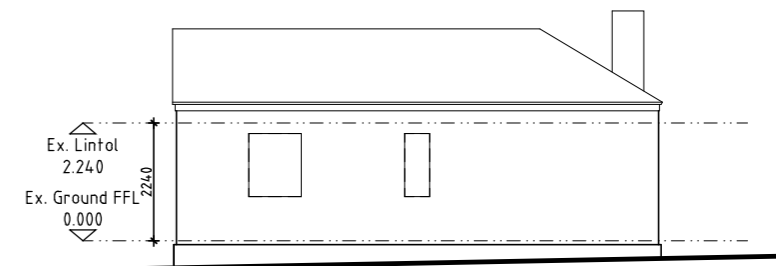




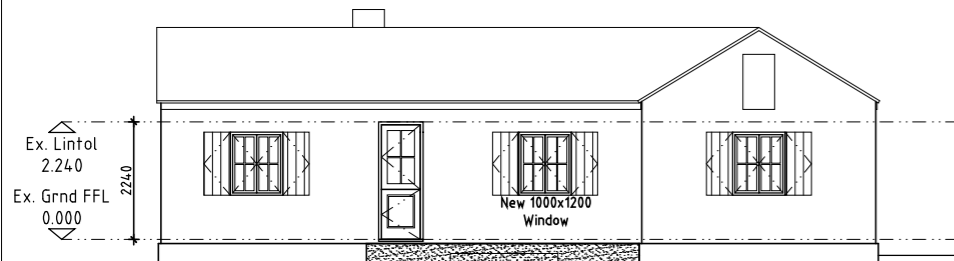
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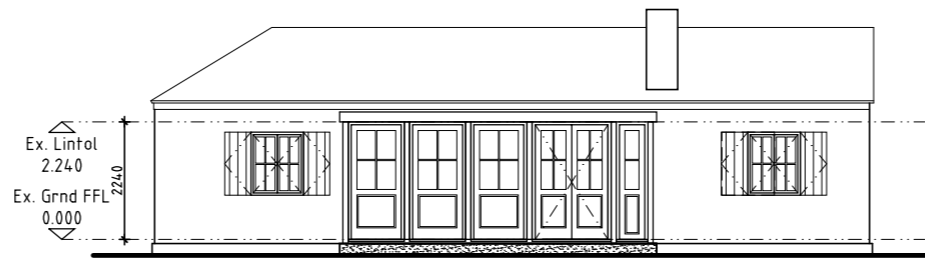
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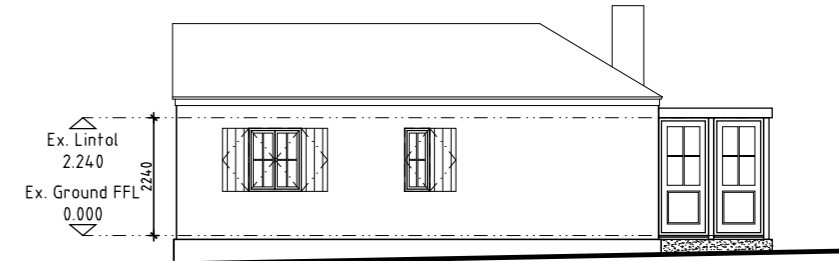
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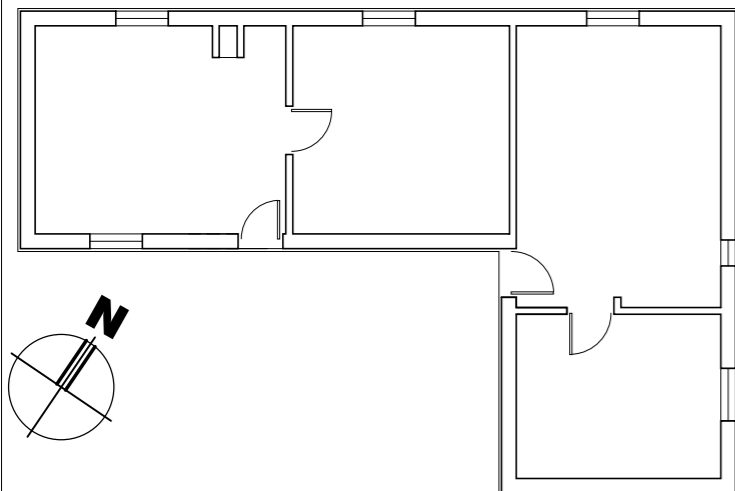
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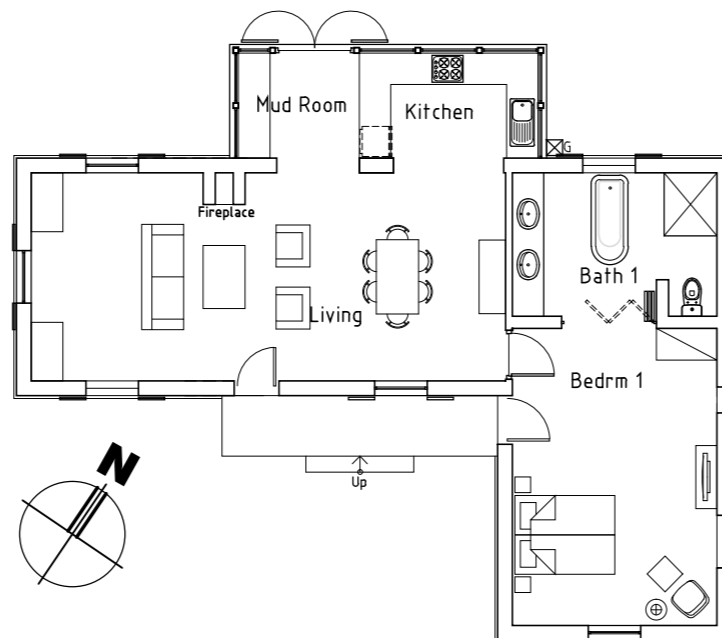
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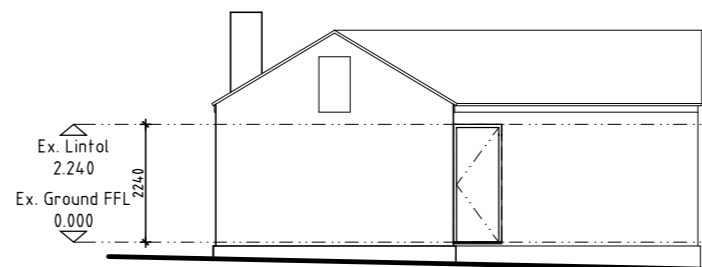
**NEW EAST ELEVATION**  
SCALE 1:100



**UNIT 2: FLOOR PLAN (Existing)**  
SCALE 1:100



**UNIT 2: NEW FLOOR PLAN**  
SCALE 1:100



**WEST ELEVATION (Existing)**  
SCALE 1:100



**NEW WEST ELEVATION**  
SCALE 1:100

CAPE TOWN.  
**PHILIP BRIEL**  
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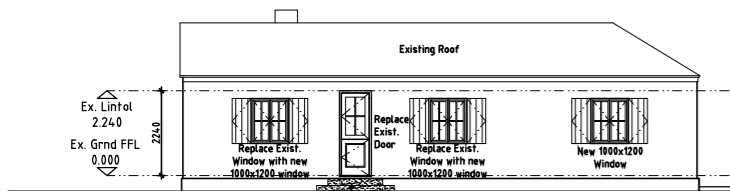
**PROJECT TITLE**  
Alterations & Additions to:  
Boschendal Cottages  
Erf 1674/10  
Boschendal Estate  
Franschoek

**DRAWING TITLE**  
TYPICAL 'L' SHAPED COTTAGES  
UNIT 2  
Comparison between Existing and New Layouts

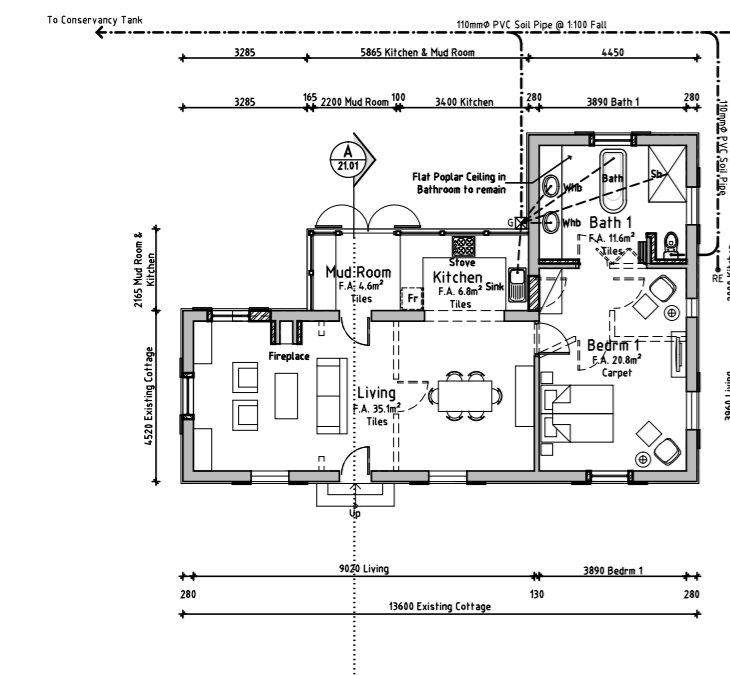
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Job No.	Drawing No.	Revision
B0-2013	Comp.02	#

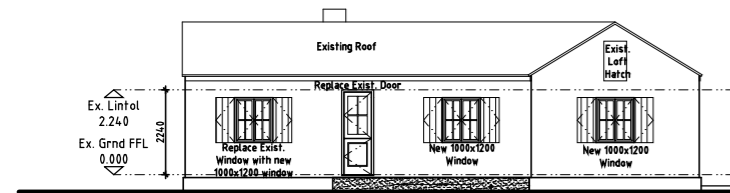




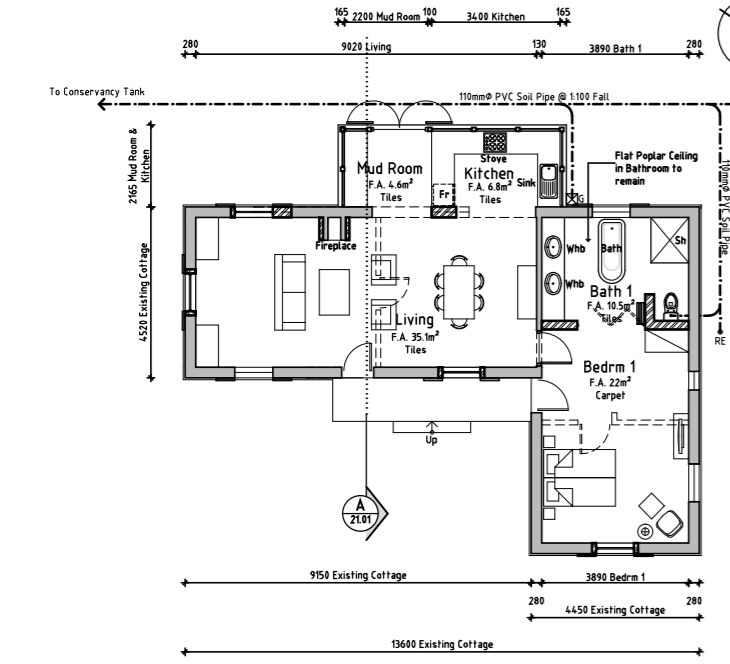
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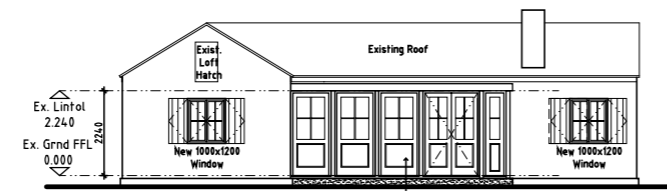
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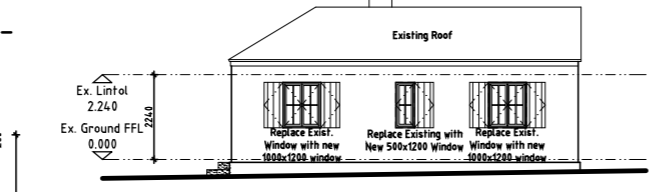
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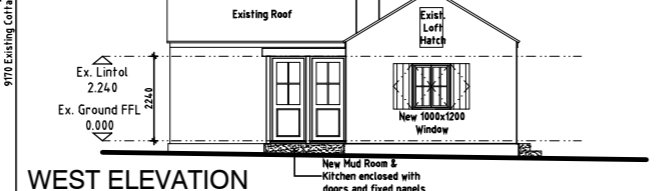
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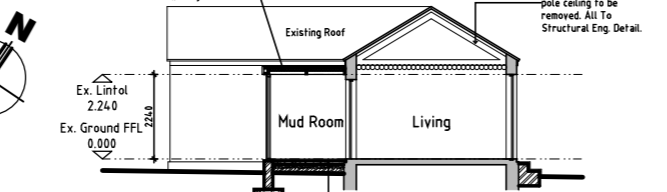
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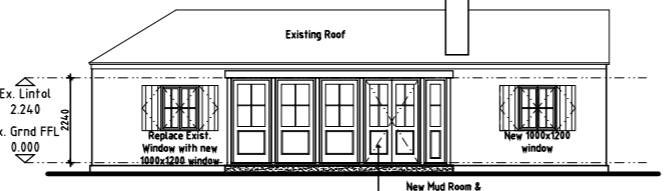
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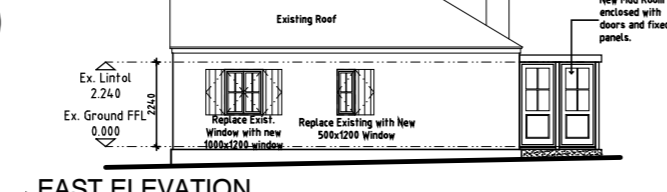
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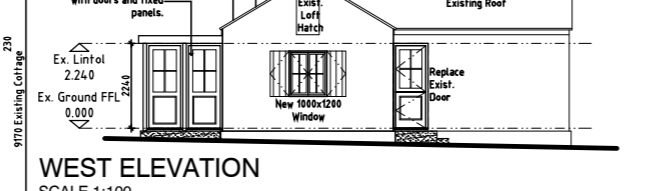
**SECTION A**  
SCALE 1:100



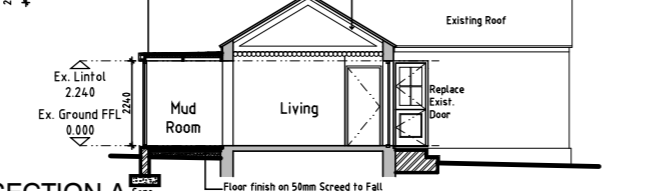
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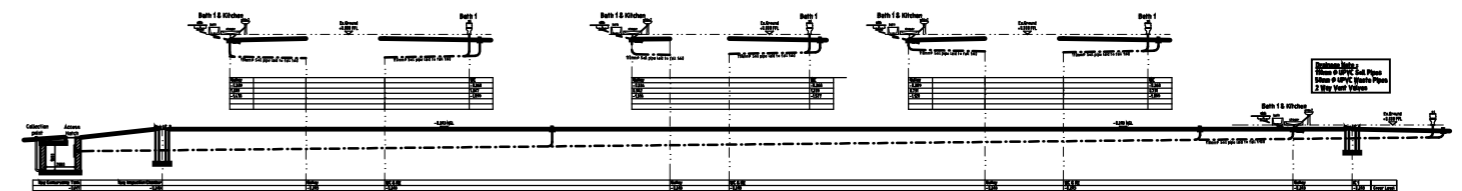
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SCALE 1:100



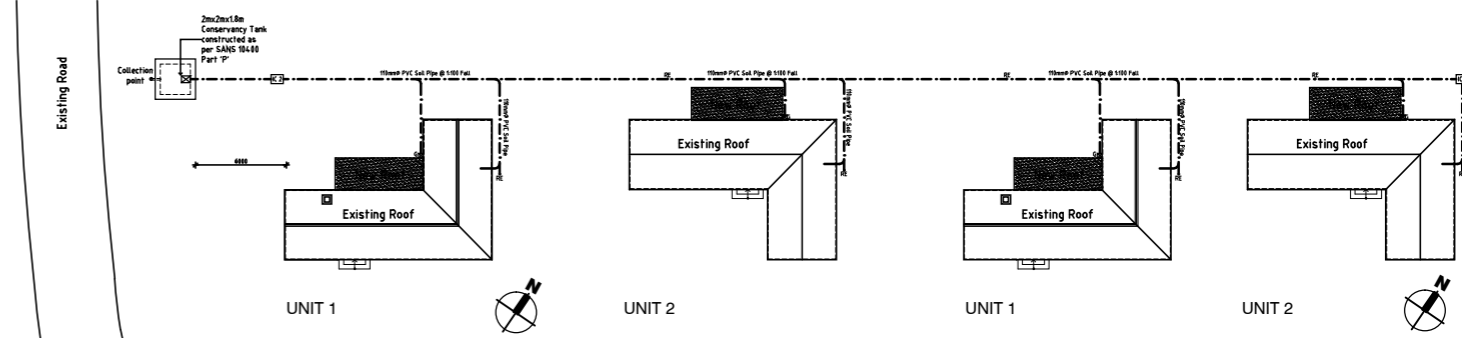
**WEST ELEVATION**  
SCALE 1:100



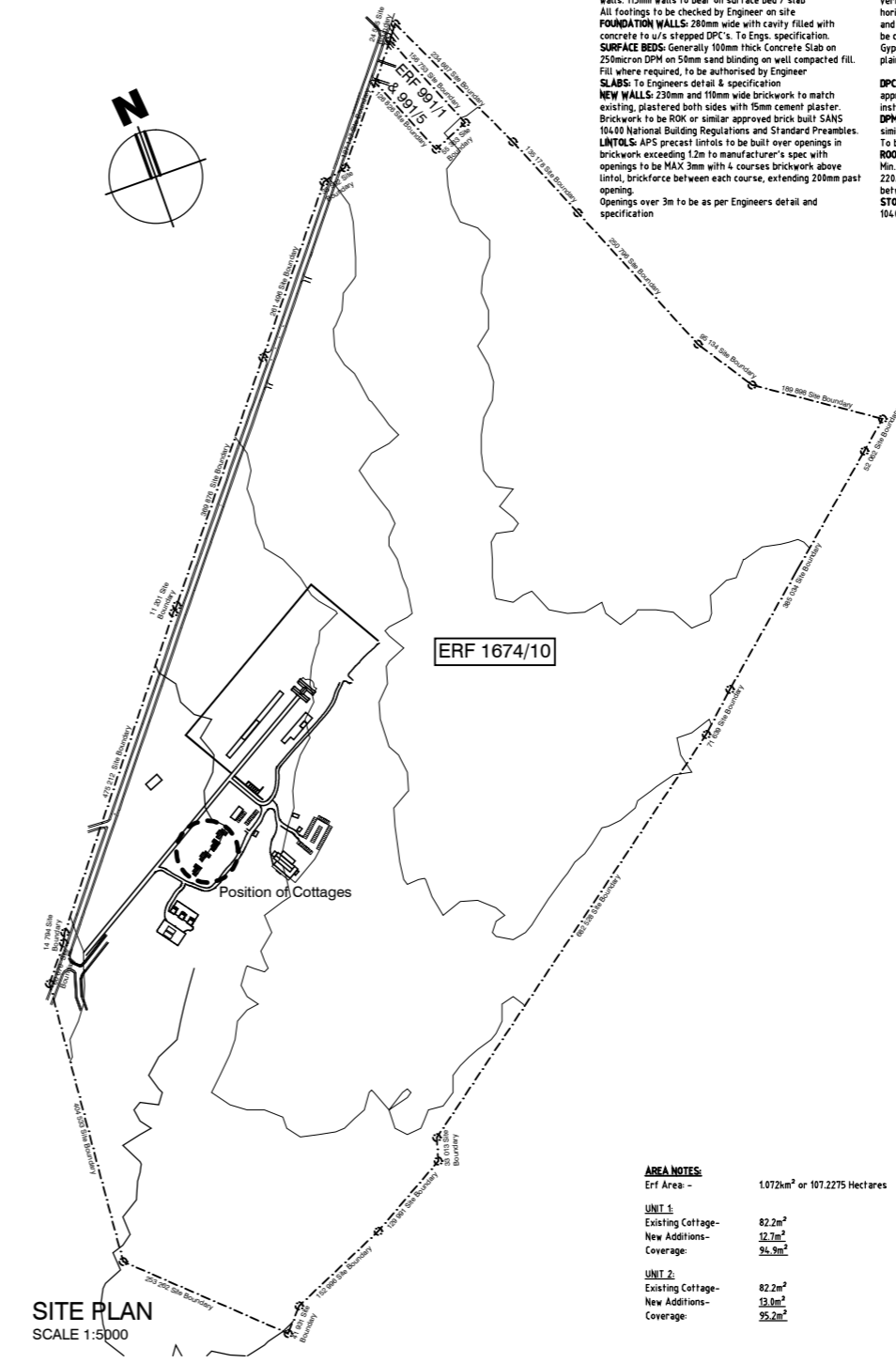
**SECTION A**  
SCALE 1:100



**DRAINAGE SECTION**  
SCALE 1:250



**ROOF PLAN**  
SCALE 1:250



**SITE PLAN**  
SCALE 1:5000

**CONSTRUCTION NOTES:**  
**BOUNDARY PEBs:** To be pointed out to Building Inspector before construction commences.  
**FOOTINGS:** 850x250 stepped footings to all 280mm perimeter walls. 750x250mm stepped footings to all 230mm load bearing walls. 115mm walls to bear on surface bed / slab. All footings to be checked by Engineer on site.  
**FOUNDATION WALLS:** 280mm wide with cavity filled with concrete to u/s stepped DPC's. To Eng's specification.  
**SURFACE BEDS:** Generally 100mm thick Concrete Slab on 25micron DPM on 50mm sand blinding on well compacted fill. Fill where required, to be authorised by Engineer.  
**SLABS:** To Engineers detail & specification.  
**NEW WALLS:** 230mm and 100mm wide brickwork to match existing, plastered both sides with 5mm cement plaster. Brickwork to be ROK or similar approved brick built SANS 10440 National Building Regulations and Standard Preambles.  
**LINTOLS:** APS precast lintols to be built over openings in brickwork exceeding 1.2m to manufacturer's spec with openings to be MAX 3mm with 4 courses brickwork above lintol, brickforce between each course, extending 200mm past opening.  
**ROOF:** Min. 35mm Screed to fall 1:100 on 22 Marine Ply on 220x50mm Joists with 60mm Isoboard insulation between joists. All 1/3 Structural Eng details.  
**STORMWATER:** Stormwater disposal to comply with SANS 10440 Part 'R'.

**INTERNAL DRY WALLS:** All stud framing to be done in accordance with SABS 0440 National Building Regulations and SANS 1002 Standards for Timber Framed Buildings. Stud framing to be fixed to floor plate to Engineers details and specifications. 114x38mm Treated timber studframing with vertical studs to be at MAXIMUM 900mm centers with horizontal studs at 1200mm centers. Suitable cross-bracing and framing to be inserted around openings. Studframing to be clad in 12mm Gypsum Plaster board and skim with 5mm Gypsum Plaster, laid in biggest possible sheets in a vertical plain. 2x Coats paint finish to internal walls.

**PLUMBING AND DRAINAGE:** All hot water pipes to be less than or equal to 80mm diameter and clad with Isotherm insulation with a minimum R-value of 1. Plumbing items and drainage to comply with SANS 10400 Part 'P'.

**LIGHT & VENTILATION:** Naturally lit and ventilated dwelling to comply with SANS 10400 Part '0'. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**DPC:** All DPC's to be minimum 375micron by 'Gunglas' or similar approved product of high quality and SABS approved. To be installed to manufacturer's spec.  
**DPM:** All DPM's to be minimum 25micron by 'Gunglas' or similar approved product of high quality and SABS approved. To be installed to manufacturer's spec.

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REV	DATE	DESCRIPTION	BY
#	28.10.2013	ISSUED FOR INFORMATION	TC

Architect : Philip Briel SACAP Reg. No. 7210  
 Owner :

CAPE TOWN.  
**PHILIP BRIEL**  
 ARCHITECTURE • URBAN DESIGN

Philip Briel B.Arch (MIA)  
 Architect  
 philip@philbriel.com

No. 83 Kloofnek Road, Tamboerskloof, Cape Town Tel: 021 424 8108

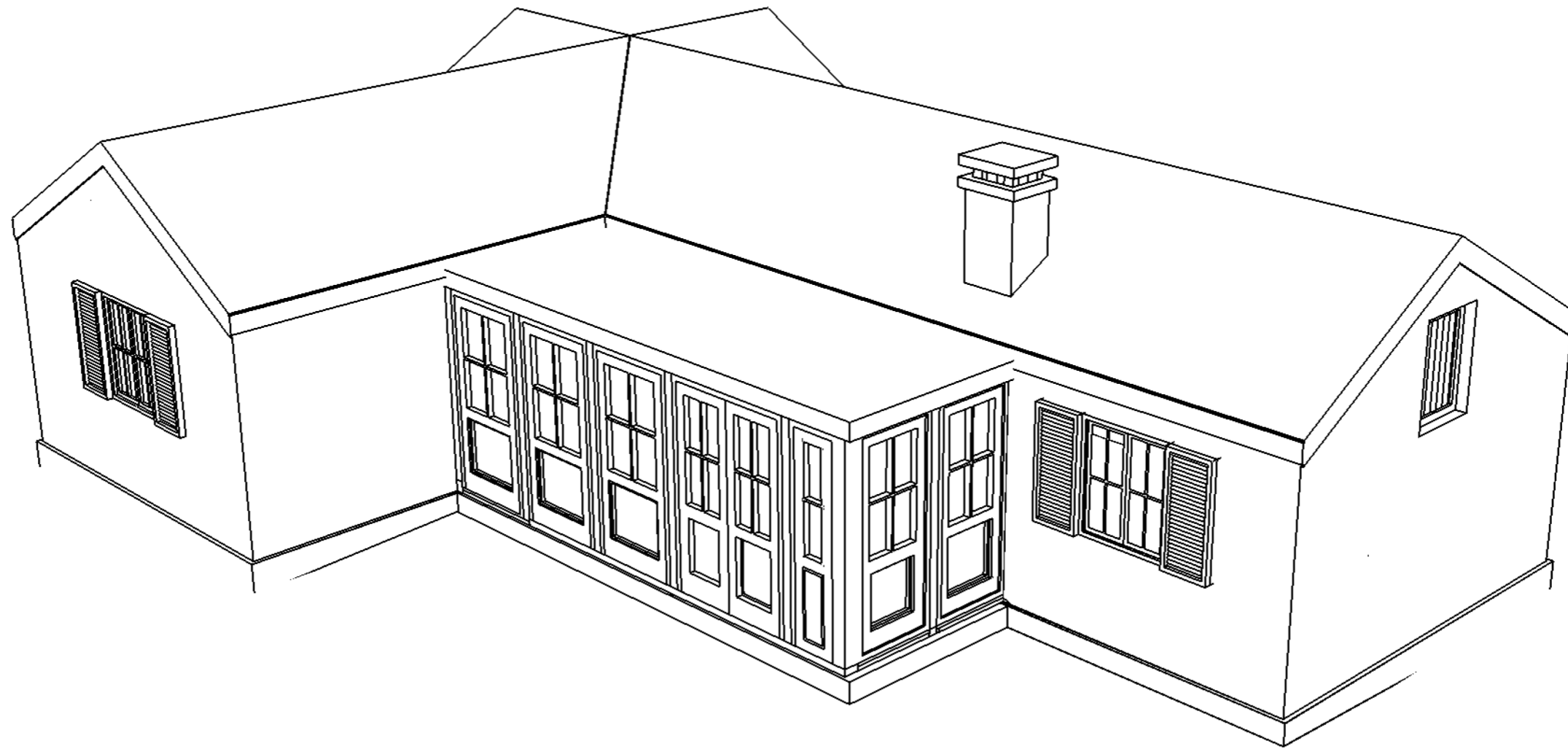
PROJECT TITLE  
 Alterations & Additions to:  
 Boschendal Cottages  
 Erf 1674/10  
 Boschendal Estate  
 Franschoek

DRAWING TITLE  
 LOCAL AUTHORITY SUBMISSION

SCALE	DATE	DRAWN	CHECKED
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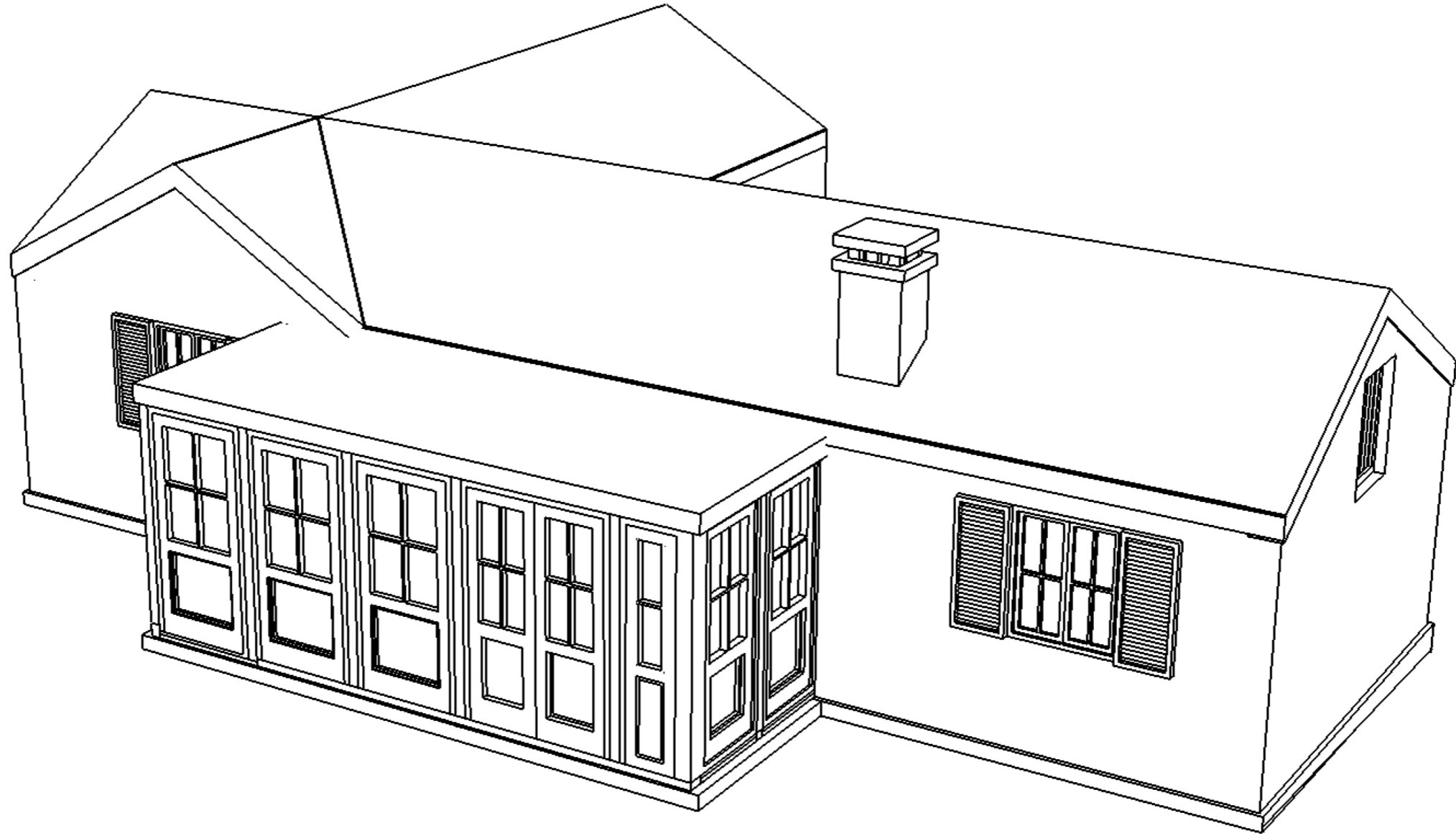
JOB No.	Drawing No.	Revision
BO-2013	21.01	#





Typical Iso of 'L' Shaped Cottage Unit 1





Typical Iso of 'L' Shaped Cottage Unit 2

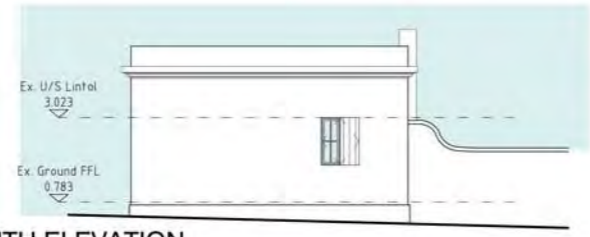


## LABOURERS COTTAGES (SQUARE)

Simple, straight forward architectural solutions were found in order to improve the quality of these buildings, without altering their character or that of the site. Window and door opening sizes had been kept to an absolute bare minimum. The only addition had been that of a pergola to the rear of the cottages. These clip-ons, serve the purpose of improving the rear facade of the building and provide an outdoor room for its occupants.



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**SOUTH ELEVATION**  
 SCALE NTS



**NORTH ELEVATION**  
 SCALE NTS



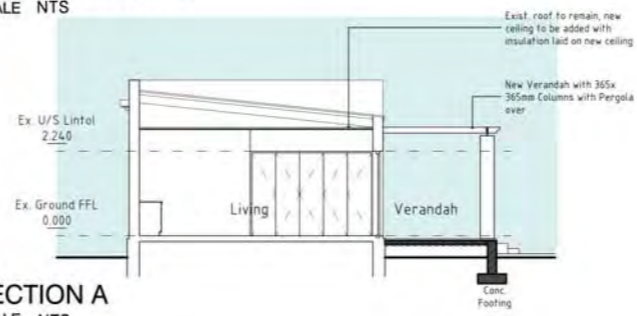
**EAST ELEVATION**  
 SCALE NTS



**WEST ELEVATION**  
 SCALE NTS



**FLOOR PLAN**  
 SCALE NTS



**SECTION A**  
 SCALE NTS



CAPE TOWN  
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Philip Briel & Associates (Pty) Ltd  
 14 April 2013  
 philip@pbrielandco.com  
 No. 87 Kloof Street, Parklands, Cape Town Tel: 021 424 4108

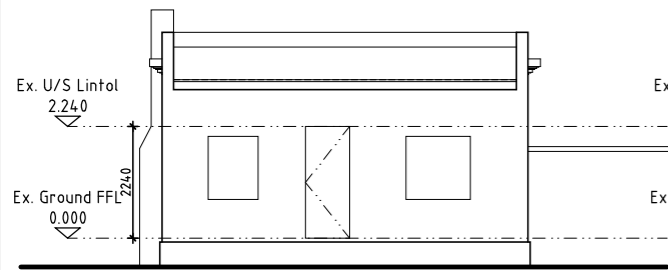
TYPICAL SQUARE COTTAGES

Sketch Plan Boschendal

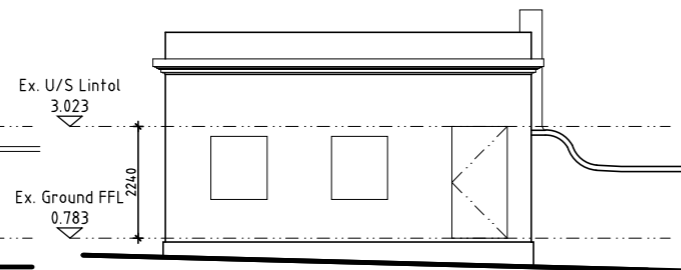
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NTS		OCT 2013	EP	PB

PROJECT NO: BOSCH 13 DRAWING NO: SKP01/BOSCH

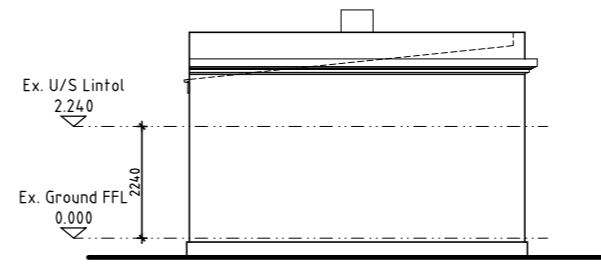




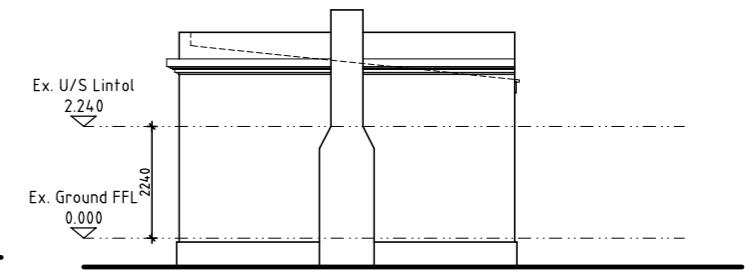
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SCALE 1:100



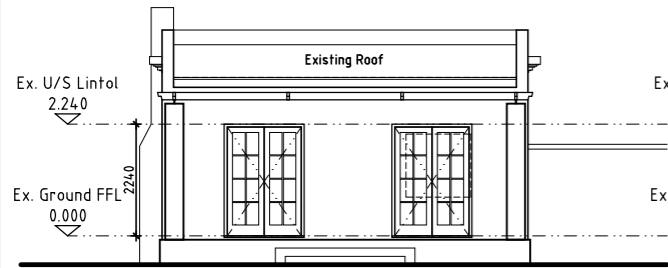
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SCALE 1:100



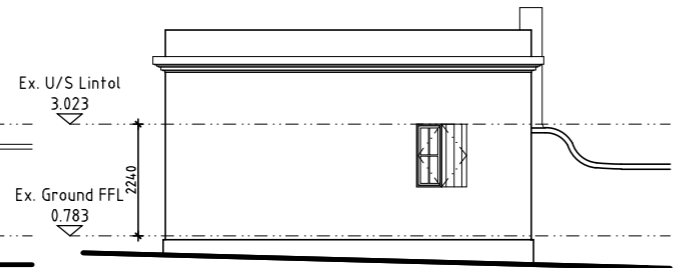
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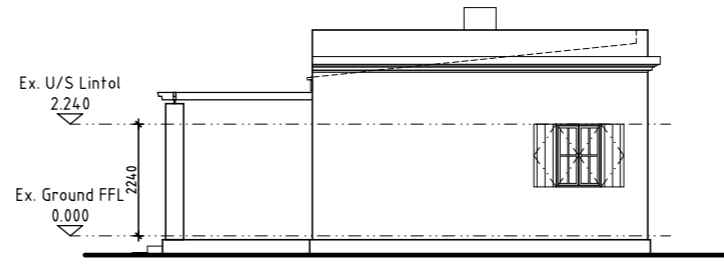
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SCALE 1:100



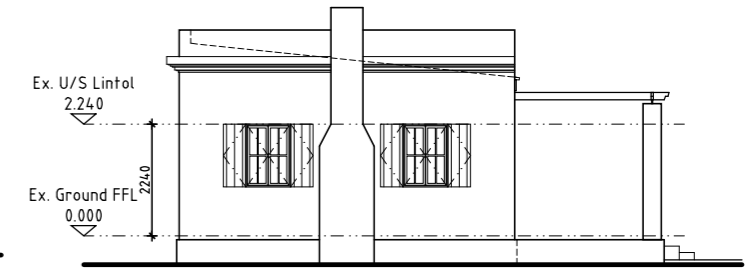
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SCALE 1:100



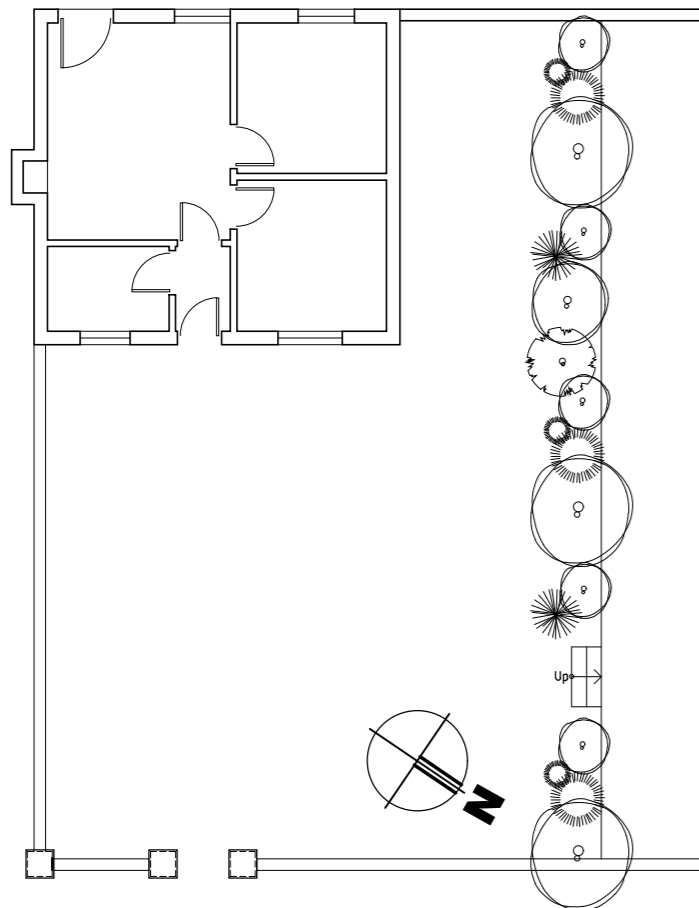
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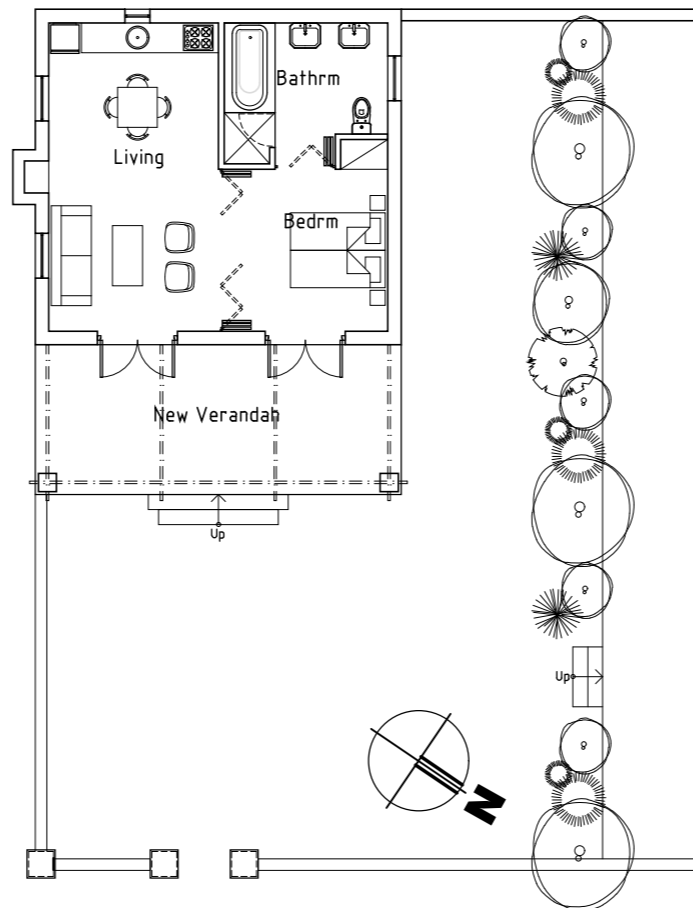
**NEW WEST ELEVATION**  
SCALE 1:100



**NEW EAST ELEVATION**  
SCALE 1:100



**FLOOR PLAN (Existing)**  
SCALE 1:100



**NEW FLOOR PLAN**  
SCALE 1:100

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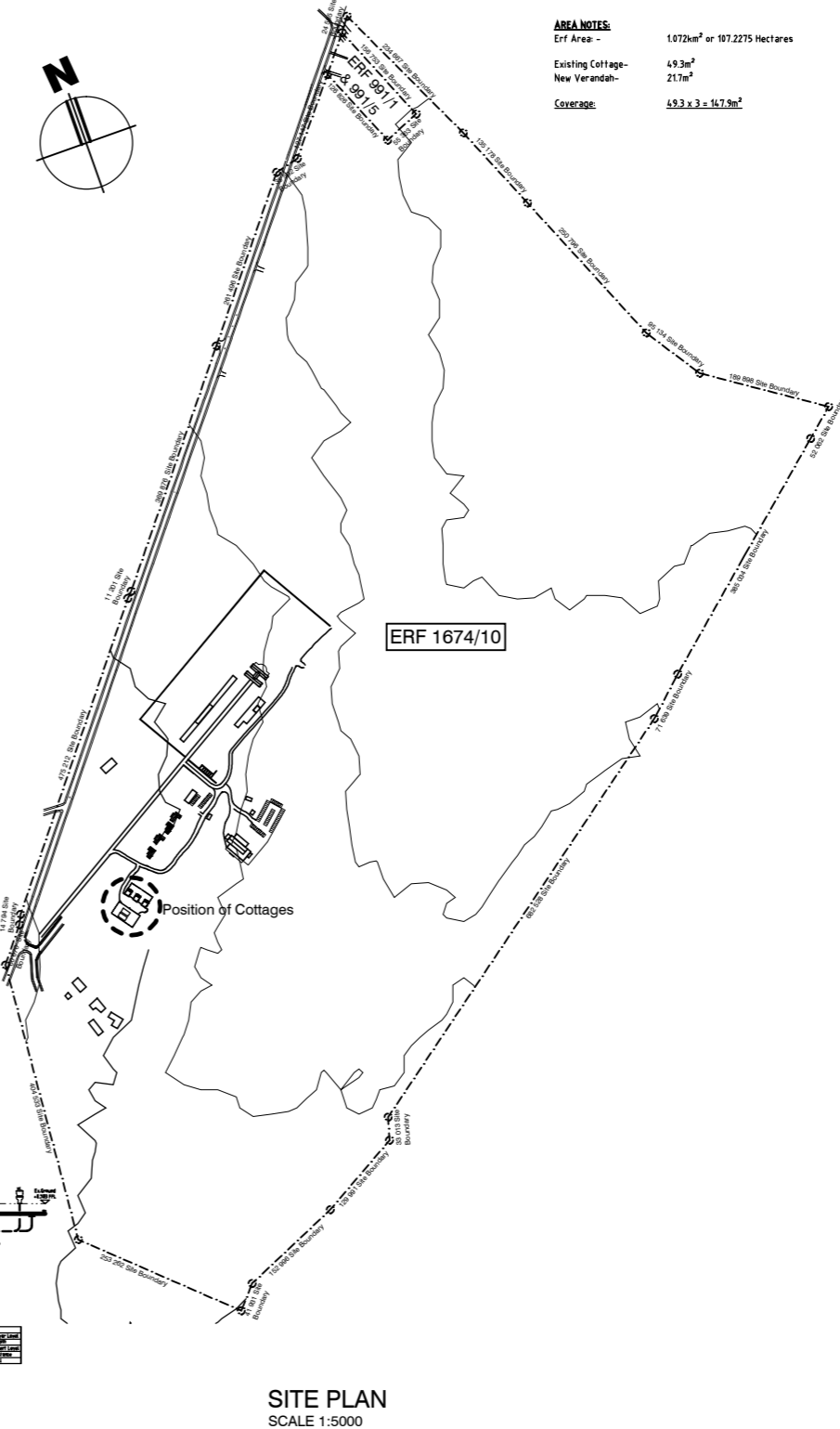
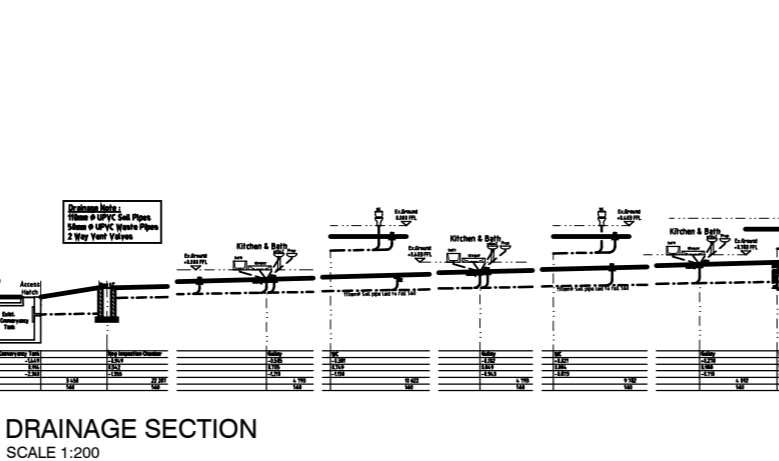
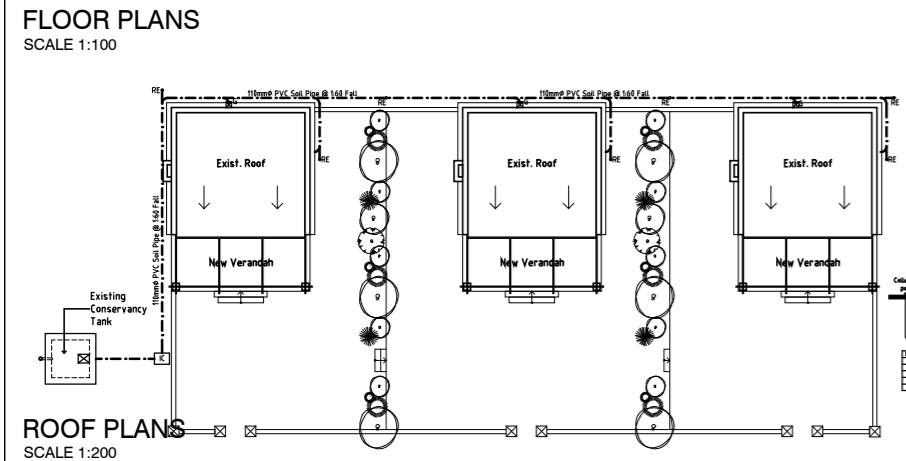
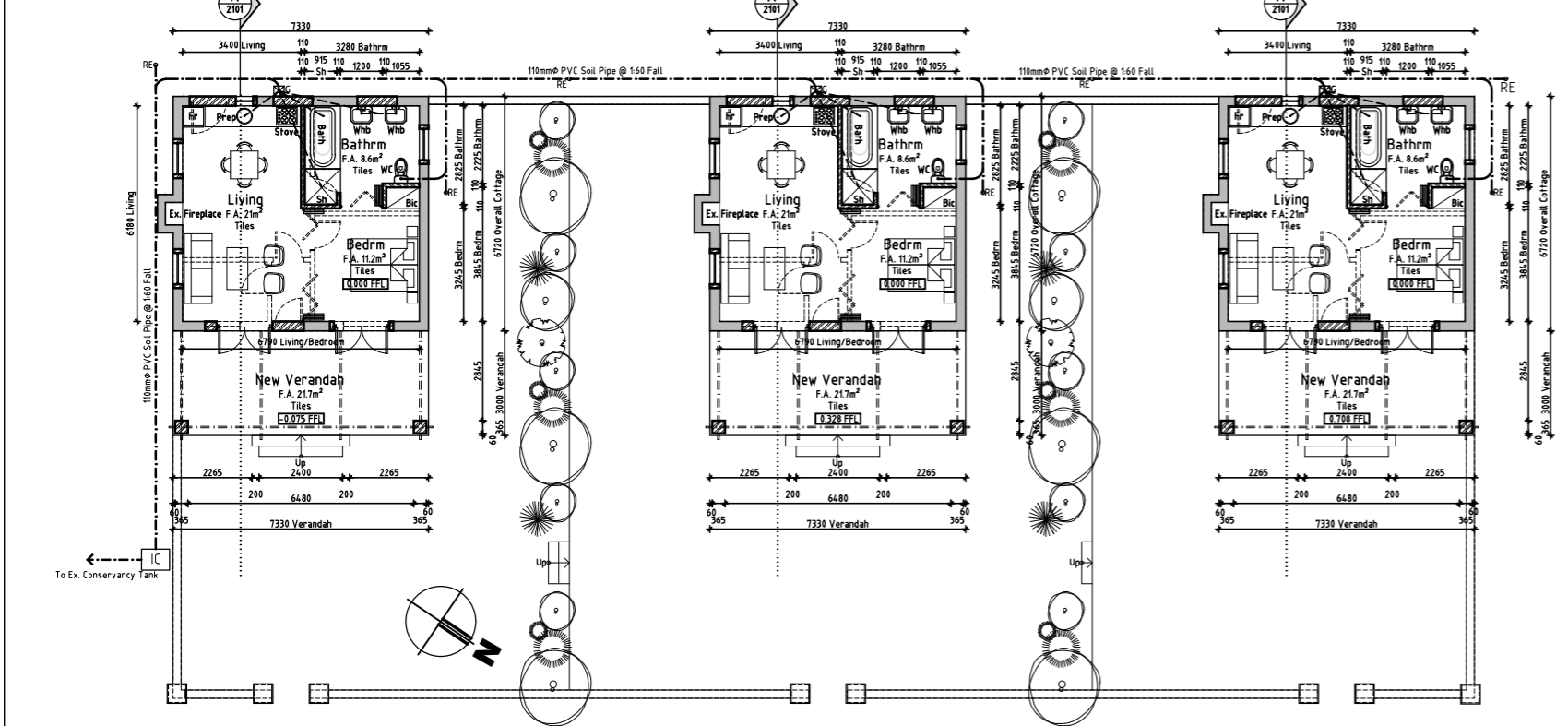
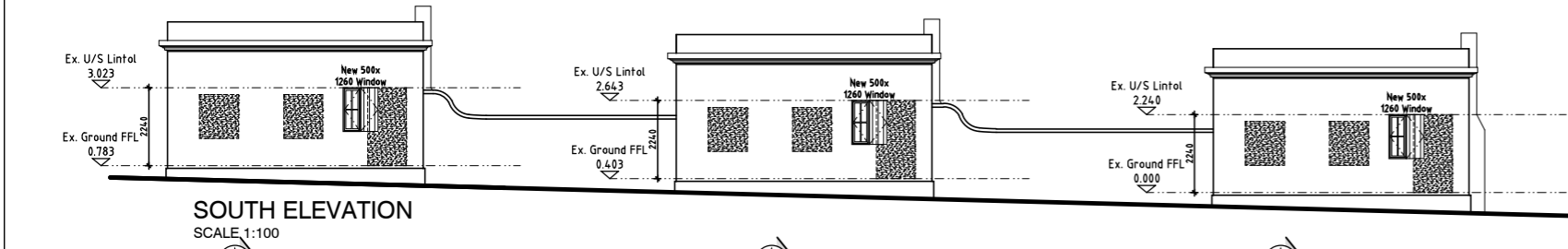
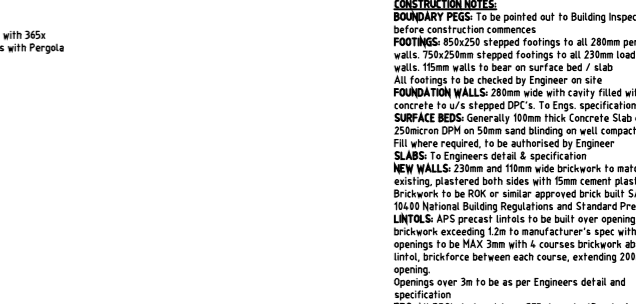
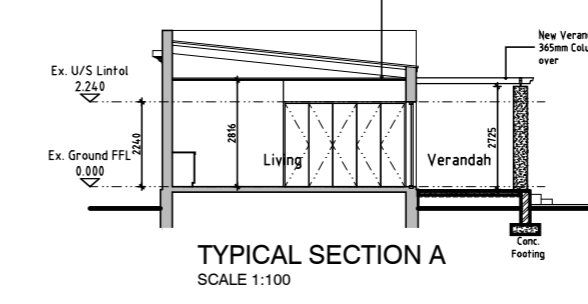
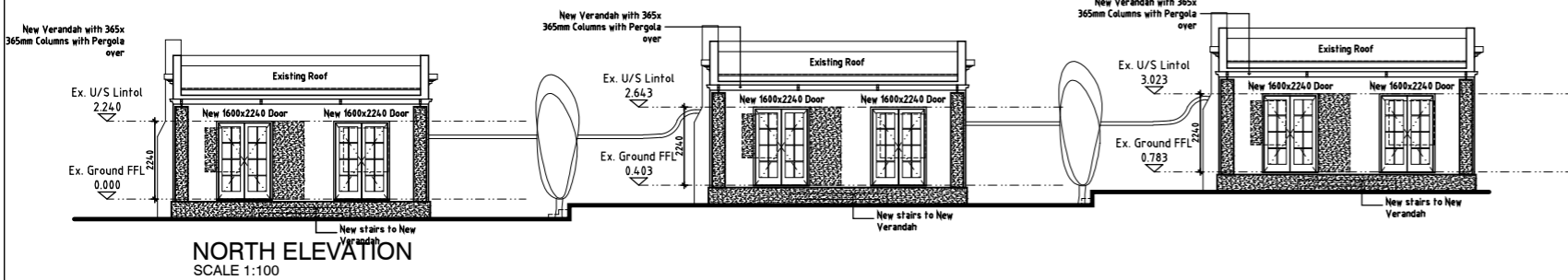
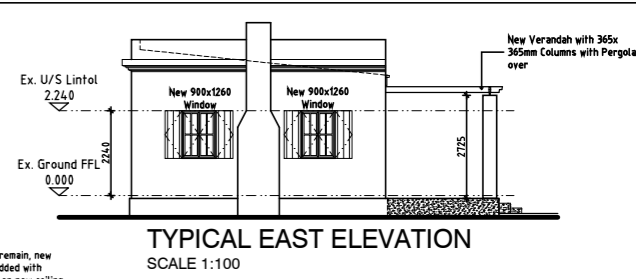
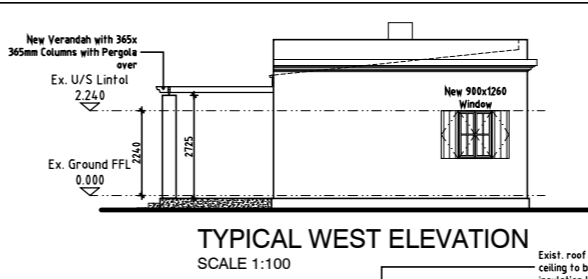
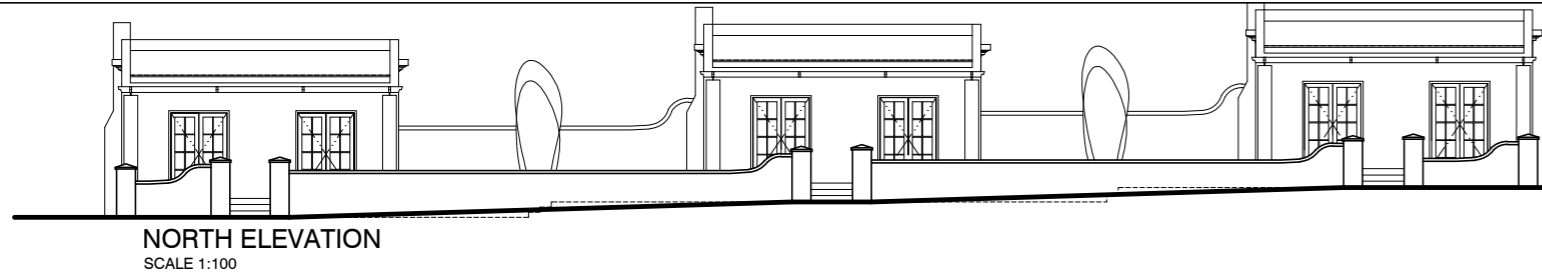
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Alterations & Additions to:  
Boschendal Cottages  
Erf 1674/10  
Boschendal Estate  
Franschoek

**DRAWING TITLE**  
TYPICAL SQUARE COTTAGES  
Comparison between Existing and New Layouts

SCALE 1:100	DATE OCT 2013	DRAWN TC	CHECKED PB
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Job No. 80-2013	Drawing No. Comp.01	Revision #
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**CONSTRUCTION NOTES:**  
**BOUNDARY PEGS:** To be pointed out to Building Inspector before construction commences.  
**FOOTINGS:** 850x250 stepped footings to all 280mm perimeter walls. 750x250mm stepped footings to all 230mm load bearing walls. 15mm walls to bear on surface bed / slab.  
**FOUNDATION WALLS:** 280mm wide with cavity filled with concrete to u/s stepped DPC's. To Eng. specification.  
**SURFACE BEDS:** Generally 100mm thick concrete Slab on 25micron DPM on 50mm sand binding on well compacted fill. Fill where required, to be authorised by Engineer.  
**SLABS:** To Engineers detail & specification.  
**NEW WALLS:** 230mm and 100mm wide brickwork to match existing, plastered both sides with 15mm cement plaster. Brickwork to be ROK or similar approved brick built SANS 10400 National Building Regulations and Standard Preambles.  
**LINTOLS:** APS precast lintols to be built over openings in brickwork exceeding 1.2m to manufacturer's spec with openings to be MAX 3mm with 4 courses brickwork above lintol, brickforce between each course, extending 200mm past opening.  
 Openings over 3m to be as per Engineers detail and specification.  
**DPC:** All DPC's to be minimum 375micron by 'Gunglas' or similar approved product of high quality and SABS approved. To be installed to manufacturer's spec.  
**DPM:** All DPM's to be minimum 25micron by 'Gunglas' or similar approved product of high quality and SABS approved. To be installed to manufacturer's spec.  
**ROOF:** Single Span Sheet piling @ 4° Pitch on Sicalation on 76x50 SAP Purins @ max. 900 c/c on 220x50 SAP Rafter @ max. 1200mm c/c. 60mm Isoboard insulation laid on Rafter between Purins. Seamless Aluminium Gutters. Ceilings to be 9.5mm Stained Plasterboard on 30x30mm bracing at max 450mm c/c.  
**STORMWATER:** Stormwater disposal to comply with SANS 10400 Part "B".  
**PLUMBING AND DRAINAGE:** All hot water pipes to be less than or equal to 80mm diameter and clad with Isotherm insulation with a minimum R-value of 1.  
**PLUMBING ITEMS AND DRAINAGE:** To comply with SANS 10400 Part "B".  
**LIGHT & VENTILATION:** Naturally lit and ventilated dwelling to comply with SANS 10400 Part "O". Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

**AREA NOTES:**

Erf Area -	1.072ha or 107.2275 Hectares
Existing Cottage -	49.3m <sup>2</sup>
New Verandah -	217m <sup>2</sup>
Coverage:	6.93 x 3 = 147.9m <sup>2</sup>

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REV	DATE	DESCRIPTION	BY
#	28.10.2013	ISSUED FOR INFORMATION	TC

Architect : Philip Briel SACAP Reg. No. 7210  
 Owner :

CAPE TOWN.  
**PHILIP BRIEL**  
 ARCHITECTURE • URBAN DESIGN

Philip Briel B.Arch (MIA)  
 Architect  
 philip@philipbriel.com

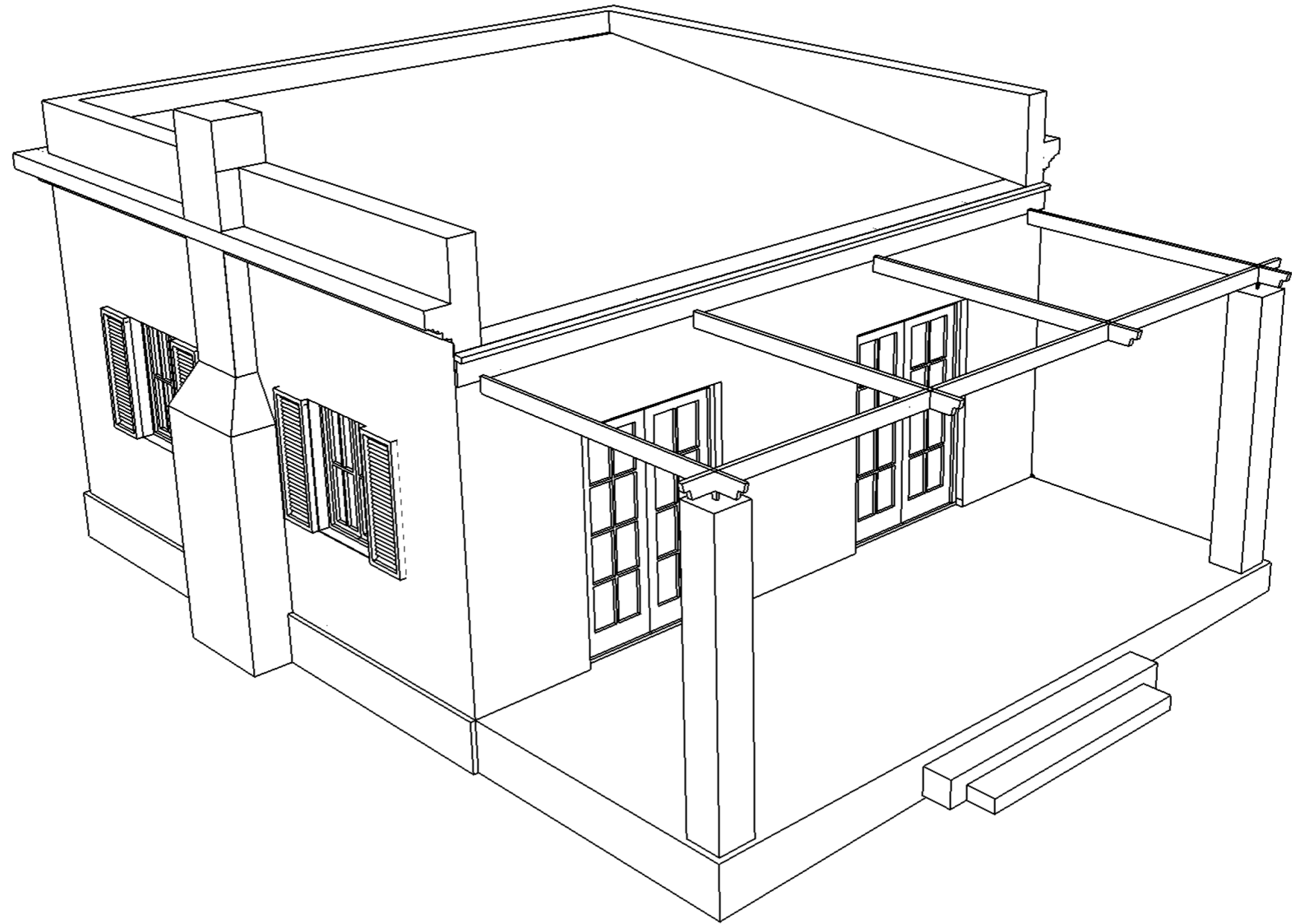
No. 83 Kloofnek Road, Higgovale, Cape Town Tel: 021 424 8108

**PROJECT TITLE**  
 Alterations & Additions to:  
 Boschdal Cottages  
 Erf 1674/10  
 Boschdal Estate  
 Franschoek

**DRAWING TITLE**  
 LOCAL AUTHORITY SUBMISSION

SCALE	DATE	DRAWN	CHECKED
1:100, 1:200, 1:5000	AUG 2013	TC	PB
JOB No.	Drawing No.	Revision	
BO-2013	21.02	#	





Typical Iso of Square Cottage



## SECTION F: CONCLUSIONS

It is concluded that:

- The Boschendal historic werf is of outstanding heritage significance.
- The proposed upgrading and expansion of its hospitality facilities is regarded as positive in terms of sustaining its conservation and semi-public use.
- The proposed siting, form, massing and architectural character of the proposed new farm shed and its use as a function venue will have minimal heritage impact. The heritage impact of the proposed landscaping treatment and parking is also regarded as being minimal.
- The proposed interventions to the wine cellar restaurant are regarded as having a positive heritage impact in terms of being a great improvement to the existing east elevation of the building and service blocks. The siting, scale, form and architectural treatment of the new addition is well resolved in terms of being recessive to the historical core, and in achieving a balance between contrast and continuity in the relationship between old and new.
- The adaptive reuse of the seven cottages is regarded as having a positive heritage impact in terms of ensuring their long term protection, care and maintenance. The physical interventions are regarded as having minimal heritage impact. The landscaping interventions are minimal and will have negligible heritage impact.



## SECTION G: RECOMMENDATIONS

### G.1 Wine Cellar Section 27 of the NHRA

It is recommended that the proposed alterations and additions to the wine cellar restaurant be approved by HWC in terms of Section 27 on condition that:

- The development is accordance with the plans, elevations and sections dated October 2013, drawing nos. 21.01 and COMP 01.
- Final or amended building plans must be submitted for approval by HWC
- The location, size and number of new openings into the historical fabric must be informed by fabric analysis undertaken by a conservation architect to establish the possibility of earlier openings.
- Structural interventions to the historic fabric must be supervised with the input of a conservation architect, who must submit a completion report to HWC.
- Any demolition or excavation work around the wine cellar must be subject to archaeological monitoring by professional archaeologist.

### G.2 New farm shed (to be used as a function venue) and historical cottages Section 38 (4) of NHRA

It is recommended that HWC make a decision in terms Section 38 (4) that:

- The development may proceed on condition that this is accordance with the site development plan dated October 2013, drawing no. SDP/BOSCH.
- The proposed new farm shed and its future use as a function venue is approved on condition that this in accordance with sketch plans, elevations and sections dated October 2013, drawing nos. SK.01, SK.02 and COMP.01. Final or amended drawings must be submitted to HWC for approval.
- The proposed alterations and additions to the seven cottages and their future use as guest accommodation is approved on condition that development is largely in accordance with plans, elevations and sections dated October 2013, drawings nos. SKPO1/BOSCH, SKPO2/BOSCH, SKP03/BOSCH, 21.01 and 21.02.
- The landscaping interventions and parking indicated on the site development plan dated October 2013, drawing no. SDP/BOSCH is approved.



## REFERENCES

### Literature

Aikman & Associates (2005) Built Environment Survey of Boschendal Farmlands. Prepared by Boschendal Ltd

Baumann, Nicolas and Winter, Sarah (2006). Boschendal Farmlands Founders Estates Heritage Impact Assessment. Prepared for Boschendal Ltd

Baumann, Nicolas and Winter, Sarah (2008). Vergelegen Farm 744, Somerset West, Heritage Baseline Study for Possible Training and Associated Facilities. Prepared for Anglo Plc.

Baumann, Nicolas, Winter, Sarah, Dewar, Dave and Louw, Piet (October 2012). Boschendal Heritage Impact Scoping Report. An In-Principle Review of the Case and the Identification of Composite Heritage Indicators

Boschendal Museum (2008). Farm research

Drakenstein Heritage Survey Group (2012). Drakenstein Heritage Survey prepared for the Drakenstein Municipality

Fagan, GT Architects (1974) Boschendal Simondium 7108 sk1

Fransen, Hans (2004). The Old Buildings of the Cape. Jonathan Ball Publishers, Cape Town

Titlestad, Sally (2008). Boschendal Farmlands, Catalogue and Illustrated Timeline. Prepared for Boschendal Ltd

### Historical Images

Alys Fane Trotter sketch of Boschendal wine cellar 1896-1898 (Fagan 1974)

Boschendal werf in the late 19th early 20th century (Boschendal Private Collection),

1901 Inch Series showing Cape, Paarl and Stellenbosch Districts (KR CPA 1901)

1923 Topographical Plan of Rhodes Fruit Farms Ltd (Good Hope, Nieuwe Dorp, Rhone and Boschendal) (Surveyor General, author unknown, Boschendal Collection)

1949 and 1953 aerial photographs (enlargements) (Trig Surveys and Mapping, Mowbray)

1996 Topographical map (Boschendal collection)

### Websites

[www.boschendal.com](http://www.boschendal.com)



## APPENDIX A

### Section 27 Application form



## APPENDIX B

### HWC Response to NID