



# HERITAGE STATEMENT

submitted in terms of section 34 of the National Heritage Resources Act

prepared for

**Coral International Hotel Group · CII Holdings**

Revised October 2014 (March 2014)

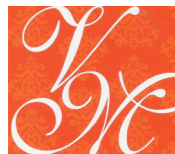
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Erf 10192, Helliger Lane  
BO-KAAP CAPE TOWN

**1. Site Name**

9 – 13 Helliger Lane, Bo-Kaap, Cape Town: Auto Electric and City Auto Electronic

**2. Location**

The site is located along lower Helliger Lane in the area known as the Malay Quarter in the Bo-Kaap, Cape Town. The surrounding context is characterised by a mix of commercial, business and residential development. The block bounded by Wale, Rose, Buitengracht and Strand has been much altered and is characterised by higher order development in the form of commercial activity and higher density residential development.

**3. Locality Plan**



**4. Description of Proposed Development**

This heritage statement has been compiled for submission to the relevant provincial heritage resources authority, Heritage Western Cape for application in terms of Section 34 of the National Heritage Resources Act (Act 25 of 1999) regarding total demolition of structures located at Erf 10192, Helliger Lane, Cape Town. Demolition is proposed by the Coral International Hotel Group (CIH Holdings) who are seeking to expand the existing Cape Coral Hotel located on the corner of Wale and Buitengracht Streets with additional hotel rooms.

**5. Heritage Resources Identified**

Erf 10192 is significant only for its connection with the Bo-Kaap in that two of the three sites were sold subject to the declaration of a White group area under the Group Areas Act. The structures and the site possess no inherent heritage

significance, are much altered and possess no contextual value. The structures located on consolidated erf 10192 have been extensively altered and are currently dilapidated. Dr Seeman noted that any historic dwelling foundations, yards and passages that would have contained archaeological debris have been destroyed. Two stone walls are still in existence a 9 and 13 Helliger Lane respectively. The structures lack significant associational significance, is not a historical landmark and does not contribute to the environmental quality of heritage resources or a conservation / heritage area.

Current grading: None

Proposed grading: None / ungradable

## **6. Anticipated Impacts on Heritage Resources**

The site offers no contribution to streetscape and the immediate context is much altered, with the exception of the adjacent residential property, possesses no architectural value. The portion of Helliger Lane between Rose and Buitengracht Streets possess no aesthetic and or architectural significance or value and has no contextual value in the Bo-Kaap area. While it is acknowledged that the Bo-Kaap holds cultural and religious traditional value, the site holds no value in supporting such traditions and / or activity. While one can thus argue that the sites have a role to play in public memory, it would be difficult to argue, given historical development, that these sites could be integrated in a meaningful manner.

This assessment concludes that demolition at Erf 10192 would not result in a detrimental heritage impact, result in a negative impact on heritage resources or negatively affect the significance of Bo-Kaap. Loss of the structure will not result in loss of heritage significance and the structures do not warrant sufficient heritage significance to be placed on the register.

## **7. Recommendations**

This report thus recommends that Heritage Western Cape issue required demolition permit in terms of Section 34 of the NHRAct. Such permit will include demolition of stone wall abutting erven 1977 and 1978 but exclude demolition of the stone wall abutting erven 1995, 1992 and 1990. Conditions of such approval:

1. CII holdings will ensure that outbuildings on erven 1977 and 1978 making use of the shared wall of Erf 10192 will be modified prior to demolition to ensure structural integrity and habitability is maintained during and after demolition.
2. CII holdings will be responsible for the rebuilding of such outbuildings on erven 1977 and 1978 abutting wall
3. The stone wall abutting portion erf 1995 at Rose Corner Cafe, erf 1992 at Atlas Trading Company and portion erf 1990 must be retained and should be exposed within proposed development.
4. The stone removed from the stone wall along Erven 1977 and 1978 should be repurposed within the proposed development
5. Archaeologist should be present during excavation of 13 Helliger Lane and in the event that important archaeological remains are unearthed, a phase 1 archaeological test excavation should commence immediately in consultation with the provincial heritage resources authority

## **8. Authors and date**

Heritage consultants: vidamemoria: This report has been compiled by Quahnita Samie and Constance Pansegrouw at vidamemoria. Andrew Berman (Urban Design Services) conducted a brief site visit and provided input into to assessment of significance and recommendations.

Architects: DSA Architects International

Structural engineers: ConsulTauri Design (Pty) Ltd

EXECUTIVE SUMMARY

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# 1. INTRODUCTION

## 1.1 Introduction

This heritage statement has been compiled for submission to the relevant provincial heritage resources authority, Heritage Western Cape for application in terms of Section 34 of the National Heritage Resources Act (Act 25 of 1999) regarding total demolition of structures located at **Erf 10192, Helliger Lane, Cape Town**. The purpose of the heritage statement is to assist in the understanding and assessment of heritage significance and provide a basis for decision making by Heritage Western Cape. Included within this statement is a description of the legal framework, description of site and its context, historical background, statement of significance, results of consultation and recommendations. Demolition is proposed by the Coral International Hotel Group (CII Holdings) who are seeking to expand the existing Cape Coral Hotel located on the corner of Wale and Buitengracht Streets with additional hotel rooms.

This report has been compiled by Quahnita Samie and Constance Pansegrouw at vidamemoria. Andrew Berman (Urban Design Services) conducted a brief site visit and provided input into to assessment of significance and recommendations.

## 1.2 Legal framework

The relevant section of the National Heritage Resources Act (Act 25 of 1999) to be considered is **Section 34: Structures**

- (1) *No person may alter or demolish any structure or part of a structure which is older than 60 years without a permit issued by the relevant provincial heritage resources authority, and*
- (2) *Within three months of the refusal of the provincial heritage resources authority to issue a permit, consideration must be given to the protection of the place concerned in terms of one of the formal designations provided for*

In fulfilling statutory requirements, this heritage statement is compiled in line with requirements as outlined within the Annexure A1 form and provides necessary and relevant information to guide the decision making process.

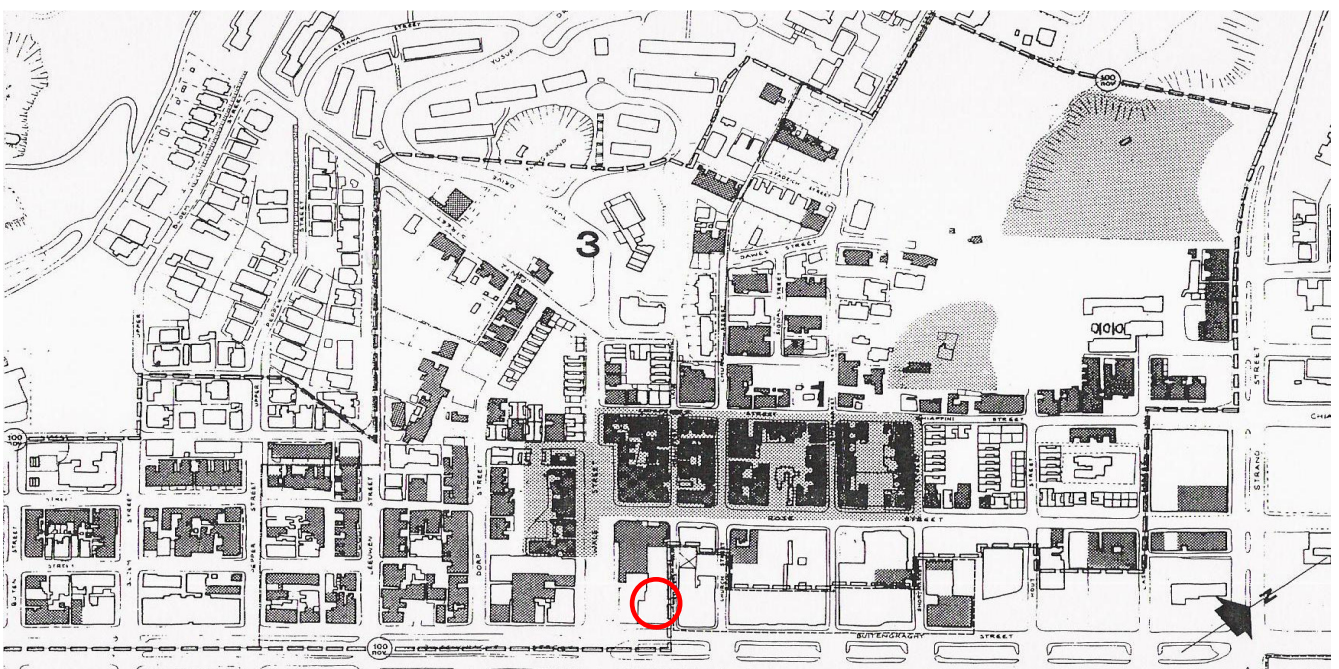


Figure 1: Boundary of 1986 proposed Urban Conservation Area and 1966 NMC boundary (shaded in grey) (Pistorius, 1998)

<sup>1</sup> The standard application form prescribed in the regulations to be used in the case of applications made in terms of Sections 27, 31 and 34 of the NHRAct.

In determining the responsible heritage resources authority, consideration has been given to declared conservation and / or protected areas and proposals related to conservation and management in the Bo-Kaap. The site was not included within the 1966 declaration by the National Monuments Council. In 1986 the Cape Town City Council proposed declaration of an urban conservation area but due to various factors such was not designated. In 2004 the SAHRA Council graded the Bo-Kaap as a grade 1 for further investigation as a national heritage site. As grade 1 boundary was not officially documented and notification of declaration not effected, the extent of the grade 1 boundary is considered as undetermined, however, SAHRA refers to the 1998 boundary in the interim. Heritage Western Cape is thus considered as the relevant authorising agency with regard to this Section 34 application. Comment from SAHRA has been sought for inclusion within submission to HWC for consideration within the decision making process.

### 1.3 Sources considered

Sources considered include:

- Building plans: plans held at City of Cape Town Media House and architectural department
- Photographic: Luckhoff collection held at Iziko Social History Museum, Elliot and Morrision collections held at the Archives
- Cartographic: Wilson, Snow and Thom surveys, Goad Insurance plan, aerial photography obtained at Surveys and Mapping, noting sheet obtained at Surveyor Generals office
- Title deeds and transfer registers at the Deeds Office
- Case files held at the South African Heritage Resources Agency
- Records held at the Western Cape Archives
- Special Collections at the National Library

### 1.4 Assumptions and limitations

- a. Limited information was found within SAHRA case files
  - The statement focuses on the assessment of proposed total demolition of the structures located on Erf 10192 based on heritage significance
  - No allowance has been made for within the scope of this assessment for assessment of proposed intervention
  - No allowance has been made for within the scope of this assessment for determining archaeological potential and significance. However, findings and recommendations of archaeological and historical background report as conducted by Dr Ute Seeman in 2006 have been considered within this assessment
  - Evidence of a range of conflicting values specifically related to the use of the term 'Cape Malay' and the 'Malay Quarter' lead to difficulties in determining nature and degree of significance of intangible value
  - Comment was sought from the registered conservation body Bo-Kaap Civic Association and SAHRA. Notes from meetings held have been included within this assessment. However, written comments in this regard were not received.

## 2. SITE LOCATION and CONTEXT

### 2.1 Site location and context

The site is located along lower Helliger Lane in the area known as the Malay Quarter in the Bo-Kaap, Cape Town. The surrounding context is characterised by a mix of commercial, business and residential development. The boundaries of the Bo-Kapa are contested in that the area and commercial and business creep continues to encroach on residential development, especially within the Malay Quarter section of the Bo-Kaap. The block bounded by Wale, Rose, Buitengracht and Strand has been much altered and is characterised by higher order development in the form of commercial activity and higher density residential development.



Figure 2: Locality plan indicating site location (Google Earth image, 2014)



Figure 3: Locality plan depicting local area boundaries as described by Aghmat Davids (1980), heritage resources as identified within the Buildings of Cape Town: Phase 2 (1983) and guidelines as prepared by Penny Pistorius in 1998

The Bo-Kaap lacks formal heritage controls and designated conservation areas, thus, as one moves further from what is generally considered as the historic core of the Bo-Kaap in the Wale, Dorp, Rose and Chiappini Streets context, interventions reflect large scale development read in conjunction with the CBD. Properties located to the north of Rose Street within the Provincial Heritage Site have retained architectural character. Urban creep from the Cape Town CBD has been prevented from leapfrogging to the northernmost section of Rose Street bounded by this block due to such formal heritage protection and its current residential zonings. The business and mixed use zoning of properties within the Wale, Buitengracht, Rose and Strand Street block have resulted in a higher order scale of development within such block.

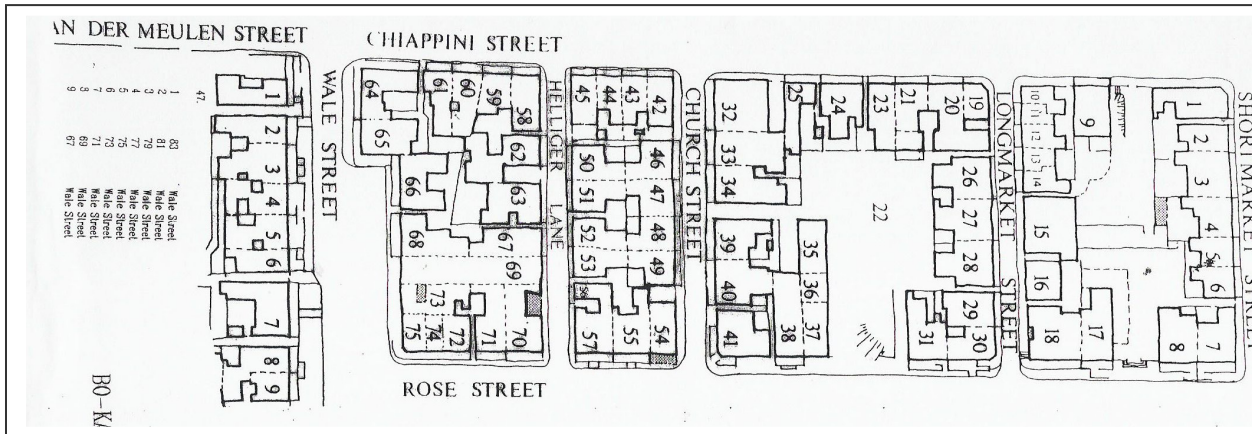


Figure 4: National Monuments Council: Bo-Kaap National Monument Area

Despite various survey and iterations of boundary of the Bo-Kaap, Buitengracht Street is largely considered by the local community as the southernmost boundary to Bo-Kaap despite the change of character along Rose Street. The nature of Buitengracht and Strand Streets however has resulted in a clear separation of the Bo-Kaap from areas previously included within 'the Bo-Kaap'. In addition, the nature and scale of development within the central business district clearly differentiates the residential area of Bo-Kaap from larger scale mixed-use development.

Due to various factors, the City of Cape Town has recently considered the Bo-Kaap boundary as Rose Street. This is a contested issue and to date no formal heritage boundary has been determined.

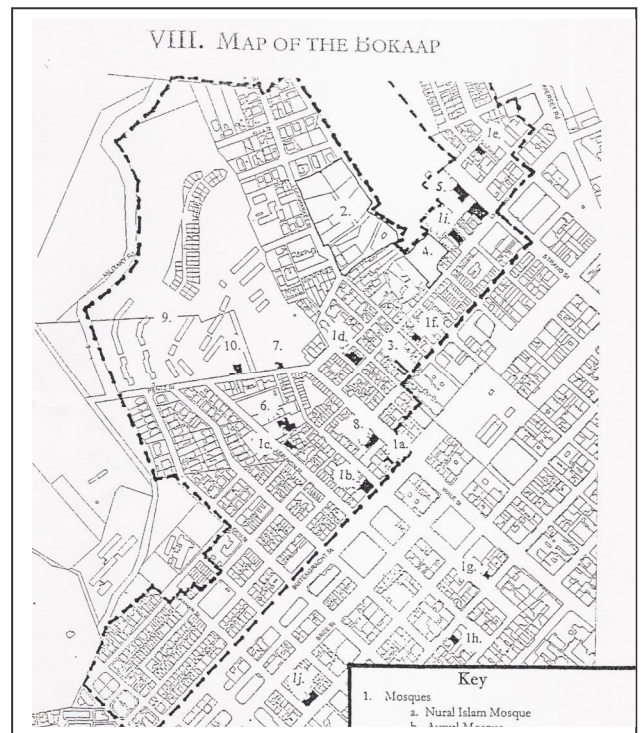


Figure 5: Bo-Kaap Boundary used in community surveys in 1995 and 1998

In consideration of the terms 'Cape Malay' and the "Malay Quarter" is it important to consider the history of Islam at the Cape, the use of the term as self-descriptive for political reasons as well as identities constructed during the Apartheid era. Whereas the term 'Malay' has roots in slavery, the construction of 'Malay' identity was fuelled by Afrikaans speaking-Muslims seeking to create an 'elite black identity' and efforts by key figures of the Nationalist government including D F Malan and I D du Plessis



(Todeschini and Japha 1994: 189-190). The development of the second Muslim community in the Bo-Kaap led to the growth and expansion of Islam at the Cape and when religious freedom was granted in 1804 during the first British Occupation, permission was granted to build a mosque in the Bo-Kaap. Although a number of Muslim free blacks were beginning to concentrate in the area that would later become known as the Bo-Kaap, many Muslims were scattered across the City before emancipation (Worden 2004: 128).

The site does not fall within a Heritage Protection Overlay Zone and lies outside of the Cape Town City Centre HPOZ. City of Cape Town is currently in the process of investigating a Heritage Protection Overlay Zone for the Bo-Kaap area in terms of the zoning scheme. The audit underway will inform the possible HPOZ in terms of boundaries and guidelines (correspondence from David Hart dated 20 March 2014).

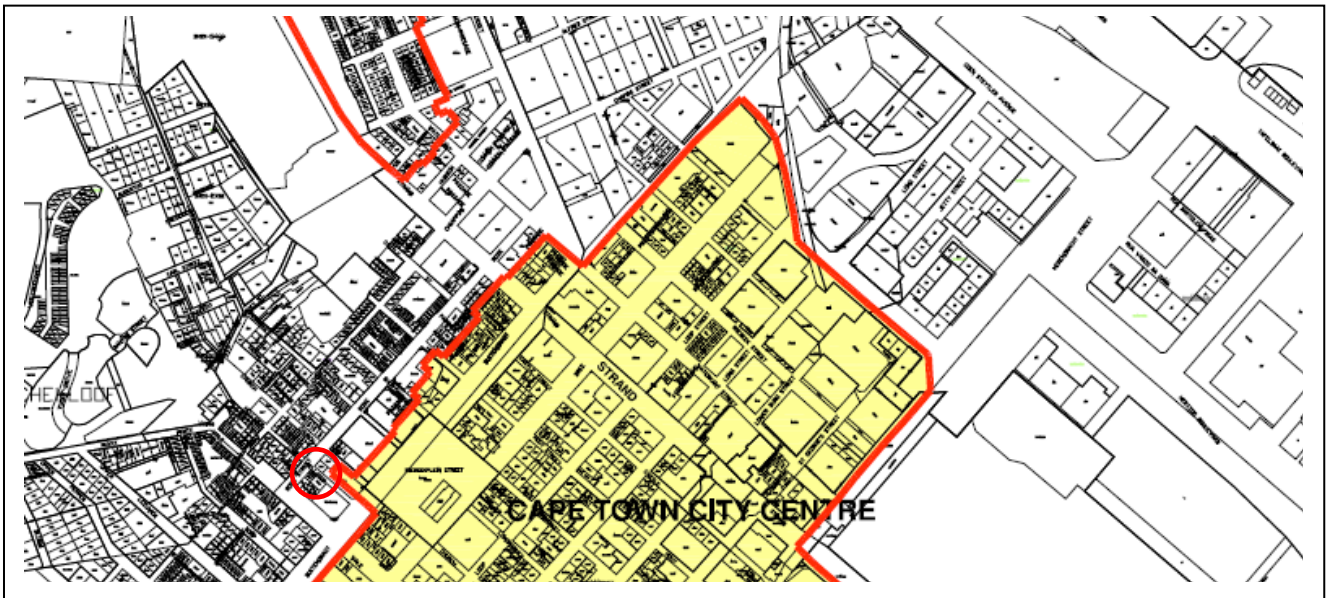


Figure 6: Boundary of heritage protection overlay zone Central City Table Bay District Heritage protection areas (LUMS November 2013: 18)

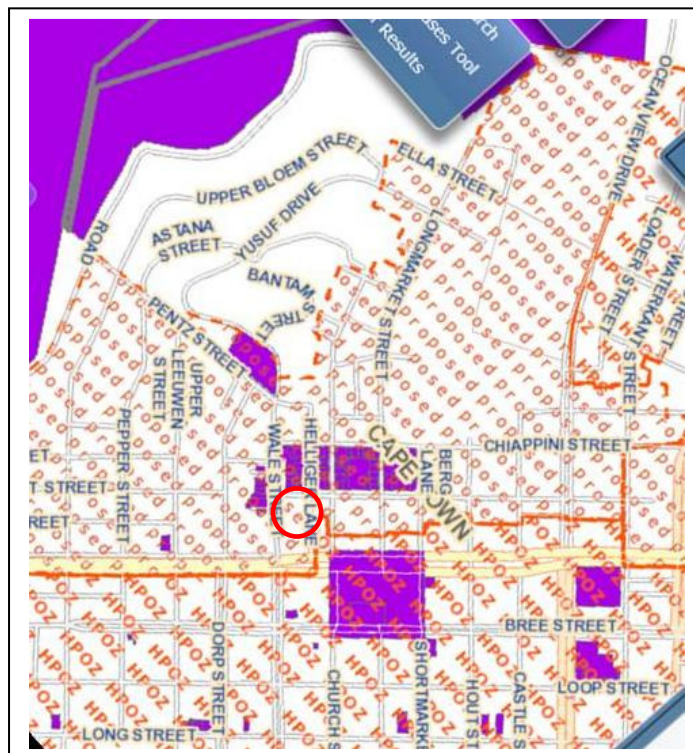


Figure 7: Proposed HPOZ (City of Cape Town, September 2014)



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