

# GOEDE HOOP

PORTION 17 OF FARM 1685, BOSCHENDAL, DRAKENSTEIN

## HERITAGE REPORT

in terms of section 34 of the NHRA

18 October 2016



PREPARED FOR:

OWNER AND JAN DESSYN ARCHITECTS

PREPARED BY:

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**HERITAGE REPORT: GOEDE HOOP, PORTION 17 OF FARM 1685, BOSCHENDAL,  
DRAKENSTEIN**

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Cover: Jonkershuis, Goede Hoop, September 2016

## **AUTHOR OF THIS REPORT**

This Heritage Report was compiled by Stuart Hermansen, sole member of Hermansen Associates cc trading as HB Architects, as an independent consultant, and has been prepared at the cost of the owner.

The author deemed it necessary to compile a Report in this format as the Heritage Western Cape [HWC] *pro forma* 'Annexure A' application form does not sufficiently contain all the fields of information considered necessary to fully describe and assess this application.

### **Declaration:**

I declare that there are no circumstances that compromise my objectivity in compiling this Report. Further, I have no vested or financial interest in the outcome of the application, whether successful or not.

A handwritten signature in black ink, appearing to read 'Stuart Hermansen', is centered below the declaration text.

Stuart Hermansen, Pr Arch 6148, B Arch [UCT]

Further information regarding the qualifications, experience and professional standing of Stuart Hermansen is available on request from [stuart@hermansen.co.za](mailto:stuart@hermansen.co.za)

## **LIMITATION OF RESPONSIBILITY**

It is tacit that the information supplied to Stuart Hermansen/HB Architects by the owner and their consultants is current and correct.

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## **1. STATUS QUO & PURPOSE OF THIS HERITAGE REPORT**

This Heritage Report has been prepared by Stuart Hermansen of HB Architects for the owner, Mr M Borrie and Jan Dessyn Architects, to describe the proposed alterations to the existing outbuilding situated behind the homestead.

### **STATUS QUO**

The property was purchased by Mr Mark Borrie, who, with his architect, Jan Desseyn, effected some alterations to the homestead in 2010. These alterations were approved by SAHRA because the greater Boschendal Estate was a Provisional Grade I Site the time. We were responsible for the heritage application.

Mr Borrie now intends making alterations to the outbuilding behind the homestead, which is currently used as a laundry, storeroom and guest accommodation. It is proposed to upgrade the staff and laundry facilities and the guest accommodation, as well as replacing the corrugated iron roof with thatch with the view to using the attic as guest accommodation.

### **PURPOSE OF THIS REPORT**

The purpose of this Heritage Report is to:

- Describe quantitatively and qualitatively [from a heritage perspective] the existing outbuilding that will be affected by the proposed re-use;
- Describe authentic fabric and features that are to be retained/conserved; and
- Identify fabric and features which are intrusive or have no heritage value and can be removed;
- Describe the proposed alterations, and the impact on heritage resources;
- Make recommendations regarding the propose alterations.

## **2. HERITAGE LEGAL/REGULATORY REQUIREMENTS**

### **SECTION 34, NATIONAL HERITAGE RESOURCES ACT [NHRA] IN A GRADE 1 SITE**

The outbuilding was probably constructed at the same time as the homestead circa 1821.

Given the proximity to the homestead, the outbuilding should be considered as part of the historic ensemble.

A comment from SAHRA and the Franschhoek Planning Advisory Committee is included.

The following Conservation Bodies were given the opportunity to comment:

Stellenbosch Interest Group

Stellenbosch Heritage Foundation

Drakenstein Heritage Foundation

Paarl 300

### **3. DOCUMENT SEARCH**

There is extensive documentation of the history of the Drakenstein Valley, which has been in the public realm for a number of years.

The brief history outlined below is extracted from that body of research.

### **4. BRIEF HISTORY OF THE FARM AND OUTBUILDING**

Much has been written of late regarding the social and spatial histories of the Dwarsrivier Valley, which would include Goede Hoop. It is therefore not necessary to reiterate what has already been done, save to focus briefly on the building under question.

The original farm was settled in 1688 by Pierre Jacob of Calais, but only granted 20 years later. The farm then passed hands to Hans Heinrich Hattingh from Speyer in 1710. It was purchased by Bernardus van Biljon in 1728, and sold to Abraham de Villiers in 1735.

The property remained in the de Villiers family for the remainder of the 18<sup>th</sup> C, and most of the 19<sup>th</sup> C.

The house was built by Pieter Hendrik de Villiers in 1821, and presumably the 'Staff wing above the homestead at the same time, if the joinery gives any clues.

It was the same de Villiers who also built the wine cellar [gable date 1832]. Lean-to additions to the back of the cellar for garages and stores were built during the last twenty years.

The *werf* walls probably date from this time, while the stables and cottage appear to be somewhat later [1890's, possibly a bit later still?]

There is a modern bell in the *werf* below the wine cellar.

Although the *werf* at Goede Hoop has been added to and altered over its history, very little of the 'layers' [apart from 1970's inappropriate interventions to the homestead], have detracted from its rustic charm, and the werf retains its integrity as a heritage-rich, modest working farm in the most beautiful rural setting, unaffected by 20<sup>th</sup>C development.

## **5. LOCATION OF THE HOMESTEAD AND WERF**

Goede Hoop [now called Good Hope] is located slightly below the eastern faces of Simonsberg, directly above the village of Pniel. It is to the north of the Helshoogte road, and is one of the earliest farmsteads in the Dwarsrivier valley.

The farm of 20,7Ha commands beautiful views of the valley and the Drakenstein mountains, and with the backdrop of the highest peaks of the Simonsberg directly behind it, it is arguably one of the most scenic farms in the district.

## **6. ANALYSIS OF THE OUTBUILDING**

As described above, it is highly likely that the outbuilding was constructed at the same time as the homestead, circa 1821.

## Description

Element	Description
Plan Form	Rectangular long building in plan, with open stoep facing the back of the homestead.
Roof	<p>Medium-pitched [approx. 35 degrees] corrugated iron sheets painted black.</p> <p>Original poles and timber beams with original ceiling timber boards in some rooms, remainder contemporary skimmed flush ceilings circa 1970.</p>
Walls	<p>Perimeter wall are thick, limewashed and lime plastered sundried brick walls. Some internal walls are original, while most are later construction. See fabric analysis.</p> <p>Brick piers with irregular spacing to stoep, probably c 1920's.</p>
Floors	Lino or carpets on cement screed.
Joinery	<p>Some original single and double casement windows in very poor shape, also two original door frames. Victorian sash windows to northern end of range. Remainder contemporary timber casement windows and timber doors and frames.</p> <p>See fabric analysis.</p>
Other features	Internal hearth with chimney, now bricked in.

## Assessment:

Assessment is based on Sect 3.3 of the NHRA: 1 = low value, 5 = high value

<b>Historical pattern</b>	4	Fine example of near-original Cape outbuilding, close to homestead, forming back edge to yard.
<b>Rarity</b>	4	One of few intact outbuildings in the district.
<b>Information eg archaeology</b>		Site has been subject to a number of archaeological surveys. However, the proposed alterations to the

		outbuilding are not expected to yield new significant information, possibly the exposure of earlier door and window openings.
<b>Typicality</b>	4	Typical plan form, scale and some detailing of early Cape farm outbuilding.
<b>Aesthetic eg architectural</b>	3	The façade facing the homestead retains its simple utilitarian aesthetic. Some of the fenestration to the rear of the building, and the contemporary toilet block built in close proximity to the outbuilding, detract from the unselfconscious simplicity of the building.
<b>Technology, creativity</b>	3	The outbuilding retains its simple utilitarian form and construction.
<b>Spiritual, cultural</b>	0	None identified with the outbuilding.
<b>Social history</b>	0	None identified with the outbuilding.
<b>Slave history</b>	1	Possible but unproven slave accommodation.

### **STATEMENT OF SIGNIFICANCE**

Although the outbuilding has been modified over time, it maintains its simple functional aesthetic, and retains an appropriate spatial and architectural relationship to the homestead.

Some of the early joinery remains, but the largest part of the building has been 'modernised', and so the integrity of the building as a very good example of an early Cape farm outbuilding has been compromised.

### **GRADING**

Proposed grading for the outbuilding: IIIC in a Grade II context.

### **PROPOSAL**

The proposal is to upgrade the laundry facilities in the current location, as well as upgrade the bedroom accommodation and bathrooms. Two projecting wings are proposed to the rear of the building so that roof terraces may be accommodated above.

Further, it is proposed to replace the corrugated iron roof with thatch, and use the attic space as habitable space.



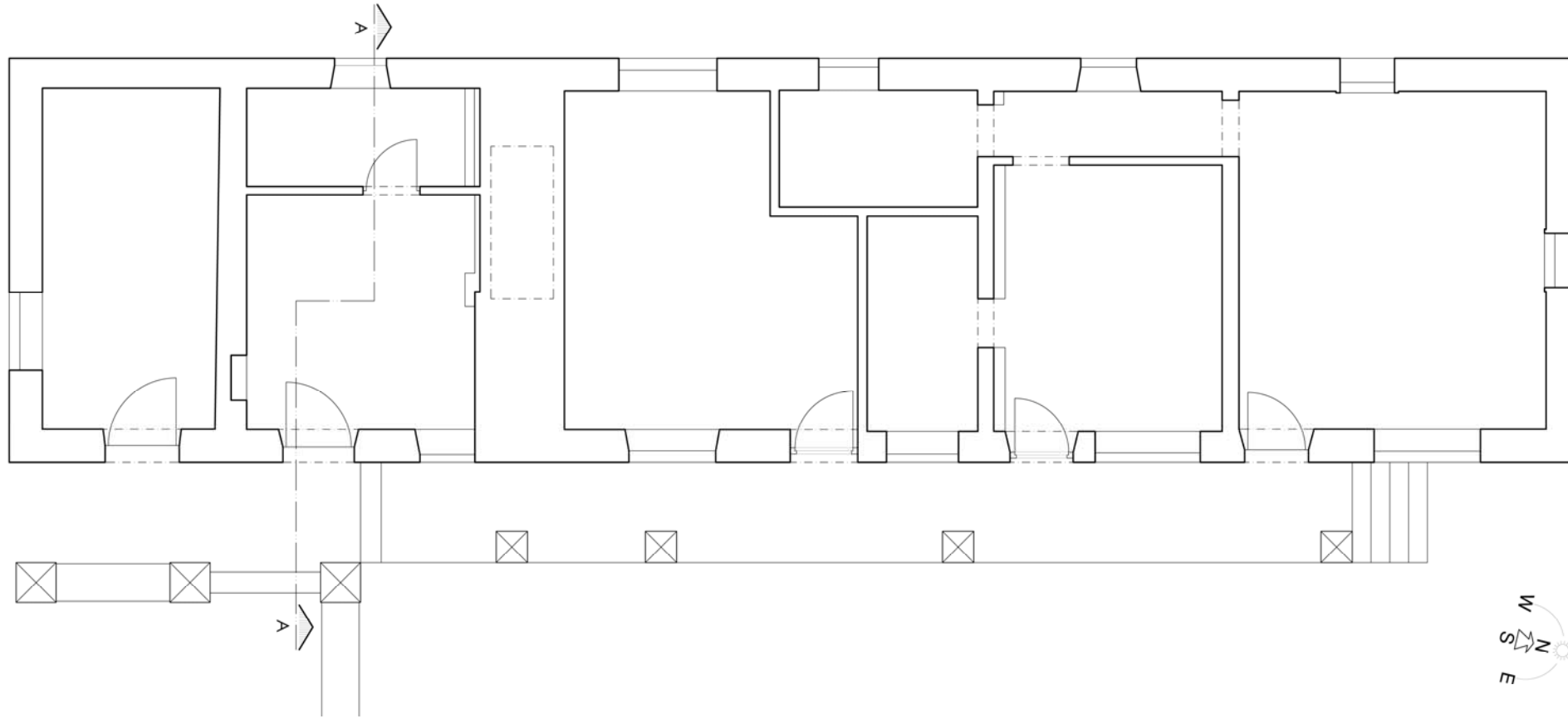
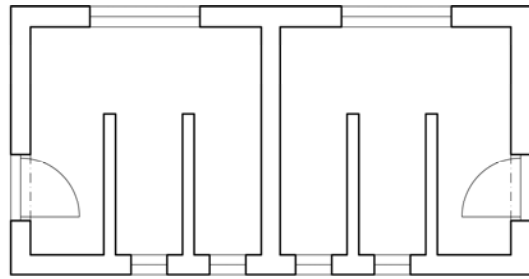
A significant aspect of the proposals is to allow occupants the opportunity of enjoying the world-class views of the mountains.

### **RECOMMENDATION**

Currently the building is in poor shape, and the proposed alterations will allow the repair and conservation of much original fabric.

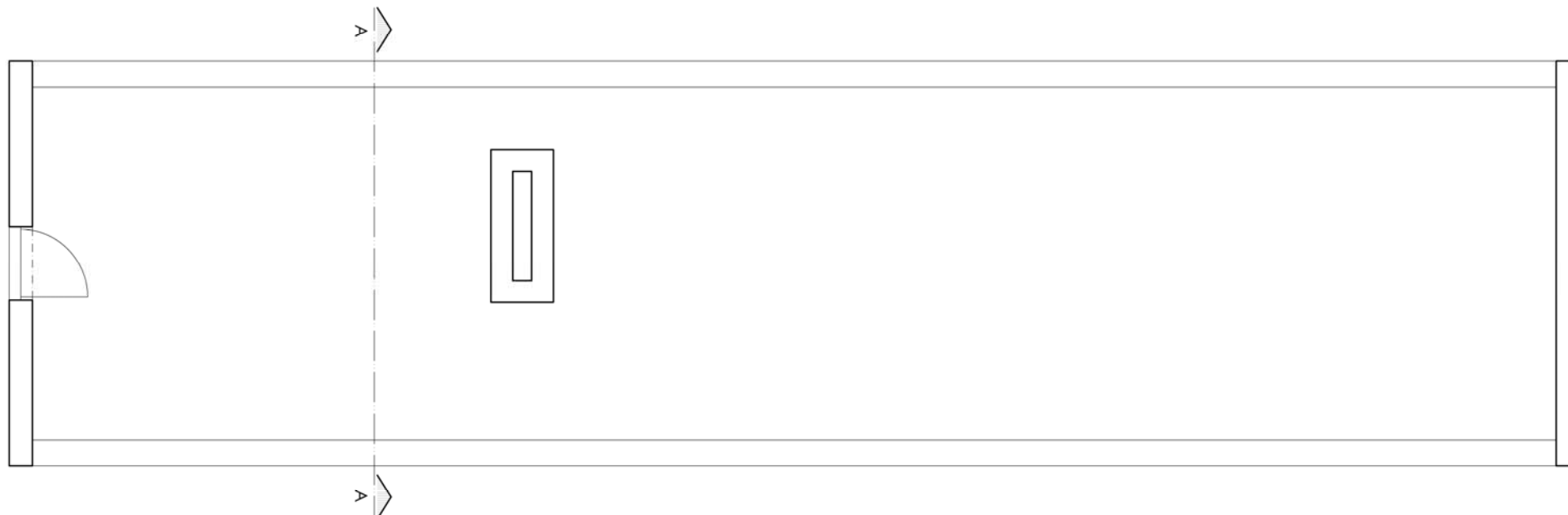
As the alterations proposed are in areas where the authenticity of the outbuilding has already been compromised, and will not be visible from the homestead, I support the proposed alterations and additions

## AS-BUILT DRAWINGS



EXISTING GROUND STOREY PLAN

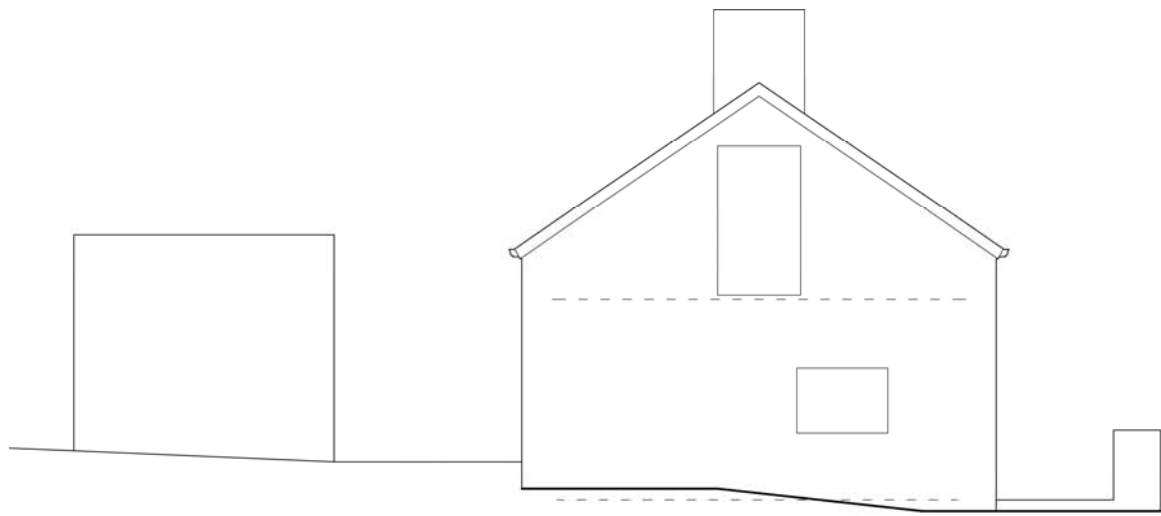
1 : 50



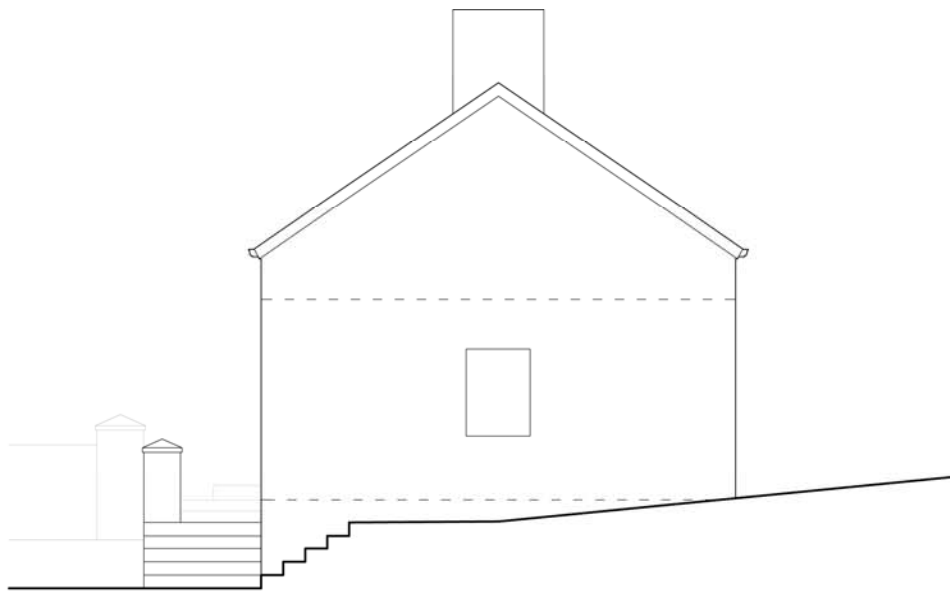
EXISTING FIRST STOREY PLAN

1 : 50

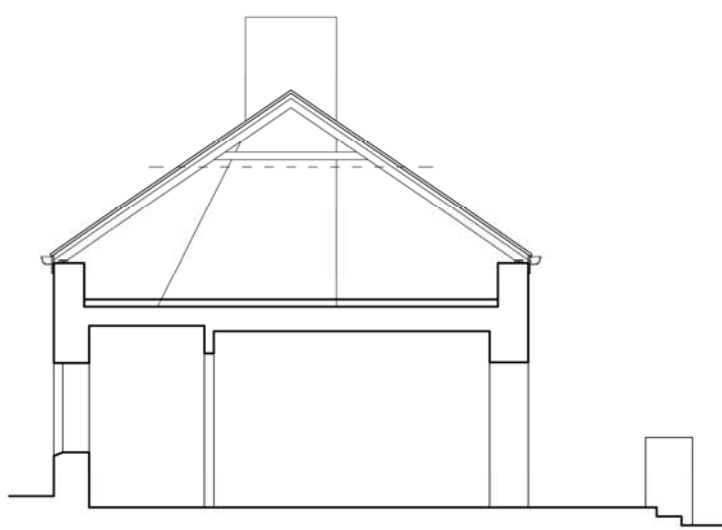
SCALED DIMENSIONS INVALID	ALL BUILDING WORK TO COMPLY WITH SABS 0400	CHECK LEVELS ON SITE
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<small>Jan Desseyn SACAP 6868 Hendrik Nell SACAP ST 1728</small>		
<b>ALTERATIONS TO EXISTING DWELLING FOR BOSCHENDAL FOUNDERS ESTATE 17 (PTY) LTD PORTION 17 OF THE FARM 1685 BOSCHENDAL PAARL</b>		
<small>DRAWING TITLE:</small> <b>AS BUILT PLANS</b> <b>EXISTING FLOOR PLANS</b>		
<small>PROJECT NO:</small> <b>09/030</b>	<small>SCALE:</small> <b>1:50</b>	<small>DATE:</small> -
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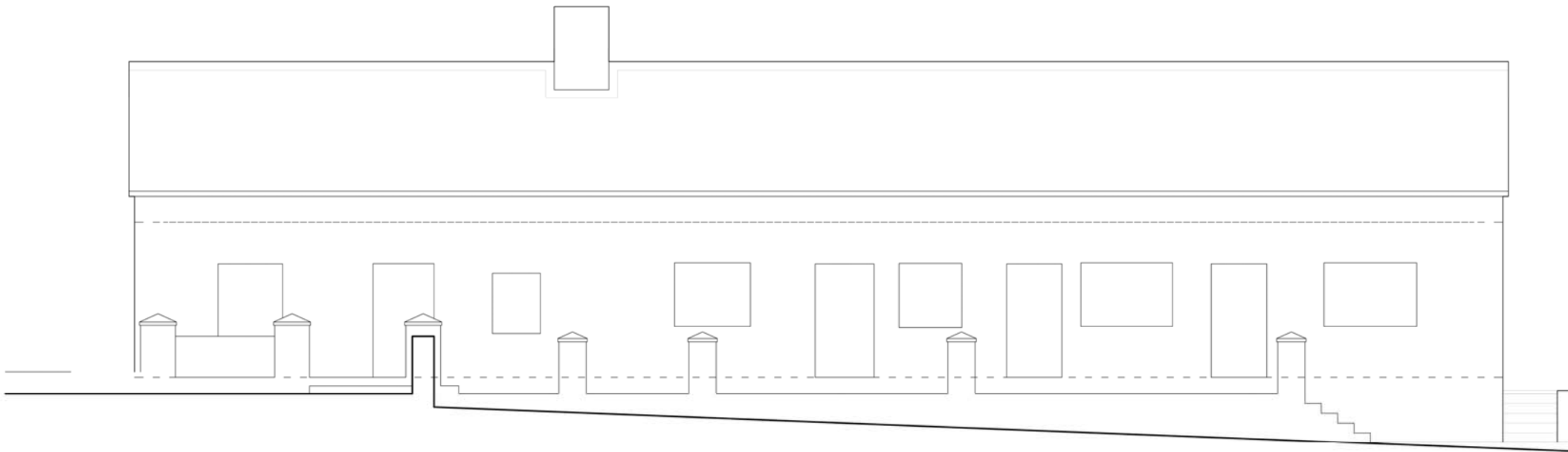
EXISTING SOUTH ELEVATION 1 : 5 0



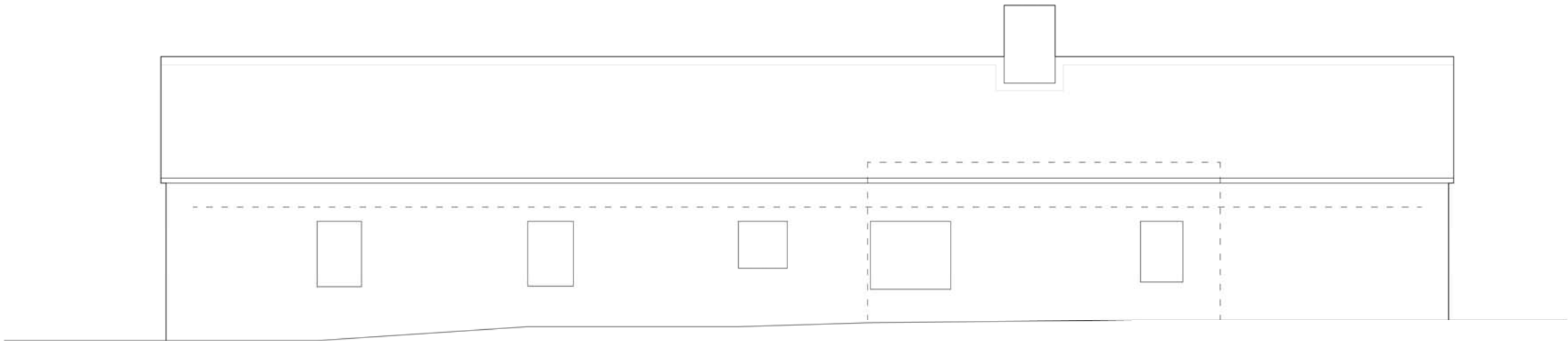
EXISTING NORTH ELEVATION 1 : 5 0



EXISTING SECTION A-A 1 : 5 0



EXISTING EAST ELEVATION 1 : 5 0



EXISTING WEST ELEVATION 1 : 5 0

SCALED DIMENSIONS  
INVALID

ALL BUILDING WORK TO  
COMPLY WITH SABS 0400

CHECK LEVELS  
ON SITE

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ALTERATIONS TO EXISTING DWELLING  
FOR  
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ESTATE 17 (PTY) LTD**  
PORTION 17 OF THE FARM 1685  
BOSCHENDAL PAARL

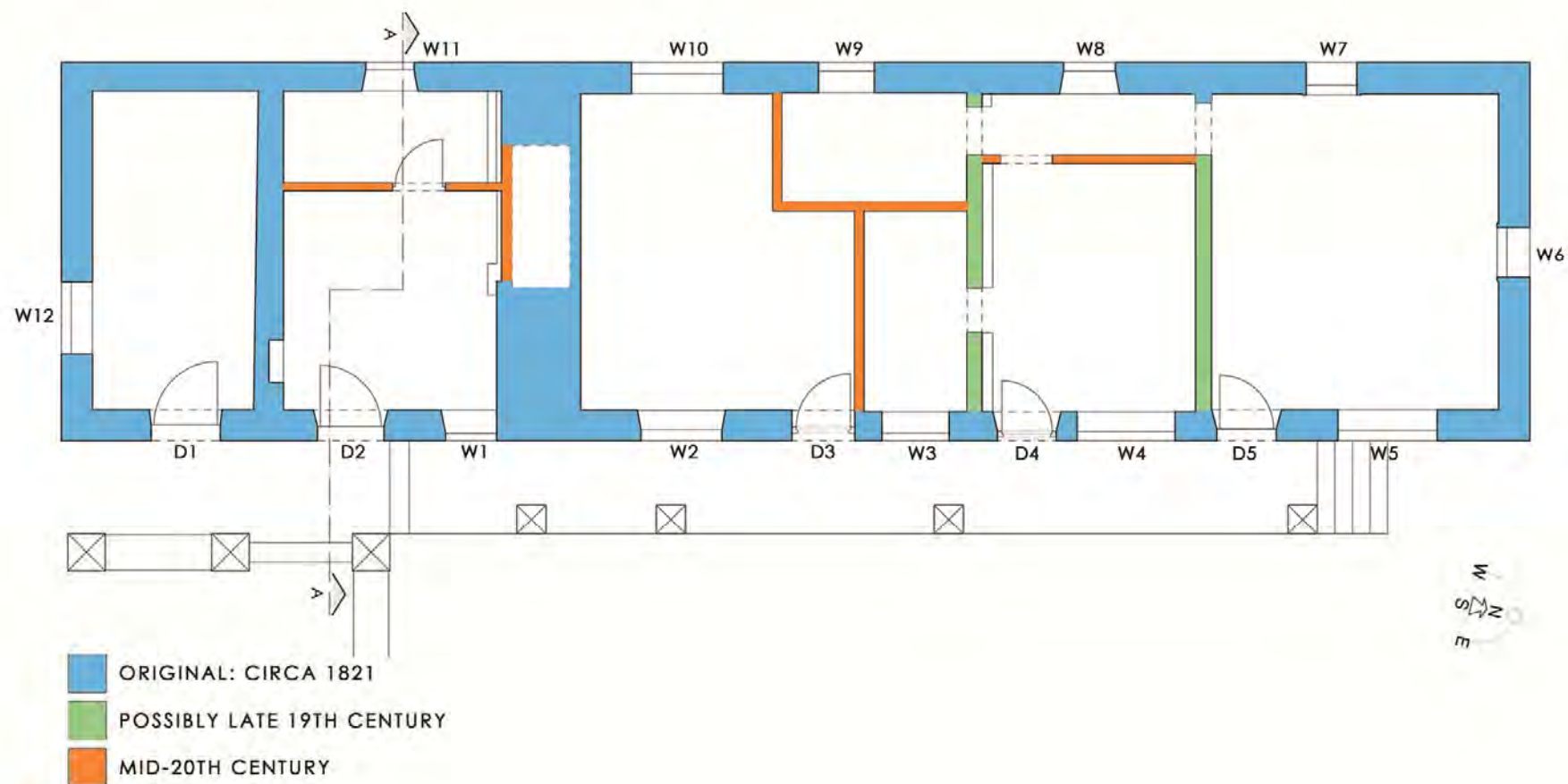
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AS BUILT PLANS

EXISTING ELEVATIONS  
& SECTIONS

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## FABRIC ANALYSIS



JONKERSHUIS : FABRIC ANALYSES  
goede hoop farm : drakenstein



DOOR 1



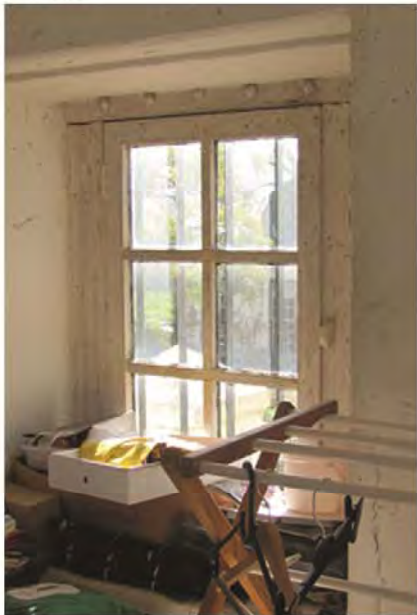
DOOR 1 FRAME DETAIL



DOOR 2



WINDOW 1



WINDOW 1 INTERNAL



WINDOW 2



WINDOW 2 DETAIL

JONKERSHUIS : WINDOW AND DOORS  
goede hoop farm : drakenstein





WINDOW 6



WINDOW 7



WINDOW 8



WINDOW 8 DETAIL



WINDOW 11



WINDOW 11 INTERNAL

JONKERSHUIS : WINDOWS AND DOORS  
goede hoop farm : drakenstein



## ARCHITECTURAL PROPOSAL



GENERAL NOTES

GENERAL: All paint, varnish, sealants and other finishes to be SANS 10400 approved and applied in strict accordance with manufacturer's specification. All work to be in accordance with SANS 10400. All inward opening external doors to have weatherbars. All light switches to be 1050mm above finish floor level. All levels to be confirmed by the architect on site.

FOUNDATIONS: All new foundations as per sections, and to be approved by appointed engineer.

GROUND FLOOR: Make good where required. See sections. Floor finishes as per plan.

NEW GROUND FLOOR: Floor finish (as per plan) on minimum 30mm screed, on 100mm concrete bed, on 250 Micron damp proof membrane, on sand blinding layer, on well compacted subgrade 10. To match existing floor level.

NEW FIRST FLOOR: Floor finish (as per plan) on minimum 30mm screed, 255mm light weight concrete slab, as per specification by appointed engineer. See sections.

NEW BALCONY FLOORS: Floor finish (to be confirmed), on minimum 30mm screed laid to 1:100m fall on 80mm looseboard, on Derigum waterproofing material, on 170mm Concrete slab.

RAINWATER GOODS: Seamless "Waterlite" aluminium Gutter with 70mm Ø rain water pipes pre-painted to match existing. Spreaders to be used where necessary. All rain water to discharge into storm water channels and discharge at least 2 meters away from any building.

NEW TIMBER STAIRCASE: By specialist. To comply with Part M of NBR. 280mm Treads, 178mm Rises (x14) Headroom at any point shall not be less than 2.1m (measured vertically from the pitch line) The width of staircase shall not be less than 750mm.

NEW EXTERNAL TIMBER STAIRCASE: By specialist. To comply with Part M of NBR. 250mm Treads, 200mm Rises (x12)

NEW EXTERNAL CONCRETE STAIRCASE: To comply with Part M of NBR. 450mm Treads, 182mm Rises (x3) as per engineer's specification

WALLS: Make good where required. New walls to be constructed with SABS approved clay brick. Allow 50mm cavity as shown on plan with butterfly wall ties in accordance with SABS 28 at 900mm horizontal & 450 vertical centres. Weep holes every sixth brick, bottom course, just above DPC. All external walls to be plastered and painted to match existing. Internal walls to be smooth plastered and painted to spec.

New library and bathroom on ground storey to be at 390 (230mm internal skin + 50mm cavity + 110 external skin) cavity walls, therefore complete.

New first storey 230 mm load bearing brick walls to line up with load bearing ground storey walls.

DAMP PROOFING: 357 Micron damp proof course under walls of minimum 150mm above adjacent ground level, 250 Micron damp proof membrane under floor slab. (in accordance with manufacturer's instructions.) Provide DPC above, below and around all new external doors and windows.

DRAINAGE: Make good where required. First floor sanitary ware to be fitted with deep seal traps. All sub stacks and plumbing pipes must be concealed within walls or ducts and may not be exposed to the exterior. All sanitary ware connected via existing 100mm dia. drainage pipe to existing conservancy tank (see Part 1). All work to conform with National Building Regulations. Part 1 is to be min. 450mm below ground level, use 100mm P Penta pipe. Sewer and vent pipes must be concealed within brickwork, and may not be visible from the outside. Allowance must be made for vent pipes. (see plan) Connect to existing conservancy tank.

DOORS AND WINDOWS: Make good where required. See elevations for all sizes. All glass specification to conform with National Building Regulations. All glazing to comply with SABS 0137 - Windows lower than 500mm from floor, and windows lower than 1800mm above pitch line of stairs to be safety glass. All new external doors and windows to be Meranti, to match existing. Internal doors by specialist, to match existing. Window sills plastered and painted to match existing. See elevations for sizes.

NEW THATCH ROOF: Replace existing corrugated iron roof with new thatch roof as per specialist detail.

CEILINGS: Make good where required. Cornice to owner's choice. (where required)

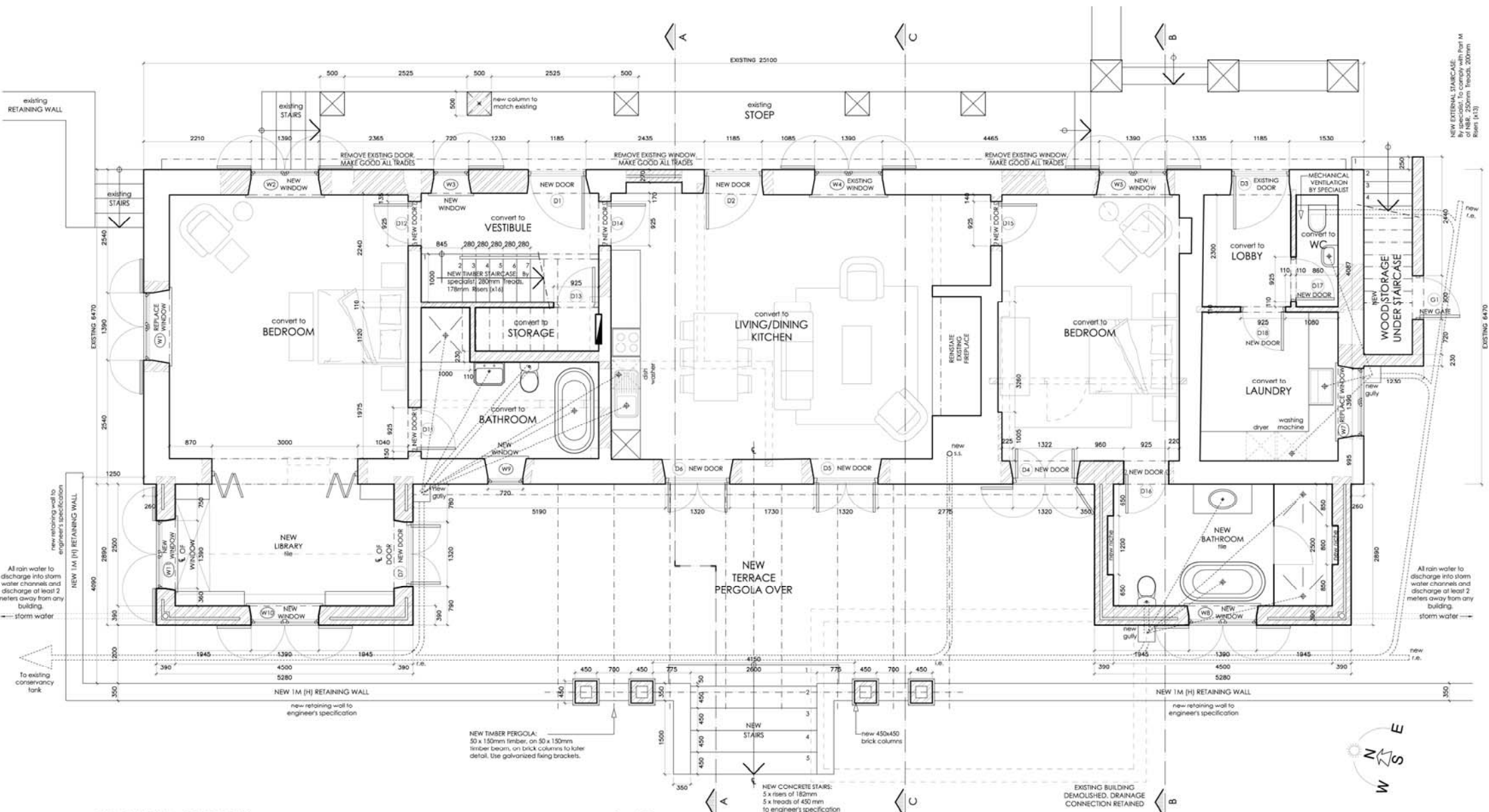
HANDRAILS AND BALUSTRADES: New timber balustrades and handrails to comply with Part D of NBR. All balustrades should be at least 1m high, and shall not have any openings that permit the passage of a 100mm dia. ball. All balustrades painted to spec. Final design to be approved by owner.

NEW HEATING STOVE: To be supplied and installed by specialist. Fit Cowl on metal flue. (By specialist)

Non-combustible hearth min. 500mm deep, extending min. 300mm past side of grate or basket.

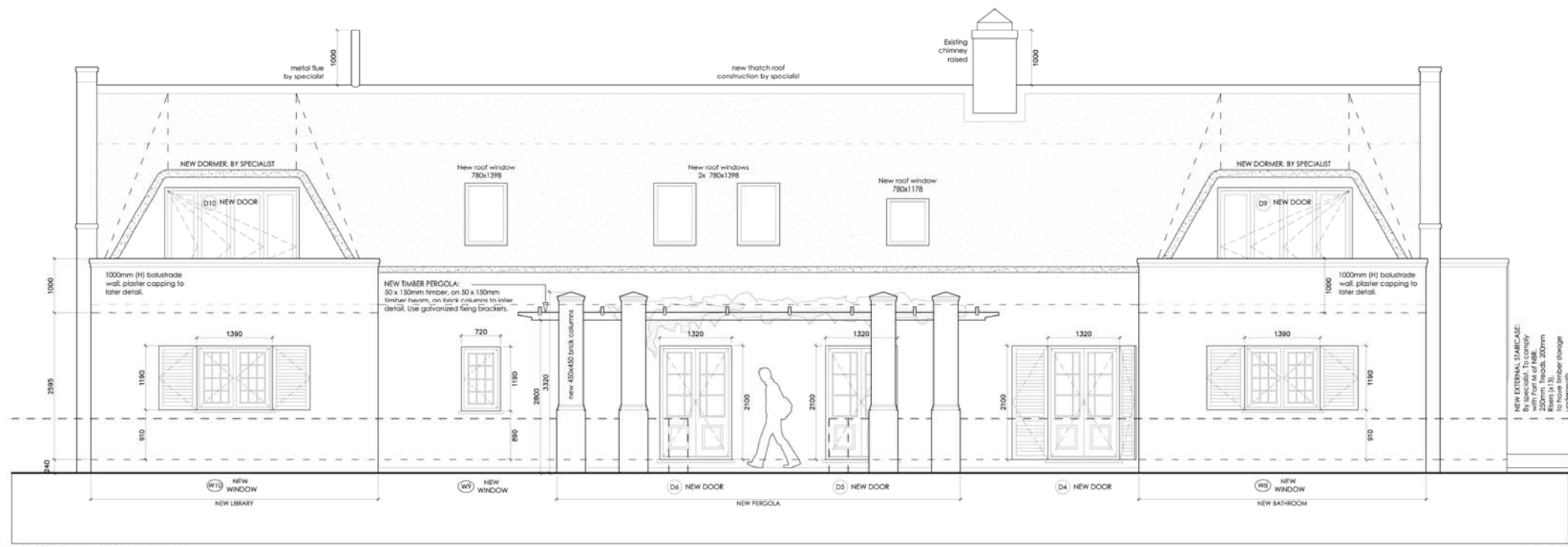
NEW TIMBER PERGOLA: 50 x 150mm timber, on 50 x 150mm timber beam, on 450x450 brick columns (moldings to later detail). Use galvanized fixing brackets. Painted to owner's spec.

GENERAL: All sanitary ware, bathroom accessories and tiles to owner's choice. All built-in cupboards and kitchen cupboards by specialist. Rooms without windows to be fitted with mechanical ventilation. Gas installation to comply in terms of SANS 10087 - Part 1. All paint colours to owner's spec.



GROUND STOREY

1:50



WEST ELEVATION

1:50

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ALTERATIONS TO EXISTING DWELLING  
FOR  
**BOSHENDAL FOUNDERS  
ESTATE 17 PTY LTD**  
PORTION 17 OF THE FARM 1685  
BOSCHENDAL  
PAARL

MUNICIPAL SUBMISSION

GROUND STOREY PLAN  
AND WEST ELEVATION

PROJECT NO:	15/009	SCALE:	1:50
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REV:		CHECKED:	JAD







SCALED DIMENSIONS  
INVALID
ALL BUILDING WORK TO  
COMPLY WITH SANS 10400
CHECK LEVEL  
ON SITE

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ALTERATIONS TO EXISTING DWELLING  
FOR  
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BOSCHENDAL PAARL

DRAWING TITLE  

MUNICIPAL SUBMISSION

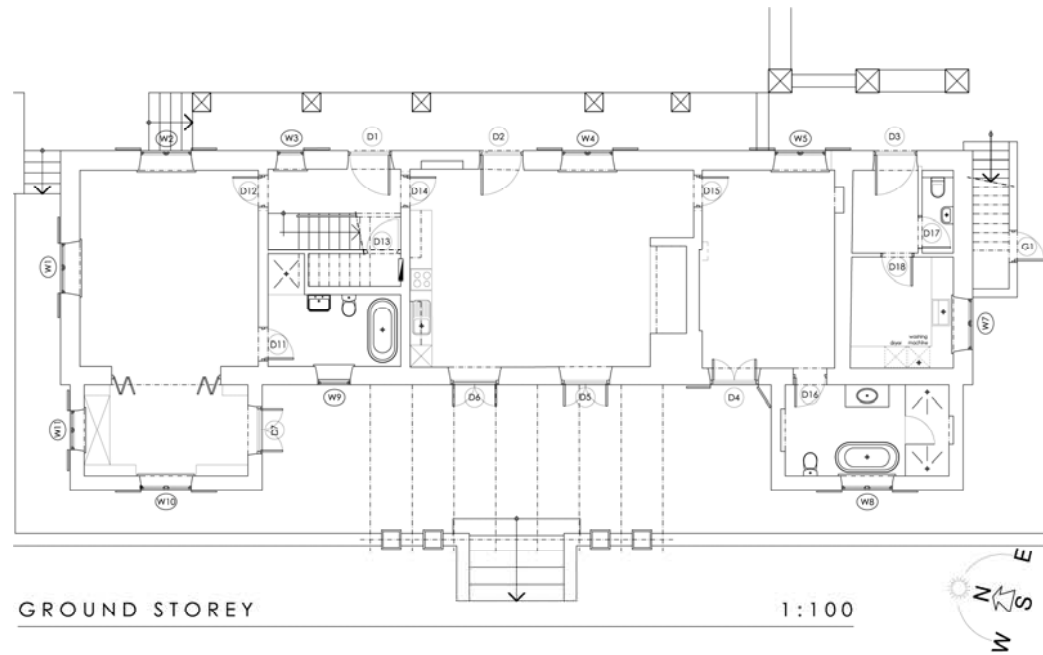
SCALE  

AS SHOWN

ELEVATIONS AND SECTIONS

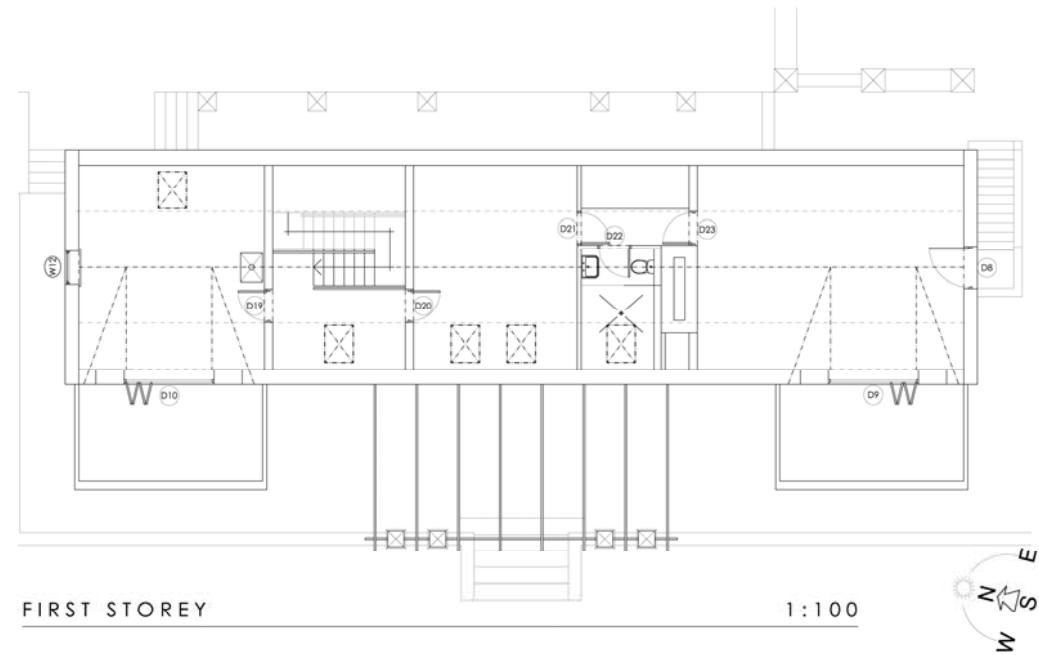
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DATE OF PRINT:		DRAWN:	CHECKED:
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GROUND STOREY

1:100



FIRST STOREY

1:100

## EXTERNAL DOORS

<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.  All door handles at 900mm affl & to be confirmed by client.  Fanlight furniture and friction stays to conform to AAAMSA requirements and to be approved by Architect prior to installation.								
	D1	D2	D3 (existing)	D4	D5, D6, D7	D8	D9	D10
	1	1	-	1	3	1	1	1
	-	-	-	Clear single glazing, supplier to ensure that all glass types and thicknesses are as per NBRI	Clear single glazing, supplier to ensure that all glass types and thicknesses are as per NBRI	Clear single glazing, supplier to ensure that all glass types and thicknesses are as per NBRI	Clear single glazing, supplier to ensure that all glass types and thicknesses are as per NBRI	Clear single glazing, supplier to ensure that all glass types and thicknesses are as per NBRI
	Solid timber frame with inward opening sill - finish by architect	Solid timber frame with inward opening sill - finish by architect	EXISTING Solid timber frame with inward opening sill - finish by architect	Solid timber frame with inward opening sill - finish by architect	Solid timber frame with outward opening sill - finish by architect	Solid timber frame with outward opening sill - finish by architect	Aluminium frame, By specialist Colour: by Architect	Aluminium frame, By specialist Colour: by Architect
	Solid timber stable door, inward opening Finish by architect	Solid timber stable door, inward opening Finish by architect	Solid timber stable door, inward opening Finish by architect	External (inward opening) timber doors with glazed top, and raised & beveled bottom panels. Finish by architect	External (outward opening) timber doors with glazed top, and raised & beveled bottom panels. Finish by architect	External (outward opening) timber stable doors, with glazed top panel, by specialist. Finish by Architect	External Aluminium sliding-loading doors. By specialist Colour by Architect	External Aluminium sliding-loading doors. By specialist Colour by Architect

## INTERNAL DOORS

<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.  All door handles at 900mm affl & to be confirmed by client.  Fanlight furniture and friction stays to conform to AAAMSA requirements and to be approved by Architect prior to installation.				<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.  All door handles at 900mm affl & to be confirmed by client.  Fanlight furniture and friction stays to conform to AAAMSA requirements and to be approved by Architect prior to installation.	
	D11, D12, D13, D14, D15, D16, D17, D18, D22	D19, D20	D21, D23		D21, D23
	9	2	2		-
	-	-	-		-
	Internal 70x90mm Meranti frame No sill. Finish to match existing	Internal 70x90mm Meranti frame No sill. Finish to match existing	Internal 70x90mm Meranti frame No sill. Finish to match existing		Internal 70x90mm Meranti frame No sill. Finish to match existing
<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.  All door handles at 900mm affl & to be confirmed by client.  Fanlight furniture and friction stays to conform to AAAMSA requirements and to be approved by Architect prior to installation.				<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.  All door handles at 900mm affl & to be confirmed by client.  Fanlight furniture and friction stays to conform to AAAMSA requirements and to be approved by Architect prior to installation.	
	D11, D12, D13, D14, D15, D16, D17, D18, D22	D19, D20	D21, D23		D21, D23
	9	2	2		-
	-	-	-		-
	Internal 70x90mm Meranti frame No sill. Finish to match existing	Internal 70x90mm Meranti frame No sill. Finish to match existing	Internal 70x90mm Meranti frame No sill. Finish to match existing		Internal 70x90mm Meranti frame No sill. Finish to match existing
	Supawood 2 panel door, finish to match existing	Supawood 2 panel door, finish to match existing	Supawood 2 panel door, finish to match existing		Supawood 2 panel door, finish to match existing

## GATES

<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.  All door handles at 900mm affl & to be confirmed by client.  Fanlight furniture and friction stays to conform to AAAMSA requirements and to be approved by Architect prior to installation.	
	G1
	1
	-
	Timber vented gate. Final design to be approved by client Final dimensions to be taken on site by specialist prior to manufacturing.

## WINDOWS

<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.					
	W1, W2, W5, W8, W10, W11	W4 (existing)	W3	W7	W9, W12
	6	-	1	-	2
	clear single glazing	clear single glazing	clear single glazing	clear single glazing	clear single glazing
	Solid timber frame with inward opening casement window with outward opening Timber Shutters finish by architect	EXISTING Solid timber frame with outward opening casement window with outward opening Timber Shutters finish by architect	Solid timber frame with inward opening casement window with outward opening Timber Shutters finish by architect	Solid timber frame with inward opening casement window with outward opening Timber Shutters finish by architect	Solid timber frame with outward opening casement window with outward opening Timber Shutters finish by architect
<b>NOTE:</b> Glazing supplier to ensure that all glass types & thicknesses are as per NBRI.					
	W1, W2, W5, W8, W10, W11	W4 (existing)	W3	W7	W9, W12
	6	-	1	-	2
	clear single glazing	clear single glazing	clear single glazing	clear single glazing	clear single glazing
	Solid timber frame with inward opening casement window with outward opening Timber Shutters finish by architect	EXISTING Solid timber frame with outward opening casement window with outward opening Timber Shutters finish by architect	Solid timber frame with inward opening casement window with outward opening Timber Shutters finish by architect	Solid timber frame with inward opening casement window with outward opening Timber Shutters finish by architect	Solid timber frame with outward opening casement window with outward opening Timber Shutters finish by architect
	timber side hung casement window, finish by architect	timber side hung casement window, finish by architect	timber side hung casement window, finish by architect	timber side hung casement window, finish by architect	timber side hung casement window, finish by architect

SCALED DIMENSIONS  
INVALID

ALL BUILDING WORK TO  
COMPLY WITH SANS 10400

CHECK LEVELS  
ON SITE

C

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NOTIFICATION AND WRITTEN APPROVAL BEING ISSUED BY JAN DESSEYN  
ARCHITECTS.

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Jan Desseyn  
SACAP 6868  
Hendrik Nell  
SACAP ST 1728

ALTERATIONS TO EXISTING DWELLING  
FOR  
**BOSHENDAL FOUNDERS  
ESTATE 17 PTY LTD**  
PORTION 17 OF THE FARM 1685  
BOSCHENDAL PAARL

DRAWING TITLE:  
**SKETCH PLAN**  
**DOOR AND WINDOW  
SCHEDULE**

PROJECT NO:  
**15/009**

SCHE:  
**AS SHOWN**

DRAWING NO:  
**206**

DATE:  
**2016-04-12**

DATE OF PRIOR:  
**1**

LEVELS:  
**CL**

LEVELS:  
**JAD**

## CONTEXT AND WERF





CONTEXT  
goede hoop farm : drakenstein





WERF  
goede hoop farm : drakenstein

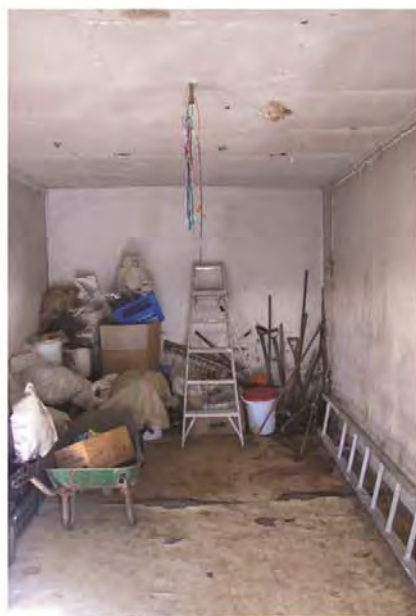
## PHOTOGRAPHS





JONKERSHUIS EXTERIOR VIEWS  
goede hoop farm : drakenstein





JONKERSHUIS INTERIORS  
goede hoop farm : drakenstein





WERF BUILDINGS : HOMESTEAD AND WINE CELLAR  
goede hoop farm : drakenstein

## SG DIAGRAMS

Friedlaender, Burger & Volkmann - Land Surveyors

**Beacon Description**

a ..... Iron standard section  
 b ..... Iron fencing standard  
 Q V ..... 12mm Iron peg  
 R U ..... Not beacons  
 W ..... Hole in planted granite stone  
 All other beacons .... 16mm Iron pegs

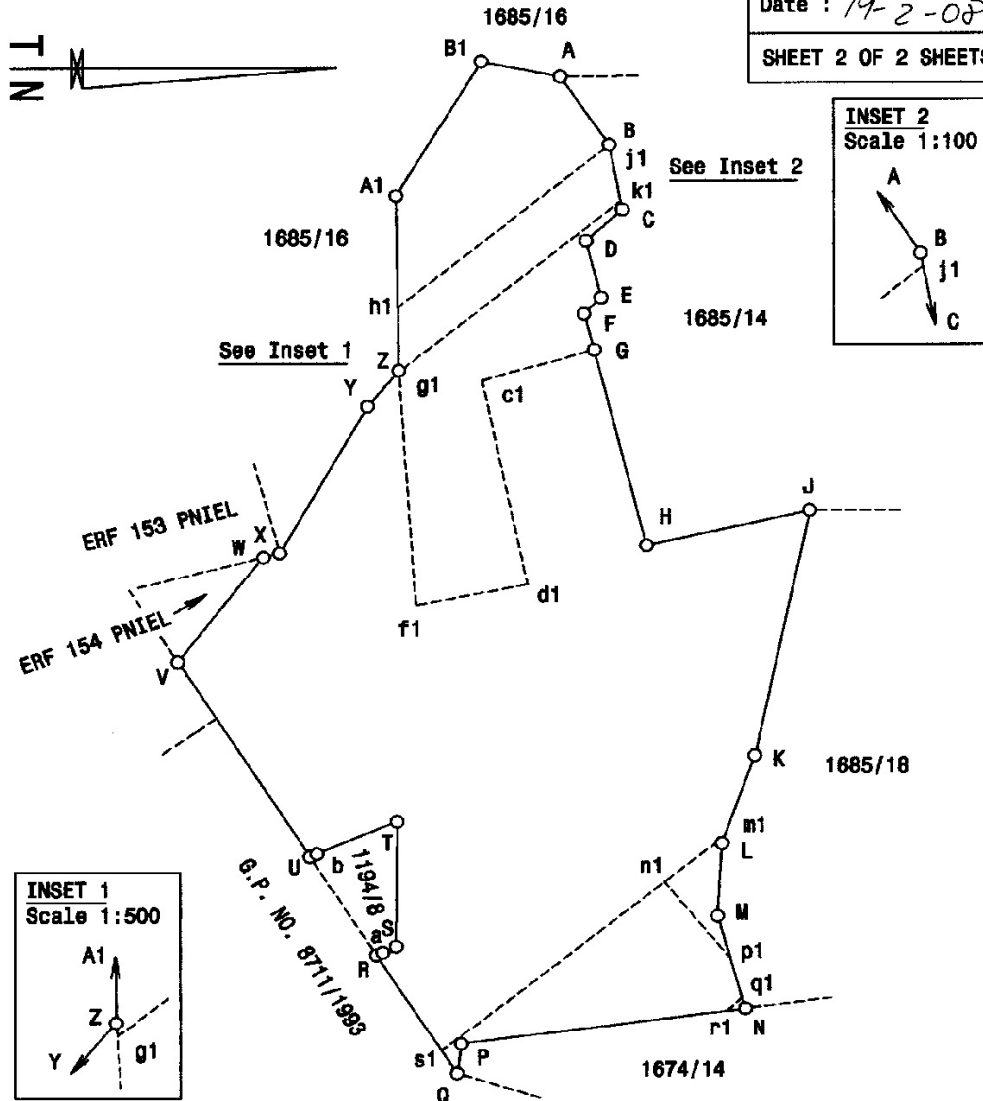
S.G. No.

7536/2007

Approved.

*Abdo dary*  
 for  
 Surveyor - General  
 Date : 19-2-08

SHEET 2 OF 2 SHEETS



**PORTION 17 OF THE FARM NO. 1685 BOSCHENDAL**

Administrative District of Paarl

Surveyed in Aug. 2000 - Jun. 2003,  
 Oct. - Nov. 2006 & Oct. 2007  
 by me

*D P Burger*

PLS 0080

D P Burger Pr Land Surveyor

SCALE 1 : 5000

FARM 1685/17 PAARL

APPROVED IN TERMS OF SECT. 4  
 OF ACT 70/1970  
 REF 39884  
 DATE 2005-06-01

APPROVED IN TERMS OF SECT. 25  
 OF ORD. 15/1985  
 REF Farm 1674/2, Paarl  
 DATE 2005-12-23

**S**

SIDES Metres		ANGLES OF DIRECTION	CO-ORDINATES System WG 19°			S.G. No. 7536/2007
		Constants :	Y	X		
			0,00	0,00		
AB	68,37	236 28 00	A +	4261,24	+ 3751349,79	Approved. <i>D. Burger</i> for Surveyor - General Date : 19-2-08
BC	54,55	259 16 20	B +	4204,25	+ 3751312,02	
CD	37,96	318 06 40	C +	4150,66	+ 3751301,87	
DE	48,01	255 52 30	D +	4125,31	+ 3751330,12	
EF	18,65	314 52 40	E +	4078,75	+ 3751318,41	
FG	30,56	254 53 10	F +	4065,53	+ 3751331,56	
GH	165,47	256 01 10	G +	4036,03	+ 3751323,60	
HJ	129,49	167 15 30	H +	3875,47	+ 3751283,62	
JK	206,70	281 55 20	J +	3904,03	+ 3751157,32	
KL	76,66	289 29 30	K +	3701,79	+ 3751200,02	
LM	59,57	273 19 10	L +	3629,53	+ 3751225,60	
MN	79,23	254 16 10	M +	3570,06	+ 3751229,05	
NP	221,17	352 17 20	N +	3493,80	+ 3751207,57	
PQ	24,72	277 13 40	P +	3464,14	+ 3751426,74	
QR	116,21	57 43 20	Q +	3439,62	+ 3751429,85	
RS	16,62	154 49 20	R +	3537,87	+ 3751491,91	
ST	102,61	90 33 10	S +	3544,94	+ 3751476,87	
TU	73,06	336 55 50	T +	3647,55	+ 3751475,88	
UV	189,25	57 43 40	U +	3618,92	+ 3751543,10	
VW	109,04	127 04 00	V +	3778,94	+ 3751644,15	
WX	13,14	164 10 00	W +	3865,94	+ 3751578,42	
XY	137,86	119 13 50	X +	3869,53	+ 3751565,78	
YZ	38,18	129 16 00	Y +	3989,84	+ 3751498,46	
ZA1	142,87	89 09 10	Z +	4019,40	+ 3751474,30	
A1B1	129,36	120 39 20	A1 +	4162,25	+ 3751476,41	
B1A	61,89	191 27 20	B1 +	4273,54	+ 3751410,45	
INDICATORY DATA						
Ra	5,36	154 49 20	a +	3540,15	+ 3751487,06	
bU	5,78	336 53 30	b +	3621,19	+ 3751537,78	
497	PNIEL	△ +	3832,38	+ 3751650,78		
498	RHODESDAM	△ +	4138,34	+ 3749355,50		
Note:						
The figure GHJKLMNPQRSTUWXYZf1d1c1 represents a leasehold area						
vide Diagram No. <del>7518/2007</del> , D/T						
3515/2008						
The figure ABCDEFGHJKLMNPQRSTUWXYZA1B1						
represents 20,7788 hectares of land, being						
<b>PORTION 17 OF THE FARM NO. 1685 BOSCHENDAL</b>						
Situate in the Stellenbosch Municipality						
Administrative District of Paarl						
Province of Western Cape						
Surveyed in Aug. 2000 - Jun. 2003,						
Oct. - Nov. 2006 & Oct. 2007 by me						
PLS 0080 D P Burger Pr Land Surveyor						
This diagram is annexed to		The original diagram is		File No. Parl.1685		
No. <del>73870/2008</del>		No. 7518/2007		S.R. No. 3226/2007		
Dated		Annexed to		Comp. BH-8DBB (3779)		
i.f.o.		Filed as Plan No. 7518/2007		BHSU-4444 (M4444)		
Registrar of Deeds				LPI C0550000		